

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

September 27, 2018

Joseph Casares, Jr., P.E.
JCII Group
7225 Arenoso Pl NW
Rio Rancho, NM, 87120

**RE: Orpheum Community Hub Phase 1
Grading and Drainage Plan
Engineer's Stamp Date: 09/20/18
Hydrology File: K14D114**

Dear Mr. Casares:

PO Box 1293

Based upon the information provided in your submittal received 09/20/2018, the Grading and Drainage Plan is approved for Building Permit and Grading Permit.

Albuquerque

Please attach a copy of this approved plan in the construction sets for Building Permit processing. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103

Please provide Private Facility Drainage Covenant per Chapter 17 of the DPM prior to Permanent Release of Occupancy for the first flush ponds. Please submit these to the 4th floor of Plaza de Sol. A \$25 fee for each will be required.

www.cabq.gov

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: _____ Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- _____ DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ EROSION & SEDIMENT CONTROL PLAN (ESC)
- _____ ENGINEER'S CERT (HYDROLOGY)
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ ENGINEER'S CERT (TCL)
- _____ ENGINEER'S CERT (DRB SITE PLAN)
- _____ ENGINEER'S CERT (ESC)
- _____ SO-19
- _____ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ SIA/FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D APPROVAL
- _____ S. DEV. FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY (PERM)
- _____ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- _____ FOUNDATION PERMIT APPROVAL
- _____ BUILDING PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ GRADING CERTIFICATION
- _____ SO-19 APPROVAL
- _____ ESC PERMIT APPROVAL
- _____ ESC CERT. ACCEPTANCE
- _____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: _____ By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



TRUEGRID PRO PLUS 24" X 24" X1.8"

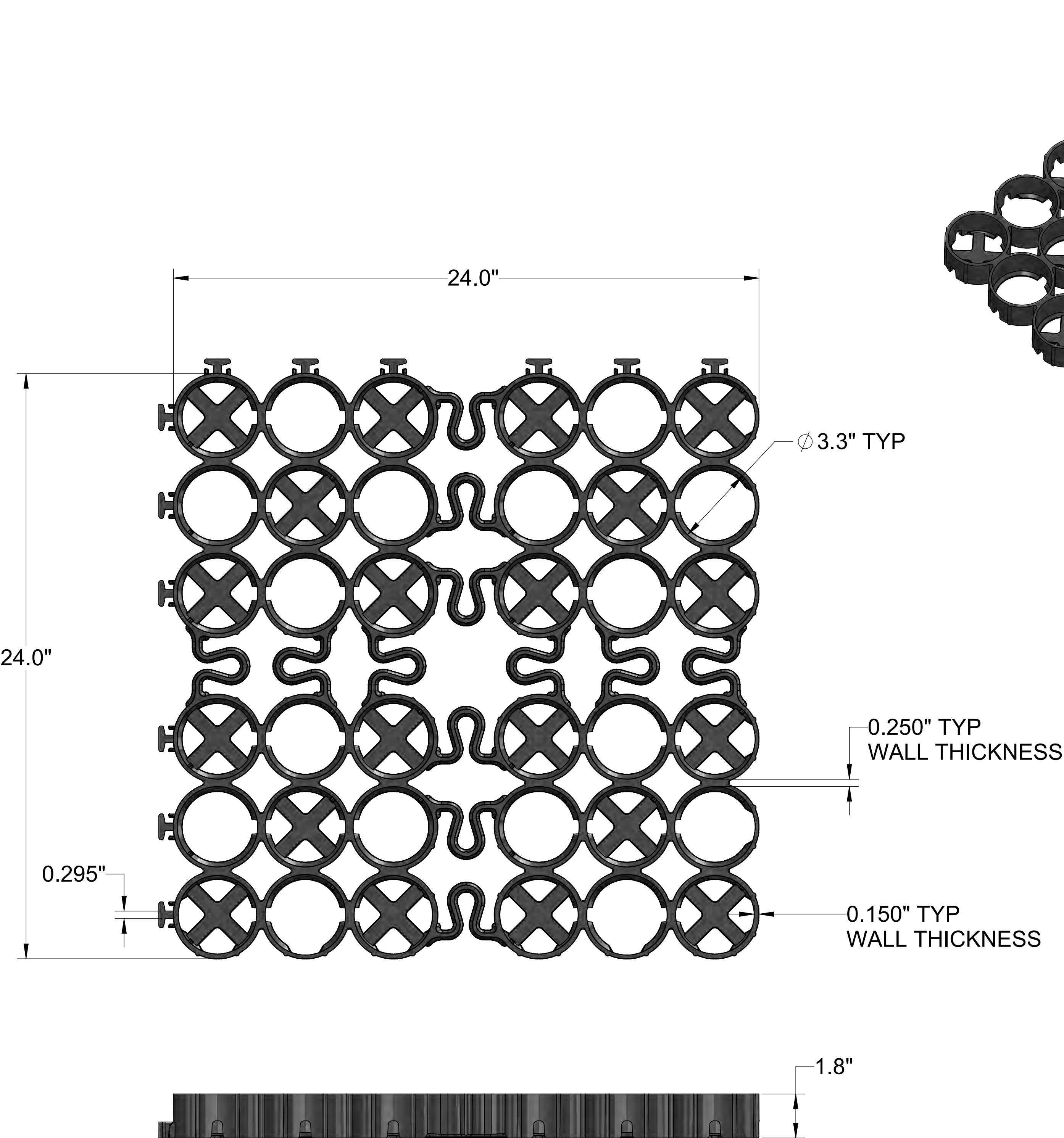
US PATENT NO. 8,734,049

PROPRIETARY FEATURES:

- 1) X-ANCHORS (NO STAKING NEEDED)
- 2) 3 POINT MALE/FEMALE LOCKING TABS
- 3) S-FLEX JOINTS (BUILT IN EXPANSION JOINTS FOR SOIL MOVEMENT AND SEASONAL CHANGES)
- 4) HOOP STRENGTH DESIGN

OTHER:

- 1) 100 % POST-CONSUMER RECYCLED HDPE.
- 2) DELIVERED IN PREASSEMBLED 4' X 4' SHEETS THAT CAN BE RECONFIGURED, AS NEEDED.



FOR PRICING OR ORDERING: CALL 1-855-355-GRID (4743). IN STOCK. FACTORY DIRECT.

TRUEGRID® PRO Plus

Manufacturer's Product Specification Sheet

Dimensions:	24" x 24" x 1.8" (4 sq/ft)
Pre-Assembled:	16 sq/ft per layer (4' x 4' sheet) (4 grids per layer)
Cell Width:	3-3/16"
Weight:	5.22 lbs
Permeability:	100% w/clean, uniform stone
Product Porosity:	90% open
Compressive strength:	Over 8000 psi filled
Material:	Recycled High Density Polyethylene (100% post-consumer)
Color:	Black with UV Stabilizer
Temperature Range:	Dimensionally Stable for -58F to 194F
Moisture Absorption:	.01%
Environmental Compatibility:	Nontoxic, harmless to plants, animals, and microorganisms. Inert material, groundwater neutral
Installation Speed:	1000 sq/ft per man hour

Other features of TRUEGRID

- Highly resistant to oils, gasoline, acids, salt, ammonia, and alcohol
- May be saw cut
- Patented design yields ultimate hoop strength
- Circular elements provide multi-directional crush and shear strength
- Flexible links allow expansion and contraction depending on environmental conditions
- Built in X-Anchors allows weight of filler to hold grid down without any extra staking
- Interlocking connectors

Ground Preparation: Depends upon site condition and local conditions.

Suggested Sub-base: 3/4" – 1" diameter clean/washed, angular gravel.
Depth of this layer should be a minimum of 6" - 8". Deeper for heavier loads.
For additional drainage, increase depth of sub-base.
Class 2 road base (crushed concrete) is also a typical sub-base material.
Gravel/sandy soil mix (60/40) is also common for grass fill applications.
Level sub-base before laying TrueGrid.

Installation: Layout and snap together pre-assembled sheets. (4 pcs per layer = 16 sq/ft)
If body weight does not level the grids, use plate vibrator or heavy cylinder to level.

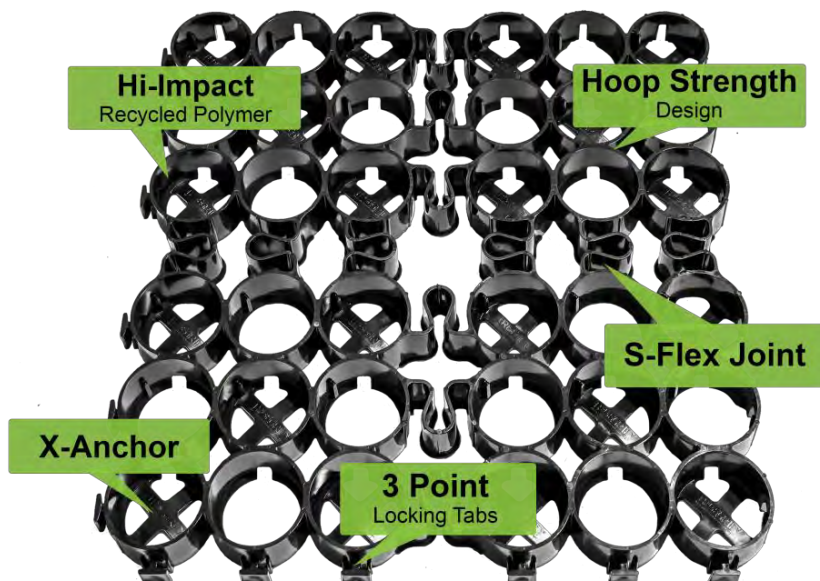
Backfill: Any angular or round medium may be used. Fill cells with filler of choice.
5/8" or 3/4" diameter typical.

- TRUEGRID may be cut on site
- Pre-cutting is not required

Angle grinder, circular saw, compass saw, or handsaw are all options for cutting TRUEGRID.

Delivery:

- **Pallet content:** 800 sq/ft = 50 layers per pallet = 200 pcs
- **Pallet dimensions:** 48" x 48" x 95"
- **Approximate pallet weight:** 1,050 lbs
- **Truckload:** 24 pallets or 19,200 sq/ft



For more info on TRUEGRID
Please visit our website:

www.truegridpaver.com

GRADING & DRAINAGE GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, AND THE CITY OF ALBUQUERQUE SPECIFICATIONS (AS APPLICABLE).
2. AT LEAST TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990), FOR LOCATION OF EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES AND OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR WILL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. ALL EXCAVATION SHALL BE GOVERNED BY FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH, OSHA 29 CFR 1926.650, ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO KNOW AND COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970".
6. CONTRACTOR SHALL SCARIFY AREA UNDER NEW BUILDING AND PARKING TO A DEPTH OF 8" AND RECOMPACT SUBGRADE TO 95% MAX. DENSITY AS DETERMINED BY ASTM D-1557 UNLESS NOTED OTHERWISE.
7. CONTRACTOR IS RESPONSIBLE FOR ANY HAULING OR DISPOSAL OF UNNECESSARY MATERIALS. THE TRANSPORTATION AND/OR DISPOSAL OF MATERIAL SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT.
8. WHEN ABUTTING NEW CONCRETE TO EXISTING, CUT BACK EXISTING TO A NEAT STRAIGHT LINE AS REQUIRED TO REMOVE ANY BROKEN OR CRACKED CONCRETE, AND MATCH NEW TO EXISTING. CUTTING OF PAVEMENT OR CONCRETE SHALL BE IN CONFORMANCE WITH PROJECT SPECIFICATIONS.
9. EXERCISE CARE TO AVOID DISTURBING EXISTING UTILITIES. COORDINATE WITH UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS, AND IN ORDER TO PREVENT SERVICE DISRUPTION.
10. CONTRACTOR SHALL PROVIDE REASONABLE ACCESS TO TEMPORARY FACILITIES WITHIN THE PROJECT AREA DURING CONSTRUCTION.
11. THE CONTRACTOR SHALL PERFORM WATERING FOR DUST CONTROL, AS REQUIRED THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL USE WATERING EQUIPMENT FOR DUST POLLUTION ABATEMENT AS APPROVED BY THE OWNER.
12. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL DEMOLITION DEBRIS. WORK MATERIALS SHALL BE DISPOSED OF IN A CITY APPROVED WASTE AREA, IN ACCORDANCE WITH ALBUQUERQUE SPECIFICATIONS, SECURED BY AND AT THE EXPENSE OF THE CONTRACTOR.
13. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED UTILITY LINES THAT ARE EXPOSED AS A RESULT OF CONSTRUCTION UNLESS OTHERWISE DIRECTED BY THE OWNER.
14. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH "AS-BUILT" PLANS. THESE PLANS SHALL BE KEPT AS CURRENT AS POSSIBLE THROUGHOUT CONSTRUCTION AND SHALL BE SUBJECT TO REVIEW BY THE ENGINEER. THE FINAL AS-BUILT PLANS SHALL BE SUBMITTED TO THE OWNER AND ENGINEER.
15. CONTRACTOR AGREES TO TAKE NECESSARY SAFETY PRECAUTIONS AS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES TO PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC IN THE CONSTRUCTION AREA, WHICH INCLUDE BUT ARE NOT LIMITED TO: MAINTAINING ADEQUATE WARNING SIGNS, BARRICADES, LIGHTS, GUARD FENCES, WALKS AND BRIDGES IN COMPLIANCE WITH CURRENT ADA STANDARDS.
16. CONTRACTOR'S WORK ZONE, AND ANY OTHER AREAS DISTURBED BY CONSTRUCTION THAT MAY NOT BE INCLUDED ON THIS PLAN, SHALL BE RE-ESTABLISHED TO OWNER'S SATISFACTION.
17. OWNER IS RESPONSIBLE FOR A SITE SOIL EVALUATION BY A REGISTERED GEOTECHNICAL ENGINEER. EVALUATION SHALL INCLUDE PERCOLATION AND DRAINAGE IMPACTS. IF ANY GEOTECHNICAL CRITERIA CANNOT BE MET BY THIS PROPOSED PLAN, CONTACT THE ENGINEER FOR SUPPLEMENTAL RECOMMENDATIONS. IF NO GEOTECHNICAL EVALUATION REPORT IS PROVIDED, OWNER ASSUMES ALL RESPONSIBILITY FOR SITE SOIL CONDITIONS AND ANY ADVERSE IMPACTS (I.E. CONSOLIDATION, EXPANSION, PERMEABILITY, ETC.) TO THESE SITE IMPROVEMENTS CAUSED BY SUBSTANDARD SOILS.
18. CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND ADHERING TO A STORMWATER POLLUTION PREVENTION PLAN IF MORE THAN AN ACRE IS DISTURBED.
19. SAFETY RAILS ARE REQUIRED AT ALL LOCATION ADJACENT TO A PEDESTRIAN WALKWAY WHERE A VERTICAL DROP OF 24" OR MORE EXISTS, OR AS APPLICABLE PER GOVERNING BUILDING CODE. COORDINATE WITH OWNER FOR SAFETY RAIL DETAILS.
20. ALL LANDSCAPED AREAS SHALL BE DEPRESSED APPROXIMATELY 6" (MAX.) BELOW ADJACENT CONCRETE.
21. ALL SIDEWALKS AND RAMPS TO BE APPROXIMATELY 4" ABOVE ADJACENT LANDSCAPE FINISH.
22. COORDINATE IMPROVEMENTS SHOWN ON THIS PLAN WITH THE ARCHITECT'S SITE PLAN. COORDINATE ANY DEPENDENCIES WITH THE ENGINEER.
23. SITE SURVEY IS BASED FROM CITY OF ALBUQUERQUE CONTROL 6_K13. DATA FILE WILL BE MADE AVAILABLE UPON REQUEST.

