

CITY OF ALBUQUERQUE



December 22, 2017

The Design Group
David Aube
120 Vassar St. SE
Albuquerque, NM 87106

Re: Zocalo
501 Coal Ave. SW
Traffic Circulation Layout
Engineer's 12-19-17 (K14-D112)

Dear Mr. Aube

Based upon the information provided in your submittal received 12-21-17, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
2. On-Street parking credit to fulfill zoning's parking requirement must be requested and approved by the Traffic Engineer, Racquel Michel prior to TCL approval. The application requires at least 45 working days. On-street parking credit is based on available parking along public right-of-ways fronting the property. The business will only be granted 50% credit for available street parking.

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact me at 924-3630.

Sincerely,

Logan Patz
Traffic Engineer, Planning Department
Development Review Services

LWP via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

Project Title: Zocalo **Building Permit #:** _____ **Hydrology File #:** K14 0112
DRB#: 1004505 **EPC#:** _____ **Work Order#:** _____
Legal Description: Lot 9-A-1 Block N, Atlantic and Pacific Addition
City Address: 501 Coal Avenue SW

Applicant: Quatro y Carbon **Contact:** Richard Yates

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: The Design Group **Contact:** David Aube

Address: 120 Vassar Street SE, Albuquerque, NM 87106

Phone#: 505-998-6430 **Fax#:** 505-242-6881 **E-mail:** daube@designgroupnm.com

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☐ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ OTHER (SPECIFY) _____

☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL

☐ SITE PLAN FOR SUB'D APPROVAL

☐ SITE PLAN FOR BLDG. PERMIT APPROVAL

☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE

☐ FOUNDATION PERMIT APPROVAL

☐ GRADING PERMIT APPROVAL

☐ SO-19 APPROVAL

☐ PAVING PERMIT APPROVAL

☐ GRADING/ PAD CERTIFICATION

☐ WORK ORDER APPROVAL

☐ CLOMR/LOMR

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

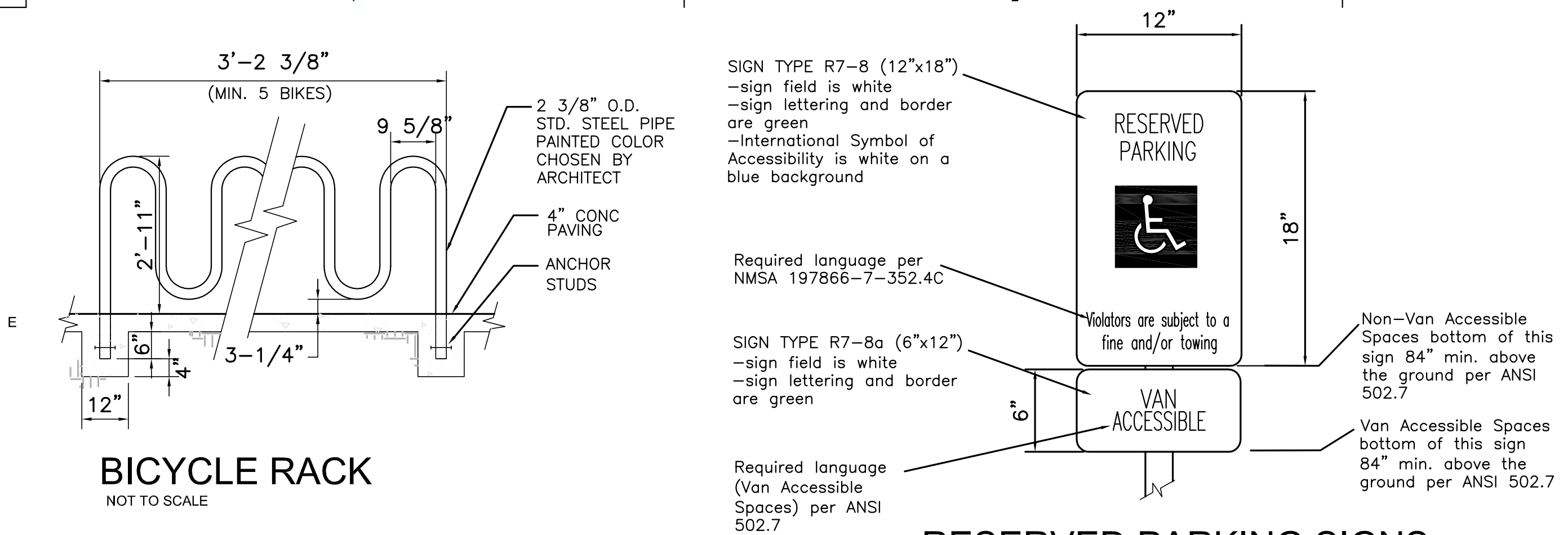
DATE SUBMITTED: 12-21-17

By: David Aube

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



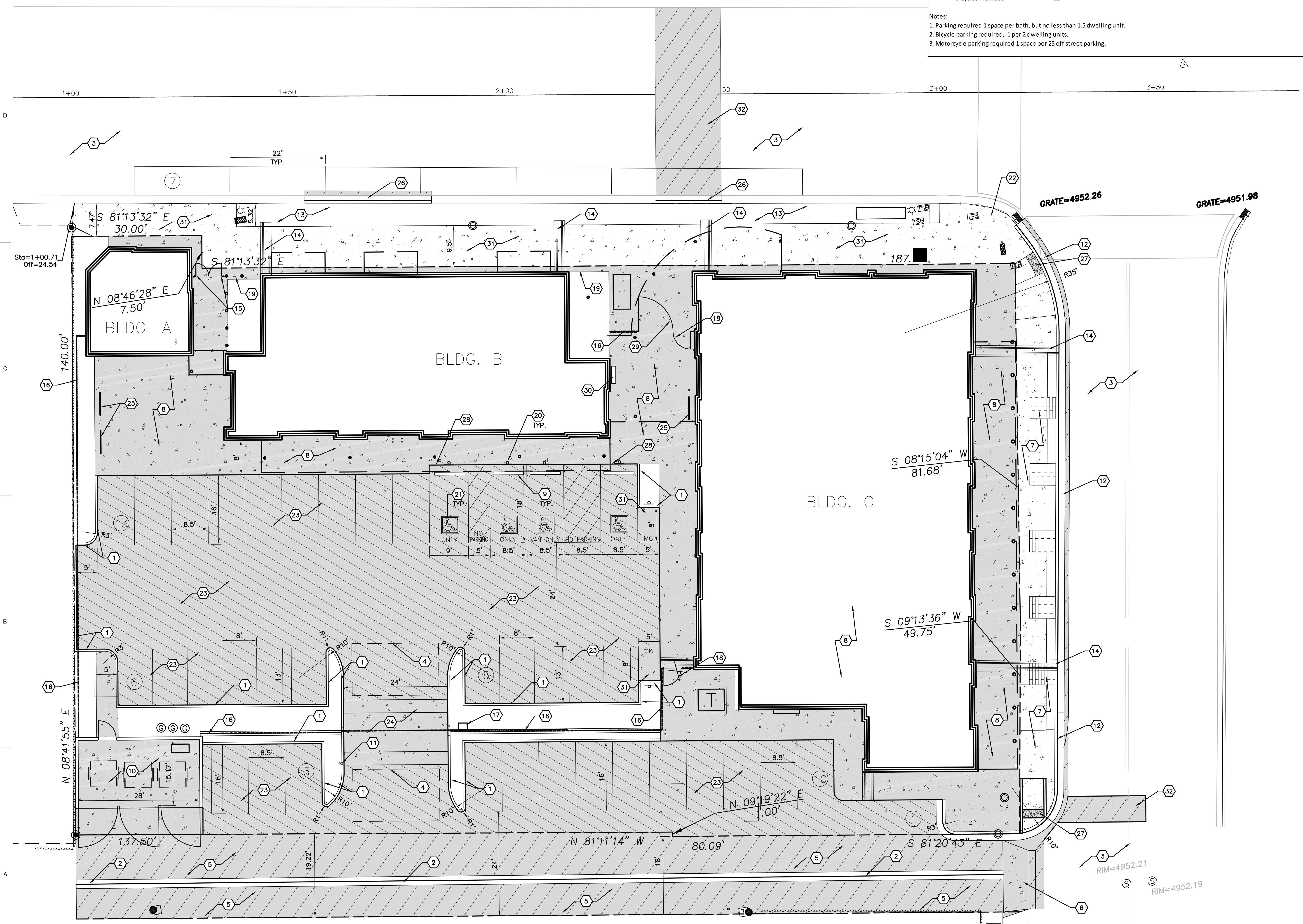
NOTES :

- CLEAR SIGHT TRIANGLE PER DPM CHAPTER 23, SECTION 3, SUBSECTION D-5. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- MINI CLEAR SIGHT TRIANGLE PER DPM CHAPTER 23, SECTION 6, SUBSECTION D.12. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- ALL PARKING AREAS ARE SURROUNDED BY A 6" TALL HEADER CURB OR BY ELEVATED SIDEWALK 6" TALL.

PROJECT TABULATED PARKING COUNTS

Building	Use	Gross SF	Number of Units	Studio, 1 BDR/ 1 Bath	2 BDR/ 2 Bath	3 BDR/ 2 Bath	Number of Bath	Req'd Parking	After Transit Reduction	Bicycle Req'd	Bicycle Provided	
A	Retail	490	0					2.5	2.2	0	0	
B	Restaurant/retail	3075	0					15.4	13.8	0.6919	1.00	
B	Residential		9	8	1		10	12.0	10.8	4.5	5	
B	Storage	3035	0					6.1	5.5	0.2732	1.00	
C	Restaurant/retail	6678	0					33.4	30.1	1.5026	2.00	
C	Residential		12	11			1	13	16.5	14.9	6	6
Total												
			21	19	1	1	23	85.8	77.2	12.968	15.00	
	Parking Req'd	77.2										
	On-Site Parking	38										
	Off Site Parking	7										
	Variance	41										
	Total Parking Provided	41										
	HC Required	3										
	HC Provided	4										
	Motorcycle Req'd.	2										
	Motorcycle Provided	2										
	Bicycles Required	13										
	Bicycles Provided	15										

Notes:
1. Parking required 1 space per bath, but no less than 1.5 dwelling unit.
2. Bicycle parking required, 1 per 2 dwelling units.
3. Motorcycle parking required 1 space per 25 off street parking.



SITE INFORMATION

LEGAL DESCRIPTION
LOT 9-A-1, BLOCK N,
ATLANTIC AND PACIFIC ADDITION

SURVEY CONTROL MONUMENT DATA
Albuquerque Control Survey Monument "18_K14"
A.G.R.S. MONUMENT "18_K14" STANDARD A.G.R.S. ALUMINUM DISC
(FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,486,053.605 E=1,521,576.548
PUBLISHED EL=4983.415 (NAVD 1988)
GROUND TO GRID FACTOR=0.99968266
DELTA ALPHA ANGLE=-0°13'41.97"

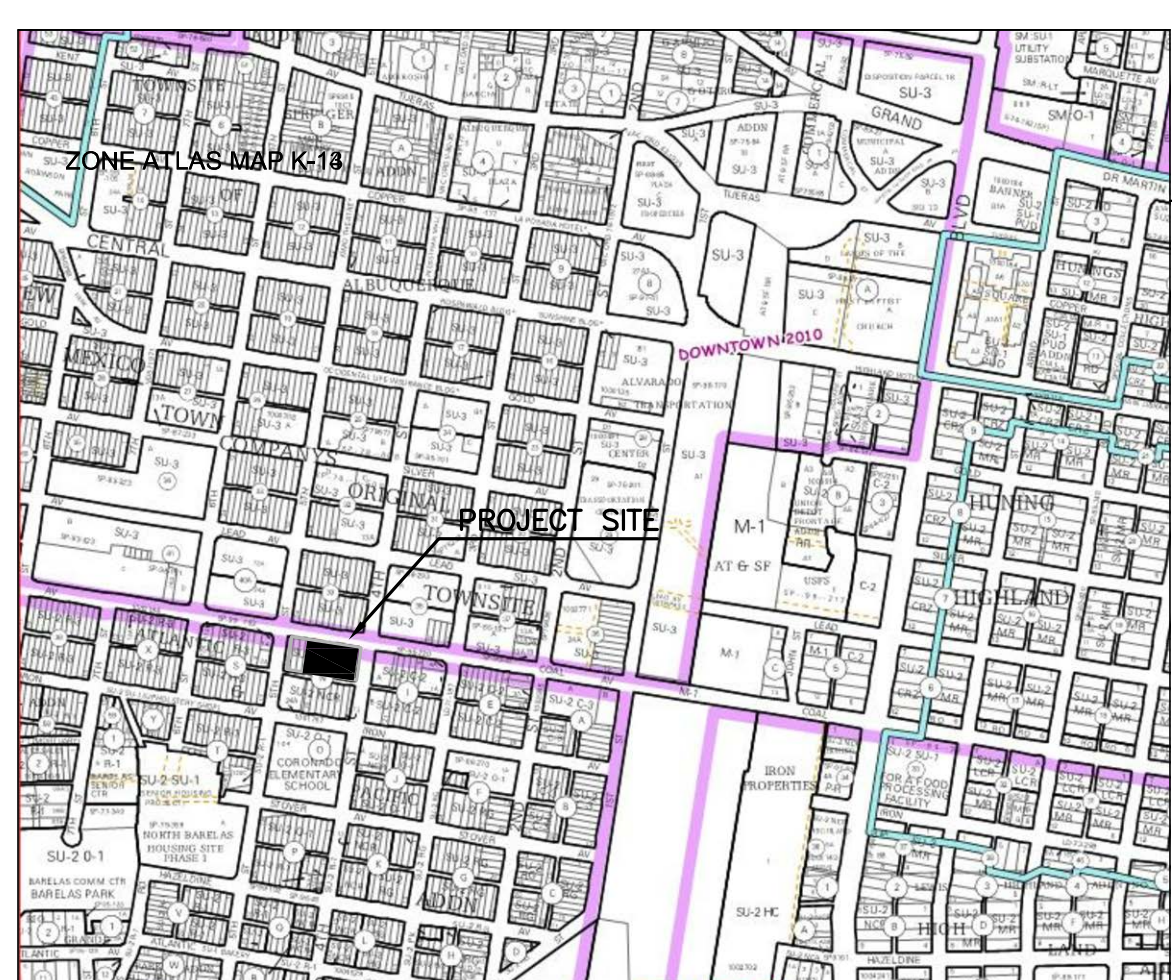
GENERAL SHEET NOTES

- SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE AND UTILITY INFORMATION.
- ALL FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE COA ZONING CODE. SECTION 14-16-3-9 AREA LIGHTING REGULATIONS.
- LIGHTING WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE SUBJECT TO THE STANDARDS AND REVIEW OF PNM, UNLESS MAINTENANCE FOR THE RIGHT-OF-WAY LIGHTING IS THE FULL RESPONSIBILITY OF OTHER PARTIES.
- STANDARD PARKING SPACE IS 9'-6" W x 18'-0" L.
- COMPACT PARKING SPACE IS 8'-6" W x 15'-0" L.

TCL SHEET KEYED NOTES

- CONCRETE HEADER CURB, 6" TALL.
- CONCRETE VALLEY GUTTER TO BE CONSTRUCTED UNDER PUBLIC WORK ORDER.
- EXISTING ASPHALT ROADWAY.
- LOOP DETECTOR FOR VEHICLE GATES.
- ASPHALT IN ALLEY TO BE CONSTRUCTED UNDER PUBLIC WORK ORDER.
- NEW CONCRETE DRIVEPAD TO BE CONSTRUCTED UNDER PUBLIC WORK ORDER.
- PUBLIC SIDEWALK WITH TREE WELLS TO BE CONSTRUCTED UNDER PUBLIC WORK ORDER.
- PRIVATE SIDEWALK.
- CONCRETE PARKING BLOCK.
- REFUSE ENCLOSURE WITH GATES.
- KEY PAD TO CONTROL VEHICLE GATES.
- CURB TO BE REALIGNED UNDER COA PROJECT NUMBER 2632.87 THAT WILL NEED TO BE APPROVED BY DRC.
- LANDSCAPING STRIP BETWEEN SIDEWALK AND CURB.
- CONCRETE SIDEWALK CULVERT WITH STEEL PLATE COVER.
- DOUBLE 3' WIDE BY 6" TALL PERSONNEL GATES IN PERIMETER FENCING.
- 6' TALL PERIMETER FENCING.
- 6' TALL BY 24' WIDE SLIDING GATE FOR VEHICLE ACCESS.
- 3' WIDE BY 6' TALL PERSONNEL GATE.
- PERIMETER FENCING TO ABOVE THE STAIR LANDINGS.
- RESERVED PARKING SIGN FOR STANDARD OR VAN ACCESSIBLE.
- ADA PARKING STALL WITH RESERVED PARKING SYMBOL AND RESERVED PARKING SIGN.
- EXISTING ADA RAMP TO REMAIN.
- ASPHALT PAVEMENT.
- CONCRETE SPEED TABLE TO ACT AS WATER BLOCK.
- BIKE RACK FOR A MINIMUM OF 5 BIKES.
- NEW STANDARD CURB AND GUTTER WITH 1" ASPHALT REPLACEMENT PER PUBLIC WORK ORDER PLANS.
- CURB ACCESS RAMP.
- SIDEWALK IS FLUSH WITH PARKING LOT SURFACE.
- 8' WIDE SWING GATE IN PERIMETER FENCING.
- MAIL BOXES.
- CONCRETE SIDEWALK TO BE CONSTRUCTED UNDER PUBLIC WORK ORDER.
- ASPHALT REMOVAL AND REPLACEMENT FOR UTILITY INSTALLATION.

NOTE:
ALL DEMOLITION, PAVING AND UTILITIES IMPROVEMENTS LOCATED WITHIN THE PUBLIC RIGHT OF WAY TO BE CONSTRUCTED FROM THE COA PUBLIC WORK ORDER PLANS PROJECT NUMBER 263287 DATED XXXXXX, AND TITLED ZOCALO.



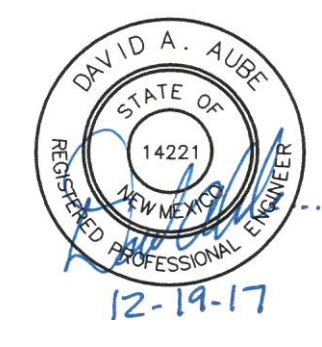
K-14-Z ZONE ATLAS PAGE
SCALE: NOT TO SCALE

dg
THE HARTMAN • MAJEWSKI
DESIGN GROUP
Architects • Engineers • Interior Design
Planners • Urban Designers • LEED®

120 Vassar Dr SE Suite 100
Albuquerque New Mexico 871
T 505 242 6880 F 505 242 688

CONSULTANT

STAMP



100% CONSTRUCTION DOCUMENTS
PROJECT NAME
ZOCALO LOFTS

400 COAL AVENUE SW,
ALBUQUERQUE, NM 87102

REVISIONS		
NO.	DATE	DESCRIPTION
Copyright: Design Group		
Drawn by	DAA	
Checked by	DAA	
Date	December 19, 2017	
Project number	2531	

SHEET TITLE
TRAFFIC CIRCULATION LAYOUT

SHEET NUMBER

TCL