

# CITY OF ALBUQUERQUE

*Planning Department*  
David Campbell, Director



*Mayor Timothy M. Keller*

May 3, 2019

Joseph Casares, Jr., P.E.  
JCII Group  
7225 Arenoso Pl NW  
Rio Rancho, NM, 87120

**RE: Orpheum Community Hub**  
**500 2<sup>nd</sup> Street SW**  
**Permanent C.O. – Accepted**  
**Engineer's Stamp Date: 09/20/18**  
**Engineer's Certification Date: 04/25/19**  
**Hydrology File: K14D114**

PO Box 1293

Dear Mr. Casares:

Albuquerque

Based on the Certification received 05/01/19 and site visit on 05/03/19, this certification is approved in support of Permanent Release of Occupancy by Hydrology.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

NM 87103

Sincerely,

[www.cabq.gov](http://www.cabq.gov)

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** Orpheum Community Hub **Building Permit #:** BP18 - 30141 **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** Lot Lettered A-1 in Block A of Atlantic and Pacific Addition, Book 2016C, Page 155  
**City Address:** 500 2nd Street SW

**Applicant:** JCII Group, LLC **Contact:** Joe Casares  
**Address:** 8105 Sand Springs Circle NW, ABQ NM, 87114  
**Phone#:** 505-264-6918 **Fax#:** \_\_\_\_\_ **E-mail:** JCIIGroup@gmail.com

**Other Contact:** Sam Sterling Architecture, LLC **Contact:** Sam Sterling  
**Address:** 924 2nd Street NW Suite C, ABQ, NM 87102 **E-mail:** Sam@samsterlingarchitecture.com  
**Phone#:** 505-232-2520 **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** ☒ PLAT (# of lots) (2 lots total on property, with only 1 lot having Grading & Drainage work) ☐ RESIDENCE ☐ DRB SITE ☐ ADMIN SITE

IS THIS A RESUBMITTAL? ☐ Yes ☒ No

**DEPARTMENT** ☐ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☒ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 5.1.19 **By:** [Signature]

COA STAFF:

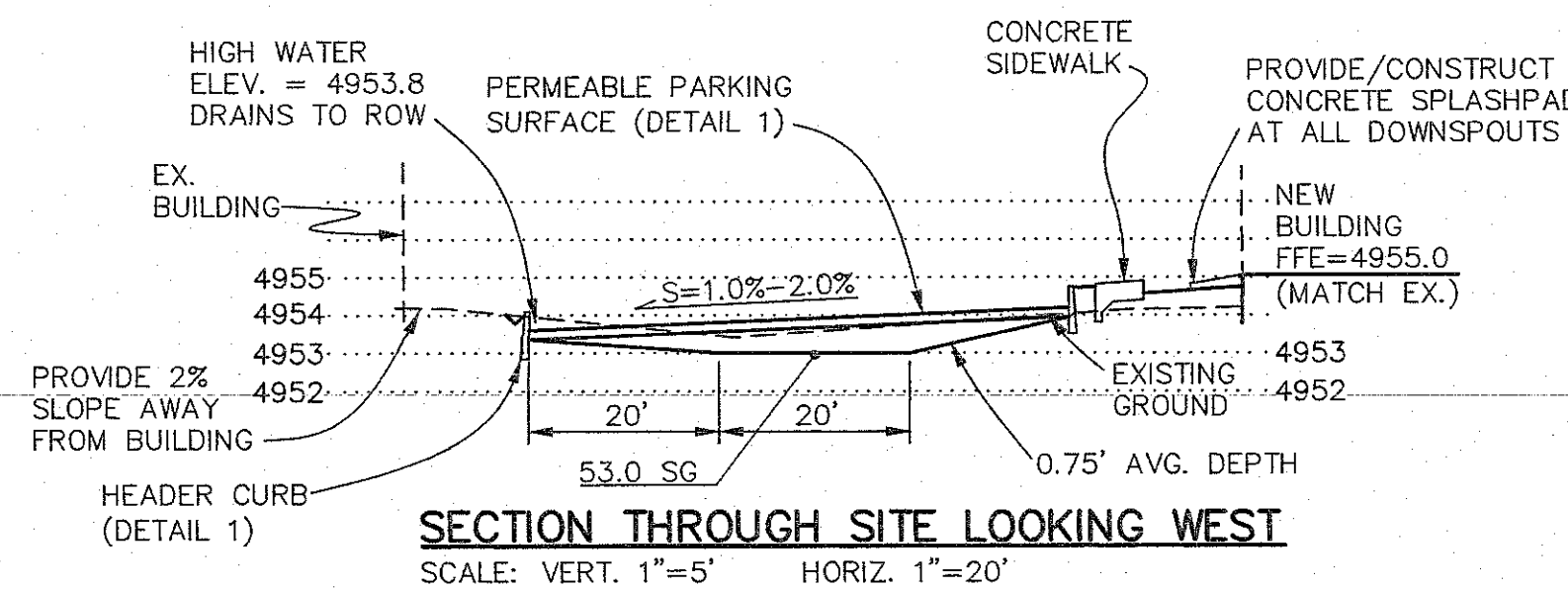
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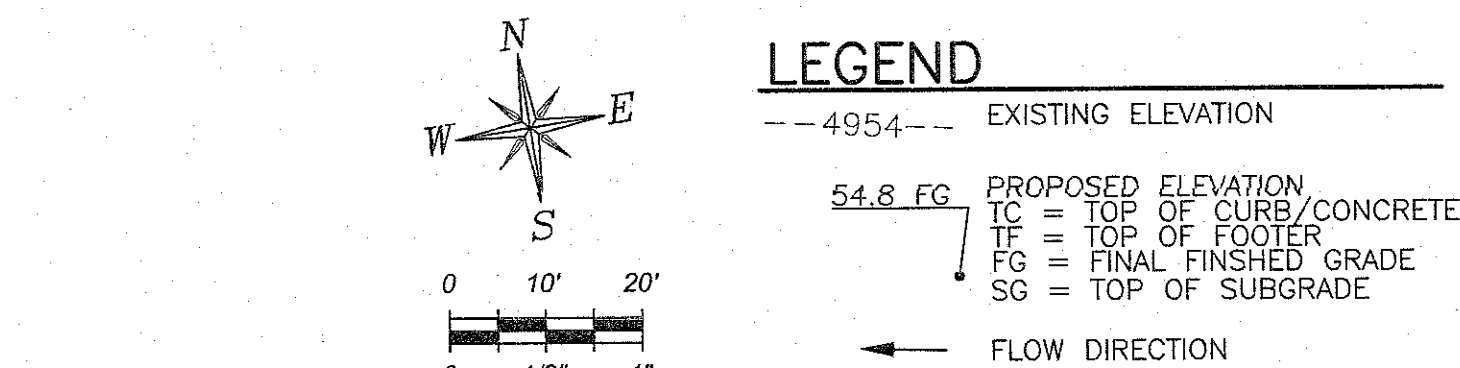
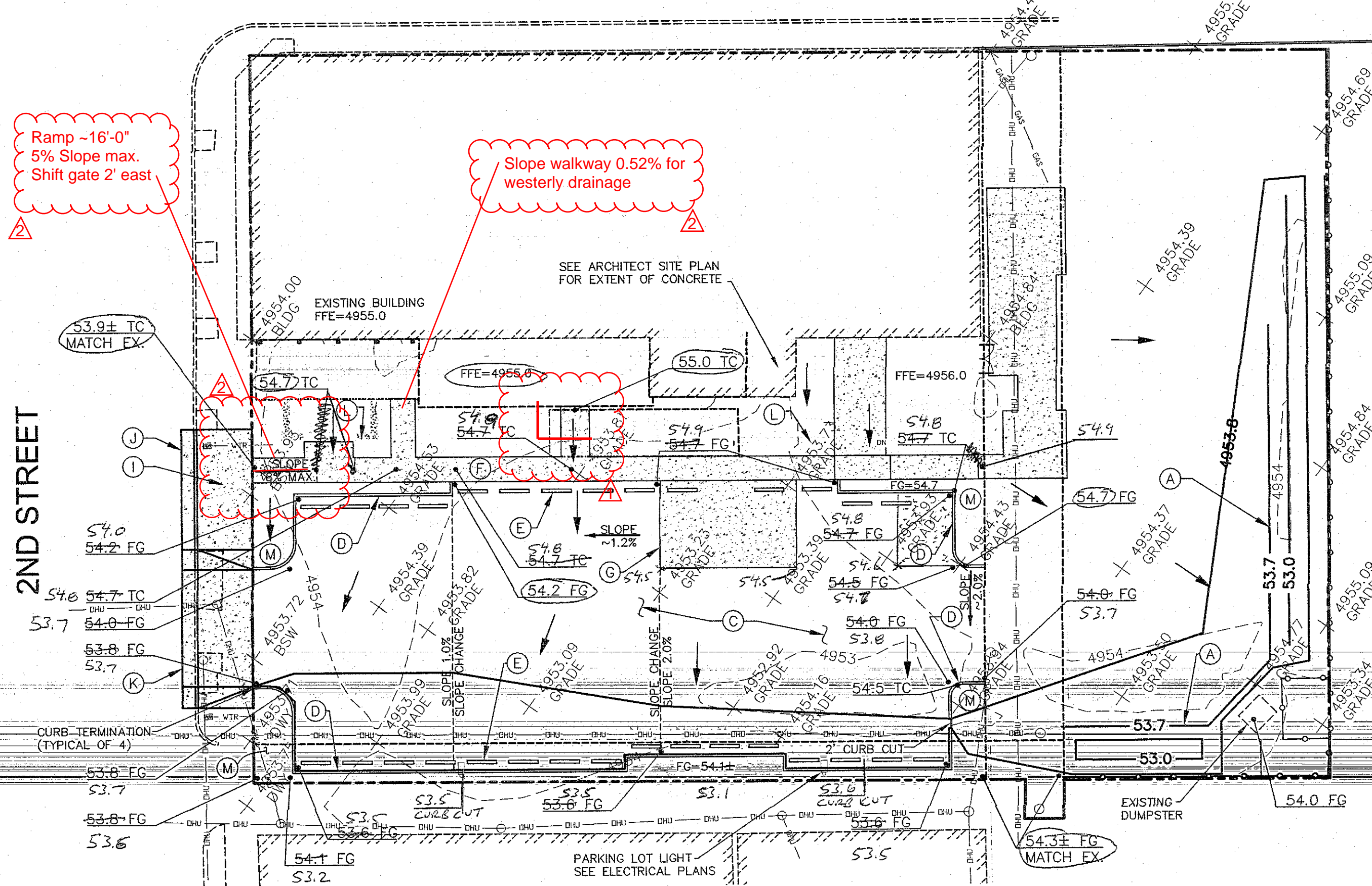


## GRADING & DRAINAGE GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, AND THE CITY OF ALBUQUERQUE SPECIFICATIONS (AS APPLICABLE).
- AT LEAST TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990), FOR LOCATION OF EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES AND OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR WILL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL EXCAVATION SHALL BE GOVERNED BY FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH, OSHA 29 CFR 1926.650. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO KNOW AND COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970".
- CONTRACTOR SHALL SCARIFY AREA UNDER NEW BUILDING AND PARKING TO A DEPTH OF 8" AND RECOMPACT SUBGRADE TO 95% MAX. DENSITY AS DETERMINED BY ASTM D-1557 UNLESS NOTED OTHERWISE.
- CONTRACTOR IS RESPONSIBLE FOR ANY HAULING OR DISPOSAL OF UNNECESSARY MATERIALS. THE TRANSPORTATION AND/OR DISPOSAL OF MATERIAL SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT.
- WHEN ABUTTING NEW CONCRETE TO EXISTING, CUT BACK EXISTING TO A NEAT STRAIGHT LINE AS REQUIRED TO REMOVE ANY BROKEN OR CRACKED CONCRETE, AND MATCH NEW TO EXISTING. CUTTING OF PAVEMENT OR CONCRETE SHALL BE IN CONFORMANCE WITH PROJECT SPECIFICATIONS.
- EXERCISE CARE TO AVOID DISTURBING EXISTING UTILITIES. COORDINATE WITH UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS, AND IN ORDER TO PREVENT SERVICE DISRUPTION.
- CONTRACTOR SHALL PROVIDE REASONABLE ACCESS TO TEMPORARY FACILITIES WITHIN THE PROJECT AREA DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PERFORM WATERING FOR DUST CONTROL, AS REQUIRED THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL USE WATERING EQUIPMENT FOR DUST POLLUTION ABATEMENT AS APPROVED BY THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL DEMOLITION DEBRIS. WORK MATERIALS SHALL BE DISPOSED OF IN A CITY APPROVED WASTE AREA, IN ACCORDANCE WITH ALBUQUERQUE SPECIFICATIONS, SECURED BY AND AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED UTILITY LINES THAT ARE EXPOSED AS A RESULT OF CONSTRUCTION UNLESS OTHERWISE DIRECTED BY THE OWNER.
- THE CONTRACTOR SHALL PROVIDE THE OWNER WITH "AS-BUILT" PLANS. THESE PLANS SHALL BE KEPT AS CURRENT AS POSSIBLE THROUGHOUT CONSTRUCTION AND SHALL BE SUBJECT TO REVIEW BY THE ENGINEER. THE FINAL AS-BUILT PLANS SHALL BE SUBMITTED TO THE OWNER AND ENGINEER.
- CONTRACTOR AGREES TO TAKE NECESSARY SAFETY PRECAUTIONS AS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES TO PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC IN THE CONSTRUCTION AREA, WHICH INCLUDE BUT ARE NOT LIMITED TO: MAINTAINING ADEQUATE WARNING SIGNS, BARRICADES, LIGHTS, GUARD FENCES, WALKS AND BRIDGES IN COMPLIANCE WITH CURRENT ADA STANDARDS.
- CONTRACTOR'S WORK ZONE, AND ANY OTHER AREAS DISTURBED BY CONSTRUCTION THAT MAY NOT BE INCLUDED ON THIS PLAN, SHALL BE RE-ESTABLISHED TO OWNER'S SATISFACTION.
- OWNER IS RESPONSIBLE FOR A SITE SOIL EVALUATION BY A REGISTERED GEOTECHNICAL ENGINEER. EVALUATION SHALL INCLUDE PERCOLATION AND DRAINAGE IMPACTS. IF ANY GEOTECHNICAL CRITERIA CANNOT BE MET BY THIS PROPOSED PLAN, CONTACT THE ENGINEER FOR SUPPLEMENTAL RECOMMENDATIONS. IF NO GEOTECHNICAL EVALUATION REPORT IS PROVIDED, OWNER ASSUMES ALL RESPONSIBILITY FOR SITE SOIL CONDITIONS AND ANY ADVERSE IMPACTS (I.E. CONSOLIDATION, EXPANSION, PERMEABILITY, ETC.) TO THESE SITE IMPROVEMENTS CAUSED BY SUBSTANDARD SOILS.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND ADHERING TO A STORMWATER POLLUTION PREVENTION PLAN IF MORE THAN AN ACRE IS DISTURBED.
- SAFETY RAILS ARE REQUIRED AT ALL LOCATION ADJACENT TO A PEDESTRIAN WALKWAY WHERE A VERTICAL DROP OF 24" OR MORE EXISTS, OR AS APPLICABLE PER GOVERNING BUILDING CODE. COORDINATE WITH OWNER FOR SAFETY RAIL DETAILS.
- ALL LANDSCAPED AREAS SHALL BE DEPRESSED APPROXIMATELY 6" (MAX.) BELOW ADJACENT CONCRETE.
- ALL SIDEWALKS AND RAMPS TO BE APPROXIMATELY 4" ABOVE ADJACENT LANDSCAPE FINISH.
- COORDINATE IMPROVEMENTS SHOWN ON THIS PLAN WITH THE ARCHITECT'S SITE PLAN. COORDINATE ANY DEPENDENCIES WITH THE ENGINEER.
- SITE SURVEY IS BASED FROM CITY OF ALBUQUERQUE CONTROL 6\_K13. DATA FILE WILL BE MADE AVAILABLE UPON REQUEST.

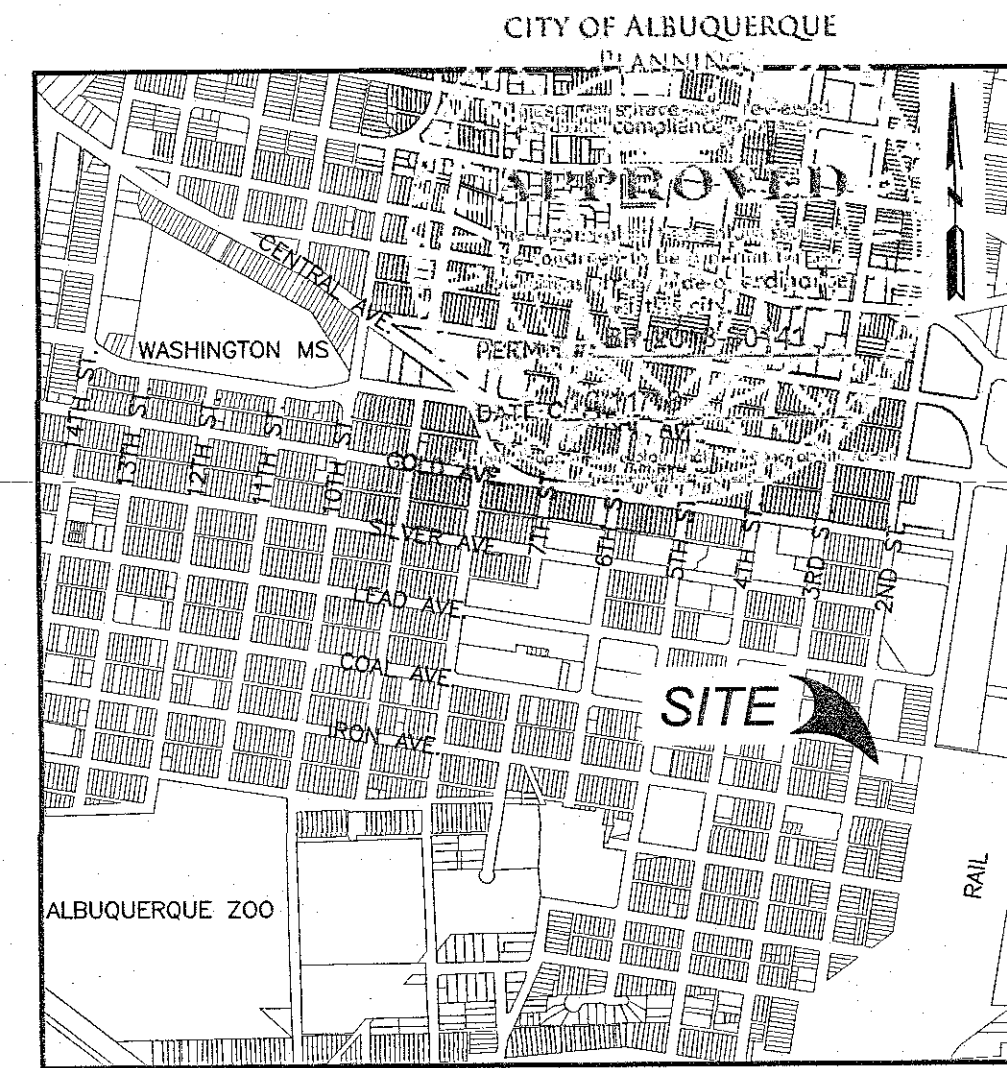
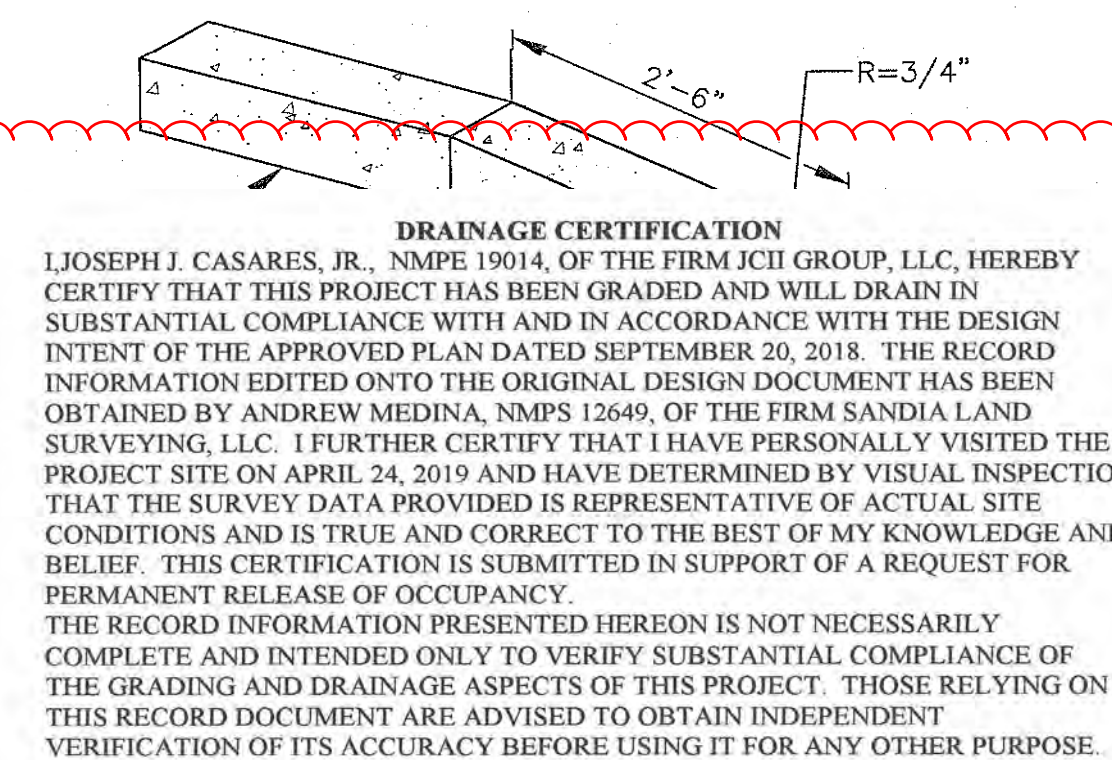
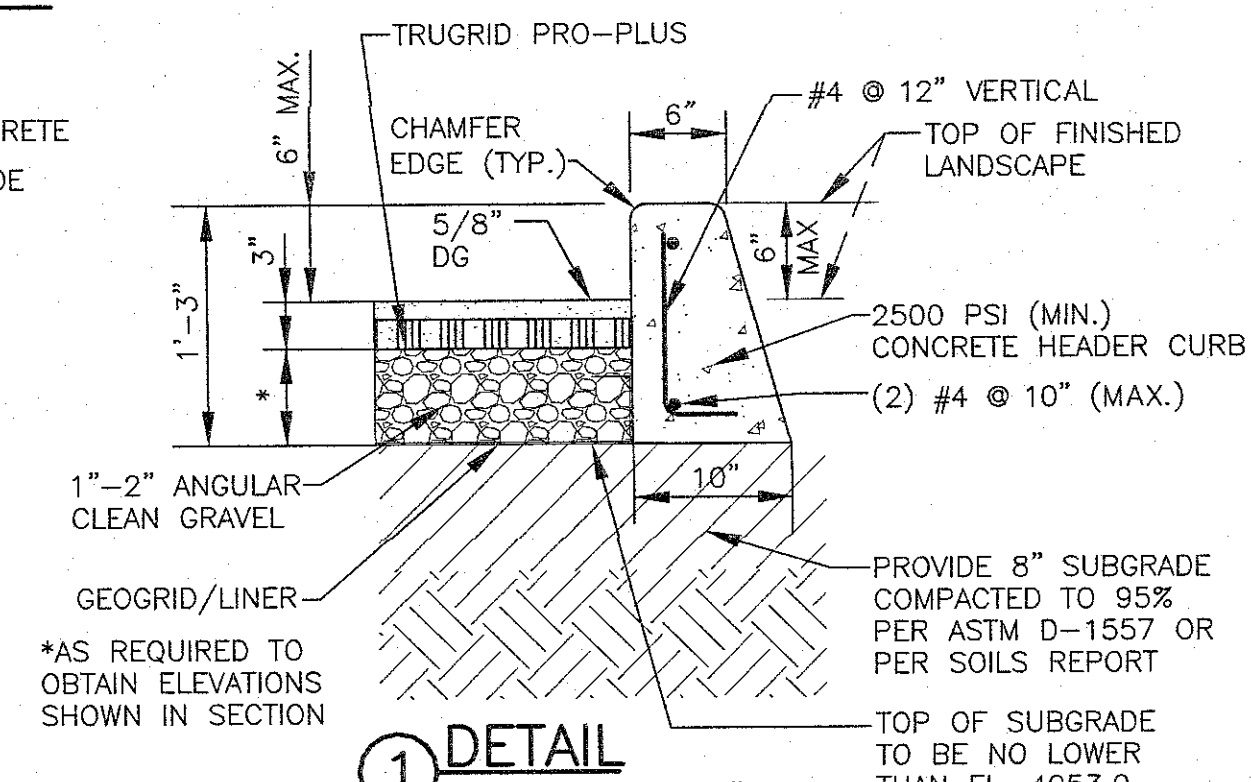


## COAL AVENUE



## GRADING & DRAINAGE KEYED NOTES

- DRAINAGE CHANNEL/RETENTION BASIN PER ELEVATIONS SHOWN. 4H:1V MAX. SIDE SLOPES, USE BOULDERS TO OFF-SET GRADE. FINISHED GRADES SHOWN ARE TOP OF FINISHED RIPRAP, LANDSCAPE, OR GRAVEL SURFACE (WHICHEVER IS APPLICABLE).
- INSTALL 5/8" DECOMPOSED GRANITE (DG) OVER TRUGRID PRO-PLUS (OR EQUAL) OVER 1'-2" ANGULAR CLEAN GRAVEL. PROVIDE 8" SUB-GRADE COMPACTION WITH GEOGRID AT SUB-GRADE/GRAVEL INTERFACE, (SEE DETAIL 1).
- CONSTRUCT VERTICAL CONCRETE HEADER CURB PER ELEVATIONS SHOWN ON PLAN, AND PER DETAIL 1. INTEGRATE SITE GRADING AND LANDSCAPING AS NECESSARY. PROVIDE CURB TERMINATION PER DETAIL 2 AT PARKING LOT DRIVEWAYS.
- INSTALL 6" CONCRETE PARKING BUMPERS, PINNED WITH #6 REBAR AT 18" BELOW SUB-GRADE. CENTER OF BUMPERS EQUALLY SPACED.
- CONSTRUCT 6" THICK REINFORCED (STEEL MESH) CONCRETE SIDEWALK AT 2500PSI. SIDEWALK CROSS SLOPE IS 0.52%. PROVIDE EXPANSION/CONTRACTION JOINTS AT 6' MAX. SPACING. PROVIDE REINFORCED 12" DEEP TURN-DOWN EDGE AT PARKING LOT. COORDINATE WITH ARCHITECT FOR SIDEWALK FINISH.
- CONSTRUCT 18'X28' REINFORCED (#4 REBAR @ 12" O.C.) CONCRETE DRIVE PAD AT 6" THICK. PROVIDE EXPANSION/CONTRACTION JOINTS AT EQUAL INTERVALS.
- CONSTRUCT NEW CONCRETE SIDEWALK PER COA DETAIL 2430.
- CONSTRUCT NEW STANDARD CURB AND GUTTER PER COA DETAIL 2415.
- CONSTRUCT NEW 24" DRIVE PAD PER COA DETAIL 2425.
- PROVIDE 12" MIN. DRAINAGE OPENING IN CONCRETE.
- DEPRESS TOP OF FINISHED LANDSCAPE 3" TO ACCOMMODATE FIRST FLUSH VOLUME. DEPRESS 880 SQUARE FEET.



## PROPOSED PROJECT

**SITE LOCATION**  
THE SITE (APPROXIMATELY 0.76 ACRES) IS LOCATED IN THE CITY OF ALBUQUERQUE AT 500 2ND ST. SW, WHICH IS LOCATED IN ZONE ATLAS MAP K-14-Z.

**LEGAL DESCRIPTION**  
LOT LETTERED "A-1" IN BLOCK LETTERED "A" OF ATLANTIC AND PACIFIC ADDITION, CITY OF ALBUQUERQUE, BERNALILLO NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON SAID REPLAT THEROF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 16, 2016, IN PLAT BOOK 2016C, PAGE 155.

**EXISTING SITE CONDITION**  
CURRENTLY THE SITE IS DEVELOPED WITH APPROXIMATELY 9,200 SQ. FT. OF ROOF TOP. EXISTING ROOF TOP DRAINS FACILITATE STORMWATER TO EXISTING LANDSCAPED AREAS AND TO GRAVEL PARKING LOT. APPROXIMATELY 25% OF FLOODING OCCURS ON THE PARKING LOT WITH AN ULTIMATE OUTFALL TO 2ND STREET AT AN ELEVATION OF 4953.7. SITE IS DETERMINED TO BE FREE-FLOW.

**PROPOSED CONSTRUCTION**  
THE PROPOSED CONSTRUCTION CONSISTS OF BUILDING ADDITION, NEW UTILITY SERVICE CONNECTIONS, GRADING & DRAINAGE IMPROVEMENTS, NEW GRAVEL PARKING LOT, CONCRETE WALKWAYS, LANDSCAPE AND OTHER AMENITIES. OFF-SITE CONSTRUCTION WILL INCLUDE SIDEWALK, CURB, GUTTER, NEW DRIVE PAD AND UTILITY CONNECTIONS TO MAINS. THE SURROUNDING AREA IS FULLY DEVELOPED WITH BUILDINGS, STREETS, CURB AND GUTTER, SIDEWALKS, UTILITIES AND DRAINAGE INFRASTRUCTURE. PROPOSED IMPROVEMENTS ARE DESIGNED TO TIE INTO SURROUNDING DEVELOPMENT. OFF-SITE STORMWATER SHOULD NOT IMPACT THIS SITE. STORMWATER GENERATED ON-SITE INCLUDING THE FIRST FLUSH, WILL BE CONVEYED TO ON-SITE RETENTION AREAS. THE PROPOSED ON-SITE DRAINAGE FACILITIES WILL BE OPERATED AND MAINTAINED BY THE OWNER.

**FEMA FIRM**  
FOR REFERENCE, THE SITE IS LOCATED IN FLOOD ZONE X AS INDICATED BY FIRM NUMBER 35001C0334G, RECORDED ON 09/26/2008 BY FEMA.

**PROPOSED DRAINAGE**  
THIS GRADING & DRAINAGE PLAN DEPICTS:  
• EXISTING ELEVATIONS AS TAKEN FROM RECENT TOPOGRAPHY SURVEY  
• PROPOSED GRADES INDICATED BY SPOT ELEVATIONS AND CONTOUR LINES  
• THE LIMITS AND CHARACTER OF THE EXISTING FEATURES  
• THE LIMITS AND CHARACTER OF THE PROPOSED IMPROVEMENTS  
• CONTINUITY BETWEEN EXISTING AND PROPOSED CONDITIONS

THE FOLLOWING ANALYSIS IS IN ACCORDANCE WITH CHAPTER 22 OF THE DEVELOPMENT PROCESS MANUAL (DPM), VOLUME 1, 1997 REVISIONS, AND IS USED TO QUANTIFY THE PEAK RATE OF DISCHARGE (Q) AND VOLUME (V) OF ON-SITE STORMWATER.

**HYDROLOGY**  
DRAINAGE AREA = 0.76 ACRES  
LAND TREATMENT (TABLE A-4)  
PRECIPITATION ZONE = 2

**EXISTING CONDITIONS**  
B = 0%  
C = 68%  
D = 32%  
V = 4,344  
Q = 2.8 CFS

**PROPOSED CONDITIONS**  
B = 35%  
C = 24%  
D = 41%  
V = 4,352 CF (100YR, 24HR)  
Q = 2.7 CFS

**EXISTING RETENTION VOLUME (Vex)**  
RETENTION: (V) = (1/2)[(6,338 SF + 459 SF)(1.0 FT)] = 3,398 CF

**PROPOSED RETENTION VOLUME (Vpr)**  
RETENTION IS DESIGNED WITH 4H:1V MAX. SIDE SLOPES, AND INCLUDES STORAGE WITHIN PERMEABLE PAVEMENT, AND DEPRESSED LANDSCAPE AREAS. THE TOTAL VOLUME IS CALCULATED AS FOLLOWS:  
EAST RETENTION: (1/2)[(2,675 SF + 104 SF)(0.8 FT)] = 1,112 CF  
PARKING RETENTION: (1/2)[(1,953 SF + 0 SF)(2 FT)] = 195 CF  
PERMEABLE PARKING: (7,600 SF X 0.75 FT) X (33%) = 1881 CF  
LANDSCAPE DEPRESSION: 840 SF X 0.25 FT = 210 CF  
TOTAL RETENTION = 1,112 + 195 + 1,881 + 210 = 3,398 CF (Vex=Vpr)

**PROPOSED CONTROL MEASURES**  
PERMEABLE PAVEMENT, AND DEPRESSED LANDSCAPE AREAS ARE BOTH PROPOSED TO MANAGE THE FIRST FLUSH. SEE PLAN.

FIRST FLUSH VOL. = 0.76 ACRES X 0.34 INCHES = 938 CF  
PROPOSED PERMEABLE PARKING AND DEPRESSED AREAS  
1,881 CF + 210 CF = 2,091 CF => FIRST FLUSH MET

ARCHITECT

SSA  
SAM STERLING ARCHITECTURE, LLC  
924 2nd St NW Suite C, Albuquerque, NM 87102 505.232.2820

CONSULTANT

**JCH GROUP, LLC**  
DEVELOPMENT SOLUTIONS  
505.264.6918 - JCHGroup@gmail.com

KEY PLAN  
SURVEYOR'S CERTIFICATE  
I, Andrew S. Medina, a duly qualified Licensed Professional Surveyor under the laws of the State of New Mexico, do hereby certify that the "as-built" information shown on these drawings was obtained from field construction and "as-built" surveys performed by me or under my supervision that the "as-built" information shown on these drawings was added by me of under my supervision; and that this "as-built" information is true and correct to the best of my knowledge and belief. I am not responsible for any of the design concepts, calculations, engineering, or intent of the record drawings.

SANDIA LAND SURVEYING, LLC  
15 CASA TEBARROS  
PLAZAS, N.M. 87043  
505-264-8121  
Andrew S. Medina, NMPE 12649

9/20/2018

Orpheum Community Hub  
Phase 1  
Homewise  
500 2nd ST SW  
Albuquerque, NM 87102

REV:

PHASE: 100% Permit Drawing

DATE: 9/20/2018  
DRAWN BY:  
CHECKED BY: JC

C100  
Grading & Drainage Plan