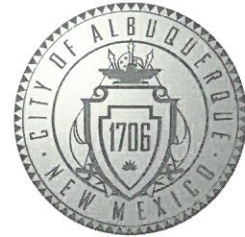


CITY OF ALBUQUERQUE

Hydrology Section Planning Department
David S. Campbell, Director



Timothy M. Keller, Mayor

August 31, 2018

Graham Hogan AIA
Studio GP, LLC
400 Gold Ave. SW
Albuquerque, NM 87104

RE: **Starfield Building - 506 Central Ave. SW**
Architect's Stamp Date: 6/11/2018
Hydrology File: K14D113

Dear Mr. Lorenz:

Based on the information provided in the submittal received on 8/29/2018 the above-referenced Grading and Drainage Plan is approved for Building Permit.

Please inform the builder/owner to attach a copy of this approved plan and letter to the construction sets in the permitting process prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release a Private Facility Drainage Covenant is required to insure maintenance of the cisterns for first flush. The original signed and notarized document must be submitted to Madeline Carruthers along with a \$25 check payable to Bernalillo County for the recording fees for each document to be recorded. The blank form of the Drainage Covenant can be downloaded from the Hydrology section web page.

Also prior to Certificate of Occupancy release, Engineer/Architect Certification per the DPM checklist is required.

If you have any questions, please contact me at 924-3986 or jhughes@cabq.gov.

Sincerely,

James D. Hughes
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: STAK FIELD BUILDING Building Permit #: 21233 Hydrology File #: K14D113
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: _____
City Address: 506 CENTRAL AVE SW, ALBUQUERQUE, NM 87102
Applicant: GRAHAM HOGAN (ARCHITECT) Contact: _____
Address: 400 GOLD AVE. SW
Phone#: (505) 243-8100 Fax#: — E-mail: grahamestudio@gmail.com
Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE REPORT
☒ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

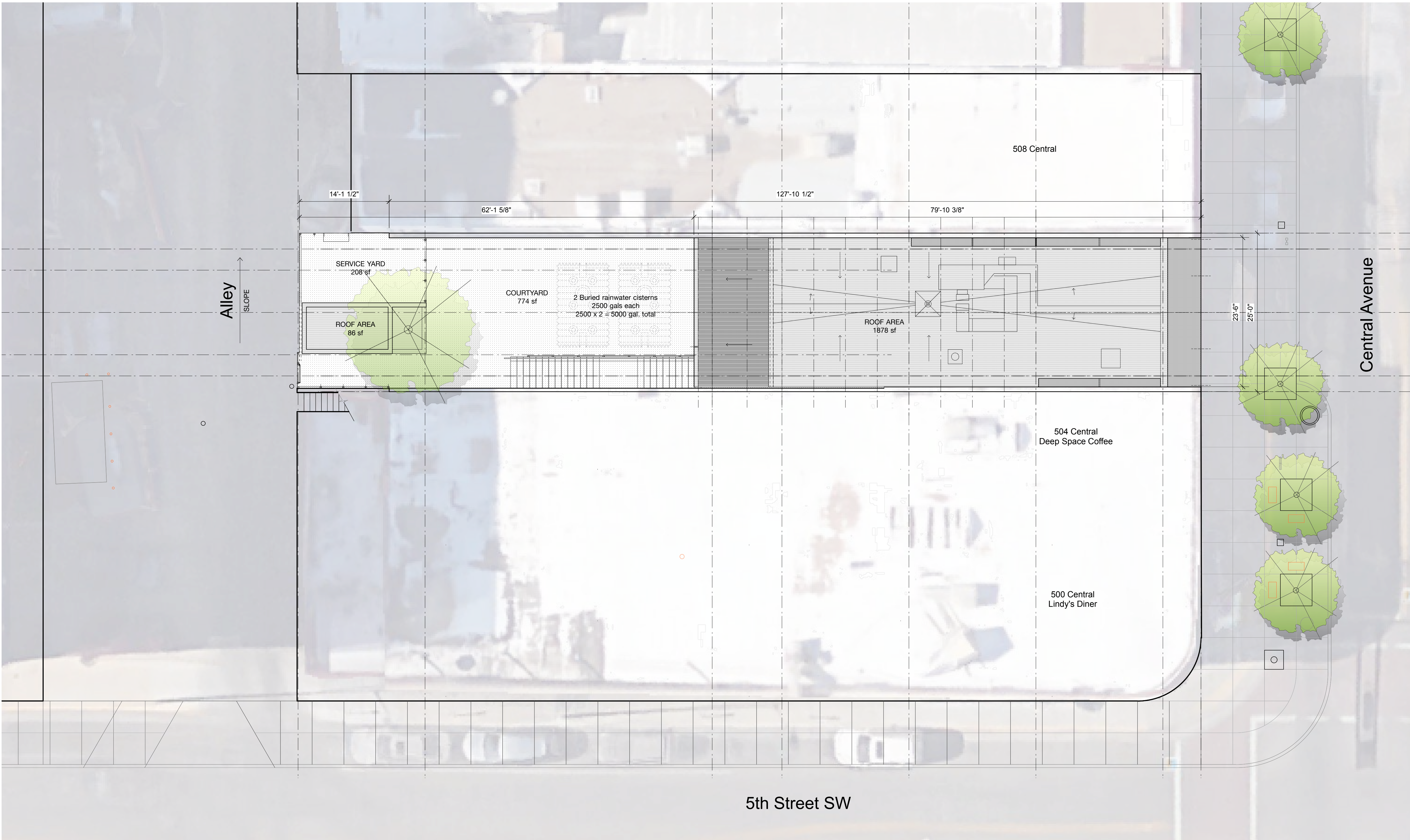
- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 8/2/18 By: _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED:

FEE PAID: \$310



1 506 CENTRAL Ground Floor
Scale: 1/8" = 1'-0"

DRAINAGE NARRATIVE

ADDRESS: 506 Central Avenue SW, Albuquerque NM 87102

LOT AREA: 3,375 SF

IMPERVIOUS AREA:

| | |
|--------------|----------|
| Roof | 1,878 SF |
| Courtyard | 774 SF |
| Service Area | 208 SF |
| Storage Roof | 86 SF |
| Total = | 2,946 SF |

FIRST FLUSH: Impervious area (2,946sf) x 0.26 = 765.96/12 = 63.83 cu ft.
Precipitation Zone 2

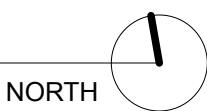
RAINWATER HARVEST SYSTEM:

Two 2,500 gal buried cisterns will be located in the courtyard. The rainwater will be delivered to these cisterns and used for irrigation.

2,500 gal cistern x 2 = 5,000 gal (668 cu ft.)

EXISTING CONDITIONS: The existing site is a 2 story building with roofs that slope to the south and drain off into the alley.

PROPOSED IMPROVEMENTS: The proposed new 2 story building that will replace the existing building has an impervious area of 2946sf which includes roof, walks and stair areas.



SIMMS TOWER STUDIO 850
400 GOLD AVENUE SW
ALBUQUERQUE, NEW MEXICO
877 1002
TEL 505.243.8100

StudioGP, llc
ARCHITECTS
ARCHITECTURE INTERIORS PLANNING
AIA NCARB LEED AP



STARFIELD BUILDING
506 Central Avenue
Albuquerque, NM 87102

PROJECT NAME:

| DATE | DESCRIPTION |
|------|-----------------|
| 6/11 | PERMIT DRAWINGS |
| | |
| | |
| | |
| | |
| | |
| | |

StudioGP PROJECT NO:

17-004

DATE: 8.23.2018

DRAWN BY: GH ..

CHECKED BY: ..

SET NO:

SHEET TITLE:

SITE/
DRAINAGE PLAN

AS-100