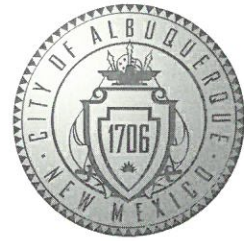


CITY OF ALBUQUERQUE



December 28, 2018

Anderson Design
Laura Anderson
P.O. Box 46006
Rio Rancho, NM 87174

Re: Safe House Distilling Co.
616 Gold SW, 87102
Traffic Circulation Layout
Engineer's/Architect's Stamp 12-18-18 (K14D115)


Dear Mr. Aube

Based upon the information provided in your submittal received 12-19-18, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The handicap accessible spaces must be a minimum of 8.5 ft. in width.
2. The handicap accessible spaces must include an access aisle. Van accessible aisles should be 8ft wide; all others should be 5ft wide. (Please dimension the accessible aisle).
3. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the IDO code.
4. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
5. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
6. Please include one copy of the traffic circulation layout at the next submittal.

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact Ernie Gomez (505) 924-3981.

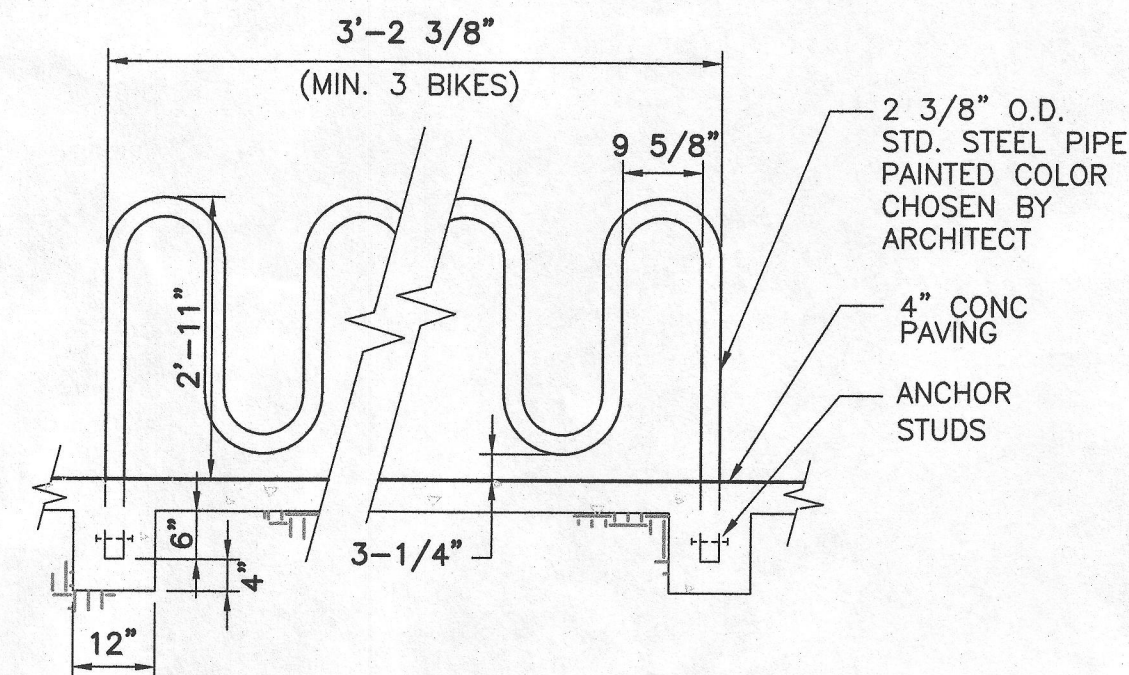
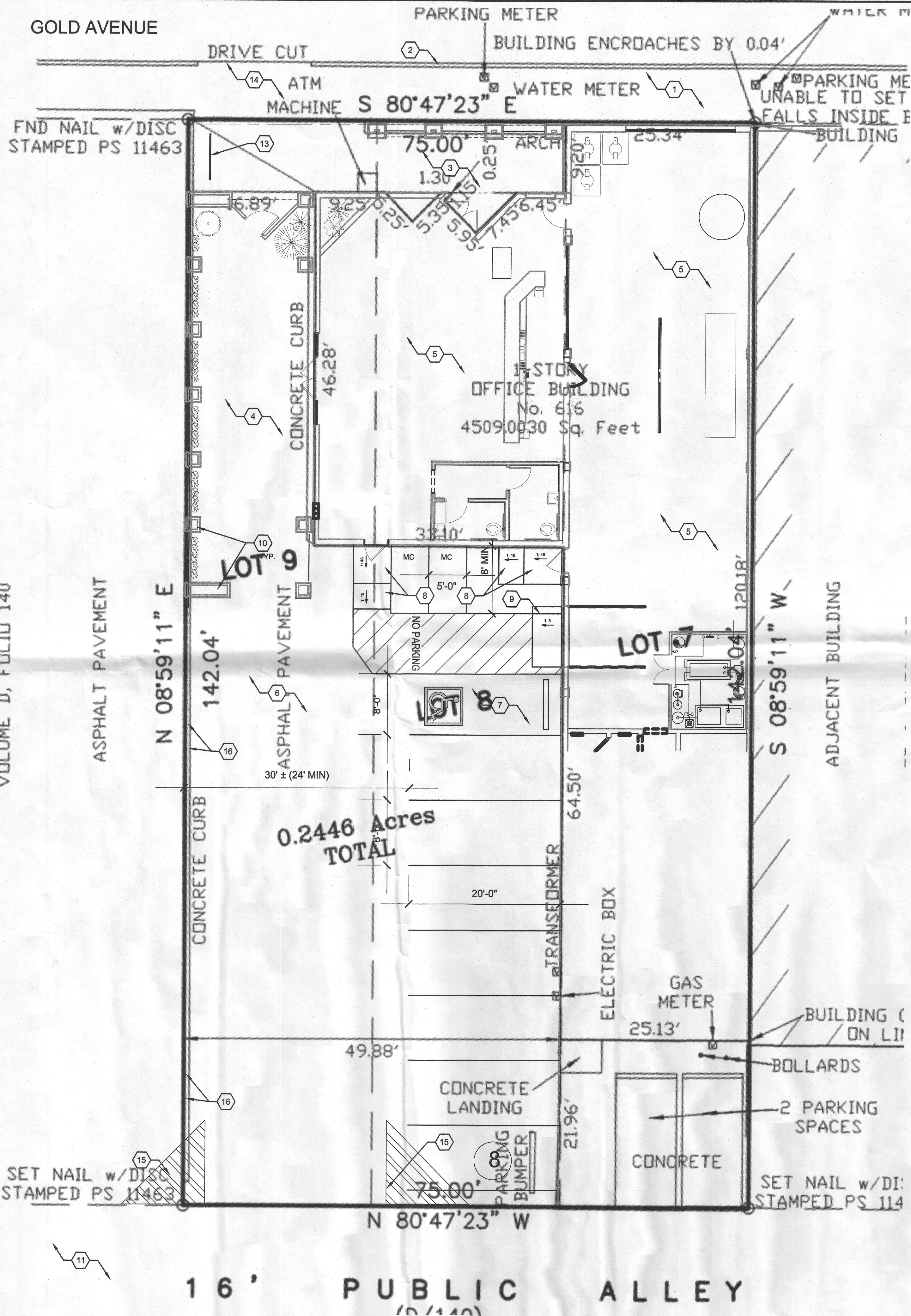
Sincerely,


Ernie Gomez
Plan Checker, Transportation & Hydrology
Development Review Services

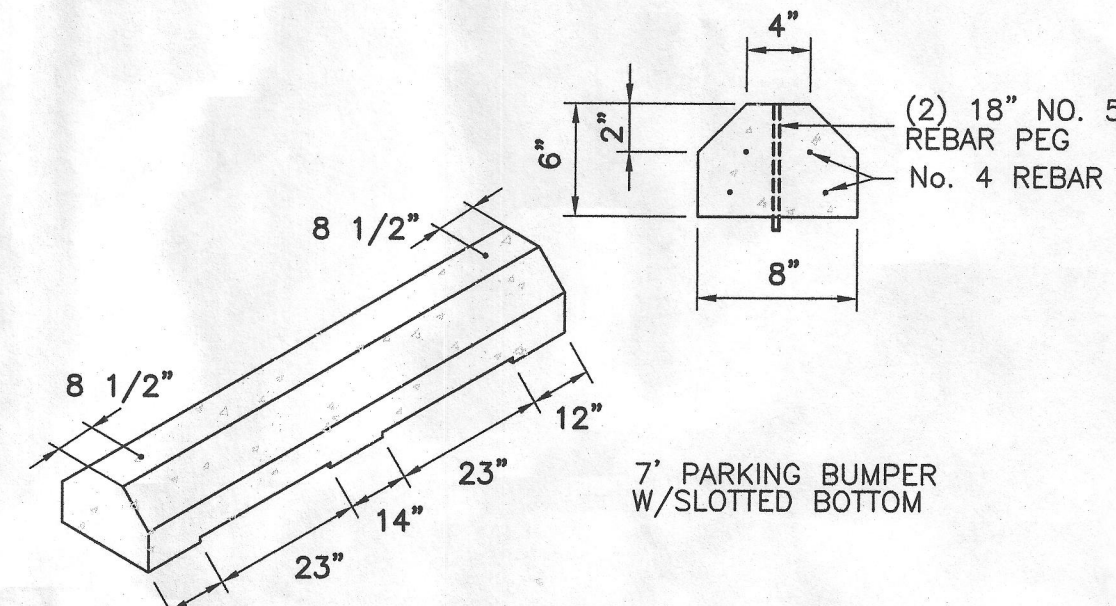
EG via: email
C: CO Clerk, File

C:\Users\landi\Documents\Anderson Design LLC\Projects\AD-1808_SafeHouse Distilling Co\Revit\Safe House Distilling Co TLT.rvt

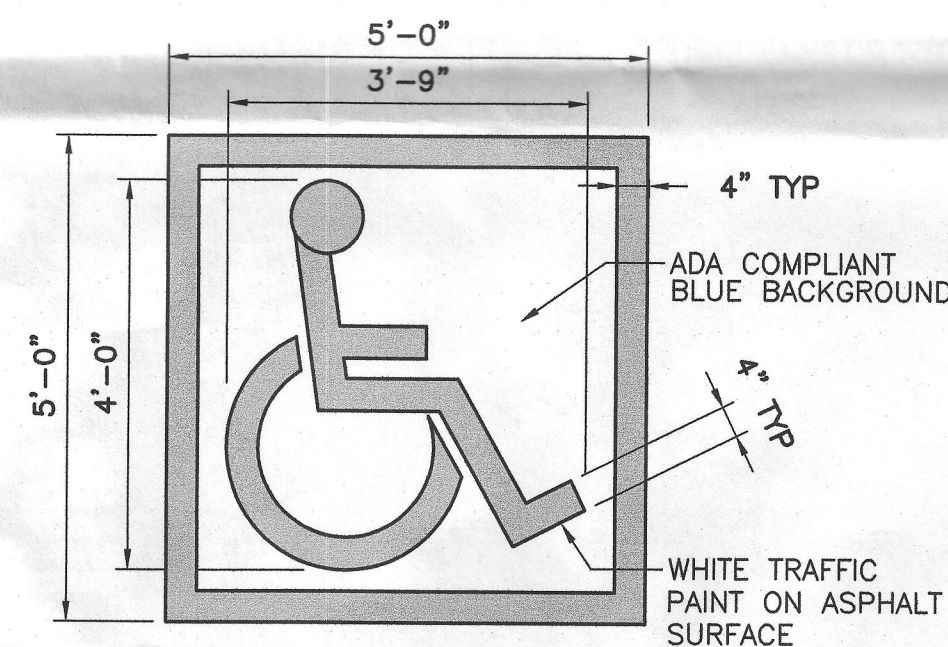
LOT 10, BLOCK 27
NEW MEXICO TOWN COMPANIES ORIGINAL TOWNSITE
FILED: DECEMBER 22, 1882
VOLUME D, FOLIO 140



BICYCLE RACK
NOT TO SCALE



PARKING BLOCK
NOT TO SCALE



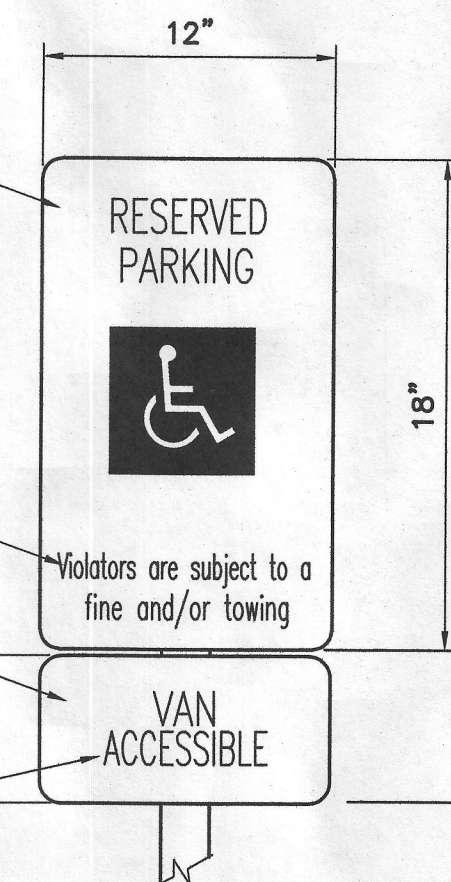
RESERVED SYMBOL
NOT TO SCALE

SIGN TYPE R7-8 (12"x18")
-sign field is white
-sign lettering and border are green
-International Symbol of Accessibility is white on a blue background

Required language per NMSA 197866-7-352.4C

SIGN TYPE R7-8a (6"x12")
-sign field is white
-sign lettering and border are green

Required language (Van Accessible Spaces) per ANSI 502.7



RESERVED PARKING SIGNS
NOT TO SCALE

ADD ADDITIONAL SIGN BELOW RESERVED PARKING SIGN OR VAN ACCESSIBLE SIGN THAT READS "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING"

ACCESS AISLES AT ADA PARKING SPACES THAT BE LABELED WITH "NO PARKING"

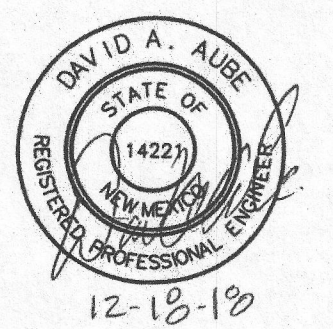
GENERAL SHEET NOTES

1. MINI CLEAR SIGHT TRIANGLE PER DPM CHAPTER 23, SECTION 6, SUBSECTION D.12. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.

ANDERSON DESIGN LLC
CADD BIM DESIGN +
www.andersondesign-llc.com
PO BOX 46006, RIO RANCHO, NM 87174

SHEET KEYNOTES

1. EXISTING PUBLIC SIDEWALK
2. EXISTING CURB LINE FOR GOLD AVENUE
3. EXISTING PRIVATE SIDEWALK
4. AREAS WAS FORMERLY A ACCESS DRIVE TO SMALL PARKING LOT AT THE SOUTH SIDE OF BUILDING. AREA TO BE CONVERTED INTO OUTDOOR TASTING AREA
5. TASTING AREA AND DISTILLERY
6. EXISTING PARKING AREA TO REMAIN
7. NEW VAN ACCESSIBLE PARKING STALL INCLUDING RESERVED PARKING SYMBOL, AND RESERVED PARKING SIGN, AND PARKING BLOCK PER DETAILS THIS SHEET
8. NEW CONCRETE STOOP/RAMP (PROVIDE 5' LONG LANDING AT LESS THAN 2% SLOPE ANY DIRECTION AND RAMP SLOPING AT 1:16 IN DIRECTION OF TRAVEL AND 2% CROSS SLOPE MAXIMUM. VERTICAL CHANGE AT RAMP NOT TO EXCEED 6"
9. RAMP INTO WAREHOUSE PORTION OF BUILDING TO BE USED FOR DELIVERIES (NOT PART OF PUBLIC ACCESS PATHS TO BUILDING)
10. NEW 42" MINIMUM HEIGHT BARRIER AROUND TASTING AREA. SEE ARCHITECTURAL SHEET AS-101
11. EXISTING 16' WIDE PUBLIC ALLEY TO BE UTILIZED FOR ACCESS TO PARKING AREA
12. AREA AVAILABLE FOR MOTORCYCLE PARKING
13. BIKE RACK PER DETAIL THIS SHEET
14. EXISTING DRIVE PAD TO REMAIN
15. MINI SIGHT TRIANGLE, SEE GENERAL SHEET NOTES
16. EXISTING HEADER CURB TO REMAIN
- 17.



Safe House Distilling Co.

616 GOLD AVE SW
ALBUQUERQUE, NM 87102

PROJECT PARKING COUNTS

OFF-STREET PARKING IS EXEMPT PER INTEGRATED DEVELOPMENT ORDINANCE SECTION 5-5(B)(2)(a).
THEREFORE PARKING REQUIRED = 0
PARKING PROVIDED 8 SPACES
ADA PARKING REQUIRES 1 SPACE (VAN ACCESSIBLE)
MOTORCYCLE SPACES PROVIDED 2
BICYCLE PARKING SPACES PROVIDED 3

K14 ZONE ATLAS PAGE- NTS



616 GOLD AVE SW, STE. A, ALBUQUERQUE, NM 87102

LEGAL DESCRIPTION: LOTS NUMBERED SEVEN (7), EIGHT (8) AND NINE (9) IN BLOCK NUMBERED TWENTY-SEVEN (27) OF THE NEW MEXICO TOWN COMPANY'S ORIGINAL TOWNSITE AS THE SAME ARE SHOWN AND DESIGNATED ON THE MAP OF SAID TOWNSITE FILED IN THE OFFICE OF THE PROBATE CLERK AND EX-OFFICIO RECORDER OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 22, 1882.
CURRENT ZONING: MK-FB-UD

REVISIONS:		
#	Date	Description

PROJECT NO: AD-1808
DATE: OCTOBER 22 2018
DRAWN BY: DALLA
CHECK COPY: LA
COPY RIGHT: ANDERSON DESIGN LLC

SHEET TITLE
TRAFFIC CIRCULATION LAYOUT

TCL

TRAFFIC CIRCULATION LAYOUT

SCALE: 1/4" = 1'-0"

LEGAL DESCRIPTION:

LOTS NUMBERED SEVEN (7), EIGHT (8), AND NINE (9) IN BLOCK NUMBERED TWENTY-SEVEN (27) IN THE PLAT OF THE CITY OF ALBUQUERQUE, NEW MEXICO, FILED IN THE OFFICE OF THE PUBLIC CLERK AND EX-OFFICIO RECORDER OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 22, 1982.



VICINITY MAP No. K-14

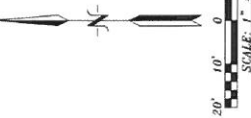
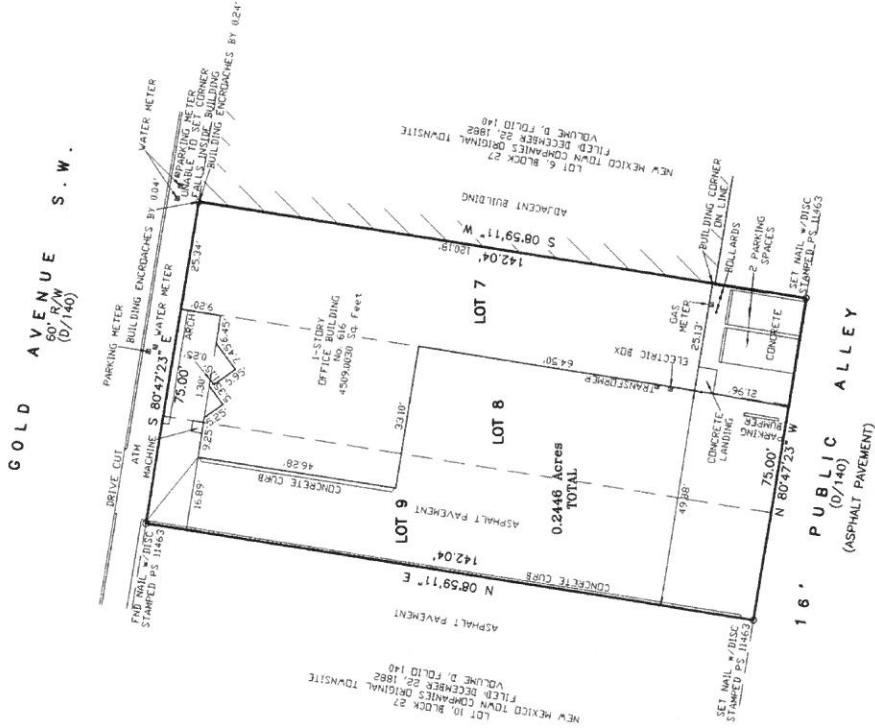
A.L.T.A. / N.S.P.S. LAND TITLE SURVEY OF LOTS 7, 8 AND 9, BLOCK 27 NEW MEXICO TOWN COMPANY'S ORIGINAL TOWNSITE CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO SEPTEMBER, 2017

GENERAL NOTES:

1. ORDER OF RECORD PER - FIDELITY NATIONAL - TITLE CO. TITLE UNDER DATE 10/10/2017.
2. U.S. E.A.R.L. FEDERAL CREDIT UNION, WHICH ACQUIRED TITLE AS ALBUQUERQUE U.S. EMPLOYEES' FEDERAL CREDIT UNION, A NEW MEXICO NON-PROFIT CORPORATION.
3. LEGAL DESCRIPTION AND EASEMENTS SHOWN WERE PROVIDED BY FIDELITY NATIONAL - TITLE CO. COMMITMENT No. 3500022822.
4. PLAT OF NEW MEXICO TOWN COMPANY'S ORIGINAL TOWNSITE FILED DECEMBER 22, 1982 IN VOLUME 0, FOLIO 140.
5. FIELD WORK PERFORMED ON: SEPTEMBER, 2017.
6. HANDCAP: 0
7. TOTAL: 17.72
8. CURRENT TOWNSHIP: 34-1-3
9. BEARINGS SHOWN ARE BASED ON GSK-1 SONORA GPS UNIT TAKEN ON SEPTEMBER 11, 2017. NO RECORD BEARINGS ARE SHOWN ON THE RECORDED PLAT.

SCHEDULE B NOTES:

NONE



FLOOD NOTE
The property shown herein is NOT LOCATED within the 100 year flood plain. Zone: X-1, Flood Panel # 3500103346. Date: SEPTEMBER 26, 2008.

STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)
CERTIFY TO: RED TAPE, LLC AND FIDELITY NATIONAL TITLE INSURANCE COMPANY.

I, ANTHONY L. HARRIS, A PROFESSIONAL SURVEYOR, LICENSED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE PLAT HEREON DRAWN IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY, TO MY KNOWLEDGE AND BELIEF, AND THAT THERE ARE NO ENCROACHMENTS FROM THIS PROPERTY TO ADJACENT PROPERTIES. I FURTHER CERTIFY THAT THIS MAP OR PLAT, WHICH IT IS BASED HEREON SHOWN, I FURTHER CERTIFY THAT THIS MAP OR PLAT, WHICH IT IS BASED HEREON, IS BASED (i) IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS LAND IN 2016, AND INCLUDES ITEMS: 1, 2, 3, 4, 5, 7(A), 7(C), 8, 9, 10, 11(A), 13, 15, AND 18 OF TABLE A THEREOF, AND (ii) PURSUANT TO THE ACCURACY STANDARDS (AS ADOPTED BY ALTA AND NSPS) IN EFFECT ON THE DATE OF THIS CERTIFICATION) ON AN URBAN SURVEY.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO
THIS 13TH DAY OF SEPTEMBER, 2017



Anthony L. Harris
ANTHONY L. HARRIS, NSPS #11463

THE SURVEY OFFICE, LLC
333 LOMAS BOULEVARD N.E.
ALBUQUERQUE, NEW MEXICO 87102
PHONE: (505) 998-0803
FAX: (505) 998-0306



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

Project Title: Safe House Distilling Co. **Building Permit #:** BP-2018-39602 **Hydrology File #:** KI4DI15
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lots numbered seven (7) and eight (8) and nine (9) in block numbered twenty-sev
City Address: 616 Gold Southwest Albuquerque NM, 87102

Applicant: Safe House Distilling Co. / BTK LLC **Contact:** Emiliano Vasquez
Address: 616 Gold Avenue Southwest
Phone#: 505-999-7680 **Fax#:** _____ **E-mail:** _____
Other Contact: Laura Anderson - Anderson Design **Contact:** Laura Anderson
Address: PO Box 46006 Rio Rancho, NM 87174
Phone#: 505-720-8493 **Fax#:** _____ **E-mail:** landerson@andersondesign-llc.com

Check all that Apply:

DEPARTMENT:

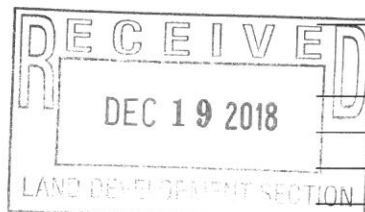
☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR



IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 12/12/18 By: [Signature]

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____