CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



September 27, 2018

Joseph Casares, Jr., P.E. JCII Group 7225 Arenoso Pl NW Rio Rancho, NM, 87120

RE: Orpheum Community Hub Phase 1

Grading and Drainage Plan

Engineer's Stamp Date: 09/20/18

Hydrology File: K14D114

Dear Mr. Casares:

Based upon the information provided in your submittal received 09/20/2018, the Grading and

Drainage Plan is approved for Building Permit and Grading Permit.

Please attach a copy of this approved plan in the construction sets for Building Permit

processing. Prior to approval in support of Permanent Release of Occupancy by Hydrology,

Engineer Certification per the DPM checklist will be required.

NM 87103 Please provide Private Facility Drainage Covenant per Chapter 17 of the DPM prior to

Permanent Release of Occupancy for the first flush ponds. Please submit these to the 4th floor of

Plaza de Sol. A \$25 fee for each will be required.

www.cabq.gov If you have any questions, please contact me at 924-3995 or <u>rbrissette@cabq.gov</u>.

Sincerely,

Albuquerque

Renée C. Brissette, P.E. CFM Senior Engineer, Hydrology

Renée C. Brissette

Planning Department



Project Title:

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Building Permit #: City Drainage #: _

DRB#: EPC	#: Work 0	Order#:	
Legal Description:			
City Address:			
Engineering Firm:	Contac	t:	
Address:			
Phone#: Fax#	E-mail:		
Owner:	Contac	t:	
Address:			
Phone#: Fax#	: E-mail:		
Architect:	Contac	t:	
Address:			
Phone#: Fax#	: E-mail:	:	
Surveyor:	Contac	t:	
Address:			
Phone#: Fax#	E-mail:		
Contractor:	Contac	t:	
Address:			
Phone#: Fax#	: E-mail:		
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL/ACC	CEPTANCE SOUGHT:	
DRAINAGE REPORT	SIA/FINANCIAL GUARANTEE REI	SIA/FINANCIAL GUARANTEE RELEASE	
DRAINAGE PLAN 1st SUBMITTAL	PRELIMINARY PLAT APPROVAL	PRELIMINARY PLAT APPROVAL	
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D APPROV	S. DEV. PLAN FOR SUB'D APPROVAL	
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMIT APPR	S. DEV. FOR BLDG. PERMIT APPROVAL	
GRADING PLAN	GRADING PLAN SECTOR PLAN APPROVAL		
EROSION & SEDIMENT CONTROL PLAN (E	ROSION & SEDIMENT CONTROL PLAN (ESC) FINAL PLAT APPROVAL		
ENGINEER'S CERT (HYDROLOGY)	CERTIFICATE OF OCCUPANCY (P	CERTIFICATE OF OCCUPANCY (PERM)	
CLOMR/LOMR	CERTIFICATE OF OCCUPANCY (T	CERTIFICATE OF OCCUPANCY (TCL TEMP)	
TRAFFIC CIRCULATION LAYOUT (TCL)	FOUNDATION PERMIT APPROVA	FOUNDATION PERMIT APPROVAL	
ENGINEER'S CERT (TCL)	BUILDING PERMIT APPROVAL	BUILDING PERMIT APPROVAL	
ENGINEER'S CERT (DRB SITE PLAN)	GRADING PERMIT APPROVAL	SO-19 APPROVAL	
ENGINEER'S CERT (ESC)	PAVING PERMIT APPROVAL	ESC PERMIT APPROVAL	
SO-19	WORK ORDER APPROVAL	ESC CERT. ACCEPTANCE	
OTHER (SPECIFY)	GRADING CERTIFICATION	OTHER (SPECIFY)	
WAS A PRE-DESIGN CONFERENCE ATTENDED:	Yes No Copy Provi	ided	
DATE SUBMITTED:	By:		

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the followin

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



MADE IN

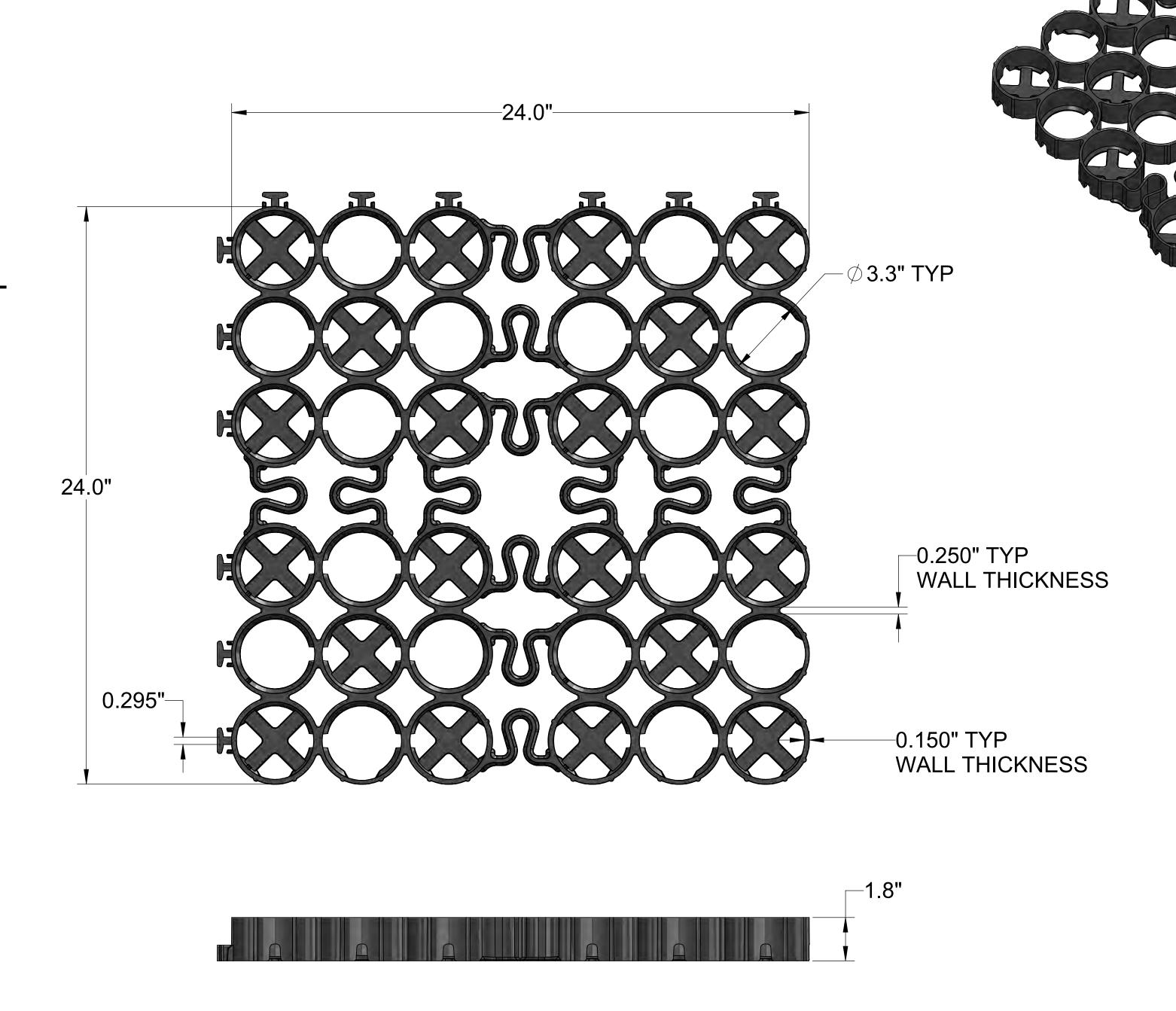
TRUEGRID PRO PLUS 24" X 24" X1.8"

US PATENT NO. 8,734,049

PROPRIETARY FEATURES:

- X-ANCHORS (NO STAKING NEEDED)
 3 POINT MALE/FEMALE LOCKING TABS
- S-FLEX JOINTS (BUILT IN EXPANSION JOINTS FOR SOIL MOVEMENT AND SEASONAL CHANGES)
- **HOOP STRENGTH DESIGN**

- 100 % POST-CONSUMER RECYCLED HDPE.
- DELIVERED IN PREASSEMBLED 4' X 4' SHEETS THAT CAN BE RECONFIGURED, AS NEEDED.



FOR PRICING OR ORDERING: CALL 1-855-355-GRID (4743). IN STOCK. FACTORY DIRECT.



TRUEGRID® PRO Plus

Manufacturer's Product Specification Sheet

Dimensions: 24" x 24" x 1.8" (4 sq/ft)

Pre-Assembled: 16 sq/ft per layer (4' x 4' sheet) (4 grids per layer)

Cell Width: 3-3/16"

Weight: 5.22 lbs

Permeability: 100% w/clean, uniform stone

Product Porosity: 90% open

Compressive strength: Over 8000 psi filled

Material: Recycled High Density Polyethylene (100% post-consumer)

Color: Black with UV Stabilizer

Temperature Range: Dimensionally Stable for -58F to 194F

Moisture Absorption: .01%

Environmental Compatibility:Nontoxic, harmless to plants, animals, and microorganisms. Inert

material, groundwater neutral

Installation Speed: 1000 sq/ft per man hour

Other features of TRUEGRID

- Highly resistant to oils, gasoline, acids, salt, ammonia, and alcohol
- May be saw cut
- Patented design yields ultimate hoop strength
- Circular elements provide multi-directional crush and shear strength
- Flexible links allow expansion and contraction depending on environmental conditions
- Built in X-Anchors allows weight of filler to hold grid down without any extra staking
- Interlocking connectors



Ground Preparation: Depends upon site condition and local conditions.

Suggested Sub-base: 3/4'' - 1'' diameter clean/washed, angular gravel.

Depth of this layer should be a minimum of 6"-8". Deeper for heavier loads.

For additional drainage, increase depth of sub-base.

Class 2 road base (crushed concrete) is also a typical sub-base material. Gravel/sandy soil mix (60/40) is also common for grass fill applications.

Level sub-base before laying TrueGrid.

Installation: Layout and snap together pre-assembled sheets. (4 pcs per layer = 16 sq/ft)

If body weight does not level the grids, use plate vibrator or heavy cylinder to level.

Backfill: Any angular or round medium may be used. Fill cells with filler of choice.

5/8" or 3/4" diameter typical.

TRUEGRID may be cut on sitePre-cutting is not required

Angle grinder, circular saw, compass saw, or handsaw are all options for cutting TRUEGRID.

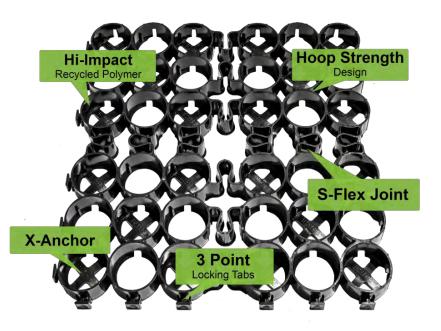
Delivery:

Pallet content: 800 sq/ft = 50 layers per pallet = 200 pcs

• Pallet dimensions: 48" x 48" x 95"

Approximate pallet weight: 1,050 lbs

• Truckload: 24 pallets or 19,200 sq/ft



For more info on TRUEGRID Please visit our website:

www.truegridpaver.com

GRADING & DRAINAGE GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, AND THE CITY OF ALBUQUERQUE SPECIFICATIONS (AS APPLICABLE).

2. AT LEAST TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990), FOR LOCATION OF EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.

3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES AND OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR WILL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

4. ALL EXCAVATION SHALL BE GOVERNED BY FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH, OSHA 29 CFR 1926.650. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.

5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO KNOW AND COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970".

6. CONTRACTOR SHALL SCARIFY AREA UNDER NEW BUILDING AND PARKING TO A DEPTH OF 8" AND RECOMPACT SUBGRADE TO 95% MAX. DENSITY AS DETERMINED BY ASTM D-1557 UNLESS NOTED

7. CONTRACTOR IS RESPONSIBLE FOR ANY HAULING OR DISPOSAL OF UNNECESSARY MATERIALS. THE TRANSPORTATION AND/OR DISPOSAL OF MATERIAL SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT.

8. WHEN ABUTTING NEW CONCRETE TO EXISTING, CUT BACK EXISTING TO A NEAT STRAIGHT LINE AS REQUIRED TO REMOVE ANY BROKEN OR CRACKED CONCRETE, AND MATCH NEW TO EXISTING. CUTTING OF PAVEMENT OR CONCRETE SHALL BE IN CONFORMANCE WITH PROJECT SPECIFICATIONS.

9. EXERCISE CARE TO AVOID DISTURBING EXISTING UTILITIES. COORDINATE WITH UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS, AND IN ORDER TO PREVENT SERVICE DISRUPTION.

10. CONTRACTOR SHALL PROVIDE REASONABLE ACCESS TO TEMPORARY FACILITIES WITHIN THE PROJECT AREA DURING CONSTRUCTION.

11. THE CONTRACTOR SHALL PERFORM WATERING FOR DUST CONTROL, AS REQUIRED THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL USE WATERING EQUIPMENT FOR DUST POLLUTION ABATEMENT AS APPROVED BY THE OWNER.

12. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL DEMOLITION DEBRIS. WORK MATERIALS SHALL BE DISPOSED OF IN A CITY APPROVED WASTE AREA, IN ACCORDANCE WITH ALBUQUERQUE SPECIFICATIONS, SECURED BY AND AT THE EXPENSE OF THE CONTRACTOR.

13. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED UTILITY LINES THAT ARE EXPOSED AS A RESULT OF CONSTRUCTION UNLESS OTHERWISE DIRECTED BY THE OWNER.

14. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH "AS-BUILT" PLANS. THESE PLANS SHALL BE KEPT AS CURRENT AS POSSIBLE THROUGHOUT CONSTRUCTION AND SHALL BE SUBJECT TO REVIEW BY THE ENGINEER. THE FINAL AS-BUILT PLANS SHALL BE SUBMITTED TO THE OWNER AND ENGINEER.

15. CONTRACTOR AGREES TO TAKE NECESSARY SAFETY PRECAUTIONS AS REQUIRED BY FEDERAL STATE AND LOCAL AUTHORITIES TO PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC IN THE CONSTRUCTION AREA, WHICH INCLUDE BUT ARE NOT LIMITED TO: MAINTAINING ADEQUATE WARNING SIGNS, BARRICADES, LIGHTS, GUARD FENCES, WALKS AND BRIDGES IN COMPLIANCE WITH CURRENT ADA STANDARDS.

16. CONTRACTOR'S WORK ZONE, AND ANY OTHER AREAS DISTURBED BY CONSTRUCTION THAT MAY NOT BE INCLUDED ON THIS PLAN, SHALL BE RE-ESTABLISHED TO OWNER'S SATISFACTION.

17. OWNER IS RESPONSIBLE FOR A SITE SOIL EVALUATION BY A REGISTERED GEOTECHNICAL ENGINEER. EVALUATION SHALL INCLUDE PERCOLATION AND DRAINAGE IMPACTS. IF ANY GEOTECHNICAL CRITERIA CANNOT BE MET BY THIS PROPOSED PLAN, CONTACT THE ENGINEER FOR SUPPLEMENTAL RECOMMENDATIONS. IF NO GEOTECHNICAL EVALUATION REPORT IS PROVIDED, OWNER ASSUMES ALL RESPONSIBILITY FOR SITE SOIL CONDITIONS AND ANY ADVERSE IMPACTS (I.E. CONSOLIDATION, EXPANSION, PERMEABILITY, ETC.) TO THESE SITE IMPROVEMENTS CAUSED BY SUBSTANDARD SOILS.

18. CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND ADHERING TO A STORMWATER POLLUTION PREVENTION PLAN IF MORE THAN AN ACRE IS DISTURBED.

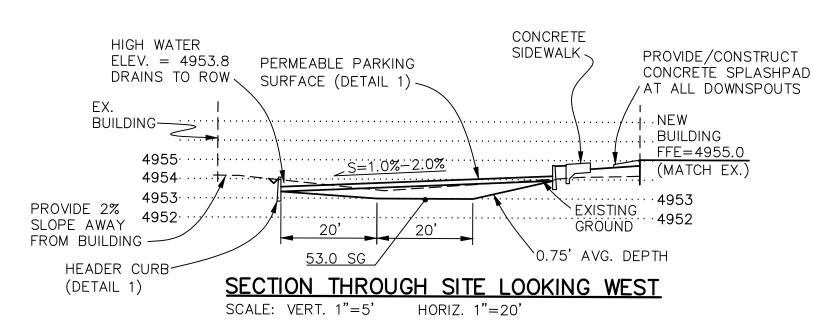
19. SAFETY RAILS ARE REQUIRED AT ALL LOCATION ADJACENT TO A PEDESTRIAN WALKWAY WHERE A VERTICAL DROP OF 24" OR MORE EXISTS, OR AS APPLICABLE PER GOVERNING BUILDING CODE. COORDINATE WITH OWNER FOR SAFETY RAIL DETAILS.

20. ALL LANDSCAPED AREAS SHALL BE DEPRESSED APPROXIMATELY 6" (MAX.) BELOW ADJACENT CONCRETE.

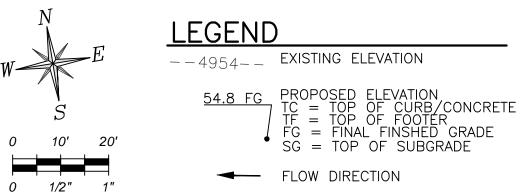
21. ALL SIDEWALKS AND RAMPS TO BE APPROXIMATELY 4" ABOVE ADJACENT LANDSCAPE FINISH.

22. COORDINATE IMPROVEMENTS SHOWN ON THIS PLAN WITH THE ARCHITECT'S SITE PLAN. COORDINATE ANY DEPENDENCIES WITH THE ENGINEER.

23. SITE SURVEY IS BASED FROM CITY OF ALBUQUERQUE CONTROL 6_K13. DATA FILE WILL BE MADE AVAILABLE UPON REQUEST.

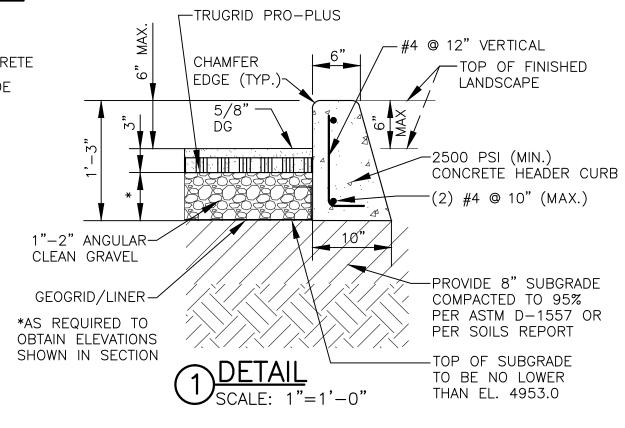


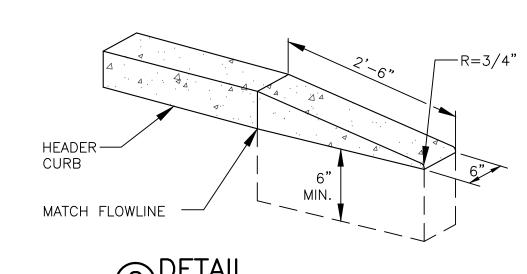
COAL AVENUE SEE ARCHITECT SITE PLAN FOR EXTENT OF CONCRETE EXISTING BUILDING MATCH EX. FFE=4955.0 FFE=4956.0 <u>54.0 FG</u> <u>53.8 FG</u> CURB TERMINATION (TYPICAL OF 4) DUMPSTER PARKING LOT LIGHT ~ MATCH EX. SEE ELECTRICAL PLANS



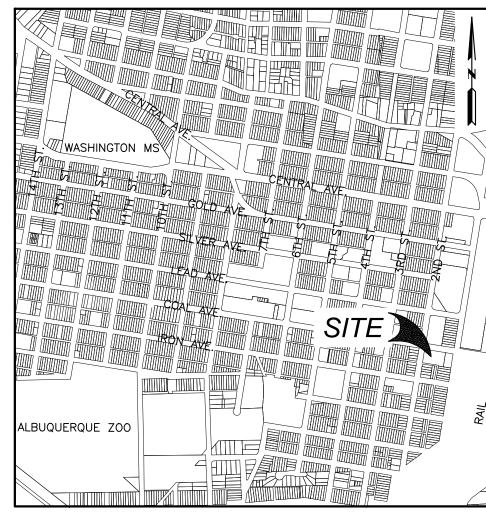
GRADING & DRAINAGE KEYED NOTES

- A. DRAINAGE CHANNEL/RETENTION BASIN PER ELEVATIONS SHOWN. 4H:1V MAX. SIDE SLOPES, USE BOULDERS TO OFF-SET GRADE. FINISHED GRADES SHOWN ARE TOP OF FINISHED RIPRAP, LANDSCAPE, OR GRAVEL SURFACE (WHICHEVER IS APPLICABLE).
- C. INSTALL 5/8" DECOMPOSED GRANITE (DG) OVER TRUGRID PRO-PLUS (OR EQUAL), OVER 1"-2" ANGULAR CLEAN GRAVEL. PROVIDE 8" SUB-GRADE COMPACTION WITH GEOGRID AT SUB-GRADE/GRAVEL INTERFACE, (SEE DETAIL 1).
- D. CONSTRUCT VERTICAL CONCRETE HEADER CURB PER ELEVATIONS SHOWN ON PLAN, AND PER DETAIL 1. INTEGRATE SITE GRADING AND LANDSCAPING AS NECESSARY. PROVIDE CURB TERMINATION PER DETAIL 2 AT PARKING LOT DRIVEWAYS.
- E. INSTALL 6' CONCRETE PARKING BUMPERS, PINNED WITH #6 REBAR AT 18" BELOW SUB-GRADE. CENTER OF BUMPERS EQUALLY SPACED.
- F. CONSTRUCT 6" THICK REINFORCED (STEEL MESH) CONCRETE SIDEWALK AT 2500PSI. SIDEWALK CROSS SLOPE IS 0.52%. PRÓVIDE EXPANSION/CONTRACTION JOINTS AT 6' MAX. SPACING. PROVIDE REINFORCED 12" DEEP TURN-DOWN EDGE AT PARKING LOT. COORDINATE WITH ARCHITECT FOR SIDEWALK FINISH.
- G. CONSTRUCT 18'X28' REINFORCED (#4 REBAR @ 12" O.C.) CONCRETE DRIVE PAD AT 6" THICK. PROVIDE EXPANSION/CONTRACTION JOINTS AT EQUAL INTERVALS.
- I. CONSTRUCT NEW CONCRETE SIDEWALK PER COA DETAIL 2430.
- J. CONSTRUCT NEW STANDARD CURB AND GUTTER PER COA DETAIL 2415.
- K. CONSTRUCT NEW 24' DRIVE PAD PER COA DETAIL 2425.
- L. PROVIDE 12" MIN. DRAINAGE OPENING IN CONCRETE.
- M. DEPRESS TOP OF FINISHED LANDSCAPE 3" TO ACCOMMODATE FIRST FLUSH VOLUME. DEPRESS 880 SQUARE FEET.









LOCATION MAP

SCALE: 1"=1000'± ZONE ATLAS MAP K-13-Z

PROPOSED PROJECT

SITE LOCATION

THE SITE (APPROXIMATELY 0.76 ACRES) IS LOCATED IN THE CITY OF ALBUQUERQUE AT 500 2ND ST. SW, WHICH IS LOCATED IN ZONE ATLAS MAP K-14-Z.

LEGAL DESCRIPTION

LOT LETTERED "A-1" IN BLOCK LETTERED "A" OF ATLANTIC AND PACIFIC ADDITION, CITY OF ALBUQUERQUE, BERNALILLO NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON SAID REPLAT THEROF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 16, 2016, IN PLAT BOOK 2016C, PAGE 155.

EXISTING SITE CONDITION

CURRENTLY THE SITE IS DEVELOPED WITH APPROXIMATELY 9,200 SQ. FT. OF ROOF TOP. EXISTING ROOF TOP DRAINS FACILITATE STORMWATER TO EXISTING LANDSCAPED AREAS AND TO GRAVEL PARKING LOT. APPROXIMATELY 1.0 FT. OF PONDING OCCURS ON THE PARKING LOT WITH AN ULTIMATE OUTFALL TO 2ND STREET AT AN ELEVATION OF 4953.7. SITE IS DETERMINED TO BE FREE FLOW.

PROPOSED CONSTRUCTION

THE PROPOSED CONSTRUCTION CONSISTS OF BUILDING ADDITION, NEW UTILITY SERVICE CONNECTIONS, GRADING & DRAINAGE IMPROVEMENTS, NEW GRAVEL PARKING LOT, CONCRETE WALKWAYS, LANDSCAPE AND OTHER AMENITIES. OFF-SITE CONSTRUCTION WILL INCLUDE SIDEWALK, CURB, GUTTER, NEW DRIVE PAD AND UTILITY CONNECTIONS TO MAINS. THE SURROUNDING AREA IS FULLY DEVELOPED WITH BUILDINGS, STREETS, CURB AND GUTTER, SIDEWALKS, UTILITIES AND DRAINAGE INFRASTRUCTURE. PROPOSED IMPROVEMENTS ARE DESIGNED TO TIE INTO SURROUNDING DEVELOPMENT. OFF-SITE STORMWATER SHOULD NOT IMPACT THIS SITE. STORMWATER GENERATED ON-SITE INCLUDING THE FIRST FLUSH, WILL BE CONVEYED TO ON-SITE RETENTION AREAS. THE PROPOSED ON-SITE DRAINAGE FACILITIES WILL BE OPERATED AND MAINTAINED BY THE

FEMA FIRM

FOR REFERENCE. THE SITE IS LOCATED IN FLOOD ZONE X AS INDICATED BY FIRM NUMBER 35001C0334G, RECORDED ON 09/26/2008 BY FEMA.

PROPOSED DRAINAGE

- THIS GRADING & DRAINAGE PLAN DEPICTS: EXISTING ELEVATIONS AS TAKEN FROM RECENT TOPOGRAPHY SURVEY PROPOSED GRADES INDICATED BY SPOT ELEVATIONS AND CONTOUR LINES THE LIMITS AND CHARACTER OF THE EXISTING FEATURES
- THE LIMITS AND CHARACTER OF THE PROPOSED IMPROVEMENTS CONTINUITY BETWEEN EXISTING AND PROPOSED CONDITIONS

THE FOLLOWING ANALYSIS IS IN ACCORDANCE WITH CHAPTER 22 OF THE DEVELOPMENT PROCESS MANUAL (DPM), VOLUME 1, 1997 REVISIONS, AND IS USED TO QUANTIFY THE PEAK RATE OF DISCHARGE (Q) AND VOLUME (V) OF ON-SITE STORMWATER.

HYDROLOGY

DRAINAGE AREA = 0.76 ACRES LAND TREATMENT (TABLE A-4) PRECIPITATION ZONE = 2

EXISTING CONDITIONS PROPOSED CONDITIONS B = 0%B = 35%C = 68%

C = 24%D = 32%D = 41%V = 4.344V = 4,352 CF (100YR, 24HR)Q = 2.8 CFSQ = 2.7 CFS

EXISTING RETENTION VOLUME (Vex) RETENTION: (V) = (1/2)[(6,338 SF + 459 SF)(1.0 FT)] = 3,398 CF

PROPOSED RETENTION VOLUME (Vpr):

RETENTION IS DESIGNED WITH 4H:1V MAX. SIDE SLOPES, AND INCLUDES STORAGE WITHIN PERMEABLE PAVEMENT, AND DEPRESSED LANDSCAPE AREAS. THE TOTAL VOLUME IS CALCULATED AS FOLLOWS;

EAST RETENTION: (1/2)[(2,675 SF + 104 SF)(0.8 FT)] = 1,112 CFPARKING RETENTION: (1/2)[(1,953 SF + 0 SF)(.2 FT)] = 195 CFPERMEABLE PARKING: (7,600 SF X 0.75 FT) X (33%) = 1881 CFLANDSCAPE DEPRESSION: 840 SF X 0.25 FT = 210 CF TOTAL RETENTION = 1.112 + 195 + 1.881 + 210 = 3.398 CF (Vex=Vpr)

PROPOSED CONTROL MEASURES PERMEABLE PAVEMENT, AND DEPRESSED LANDSCAPE AREAS ARE BOTH PROPOSED TO MANAGE THE FIRST FLUSH. SEE PLAN.

FIRST FLUSH VOL. = 0.76 ACRES X 0.34 INCHES = 938 CF PROPOSED PERMEABLE PARKING AND DEPRESSED AREAS 1.881 CF + 210 CF = 2.091 CF =>> FIRST FLUSH MET

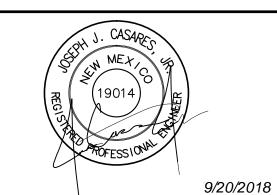
ARCHITECT

SAM STERLING ARCHITECTURE, IIC

924 2nd St NW Suite C, Albuquerque, NM 87102 505.232.2520

ONSULTANT





KEY PLAN

ij 0 S 0 a

lewis 2nd

100% Permit Drawing

DATE: 9/20/2018 DRAWN BY: CHECKED BY: JC

Grading & Drainage Plan