

CITY OF ALBUQUERQUE



June 19, 2019

Insight Construction
Lisa McClaren
PO Box 6653
Albuquerque, NM 87197

Re: Warm Shell Renovation
807 4th St. SW, Albuquerque NM 87106
Traffic Circulation Layout
Engineer's/Architect's Stamp **06-13-2019** (K14D116)

Dear Ms. Mc Claren,

The TCL submittal received 06-18-19 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

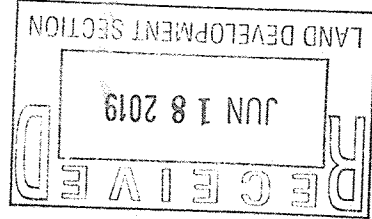
When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

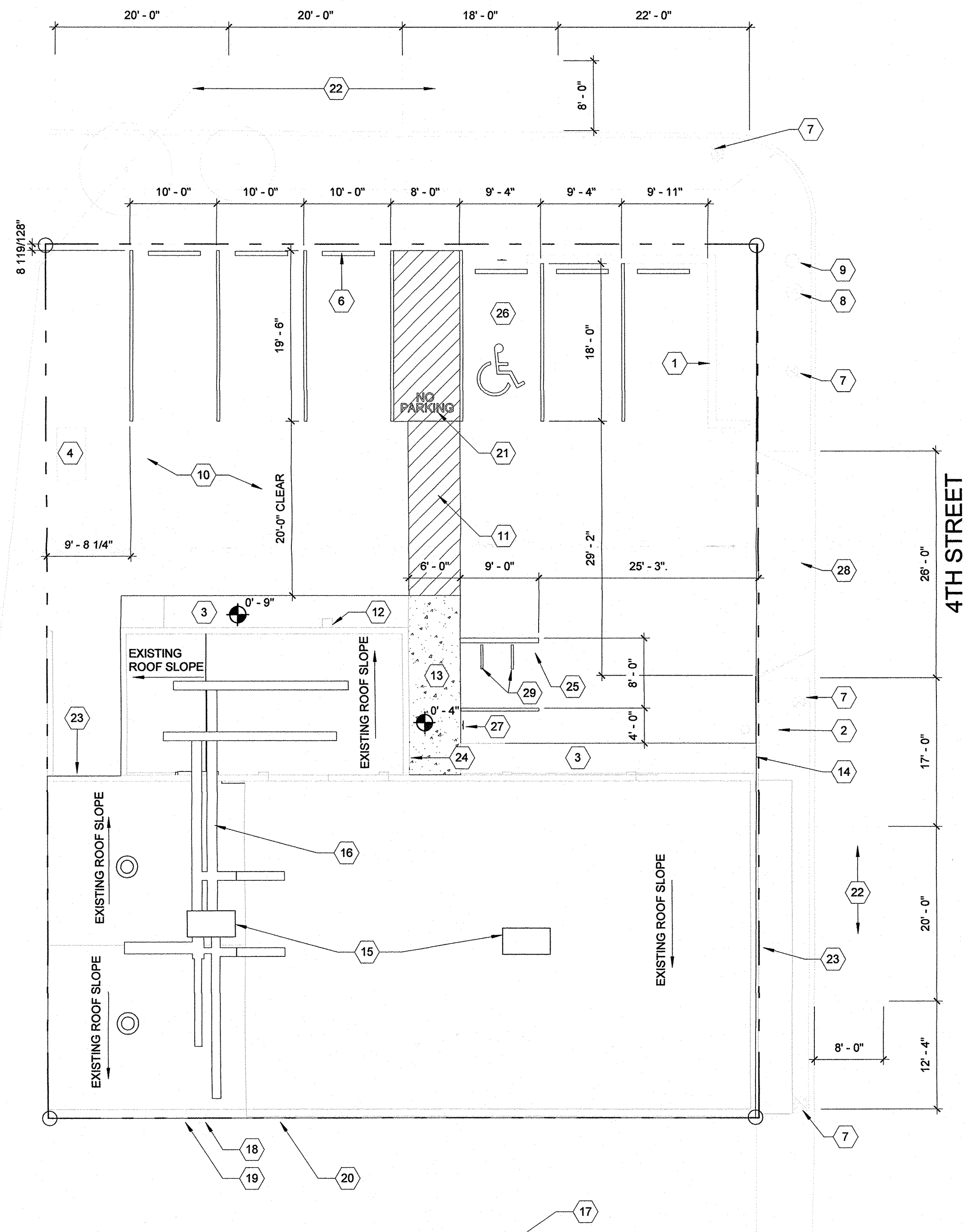
Sincerely,

Mojgan Maadandar, E.I.
Associate Engineer, Planning Dept.
Development Review Services

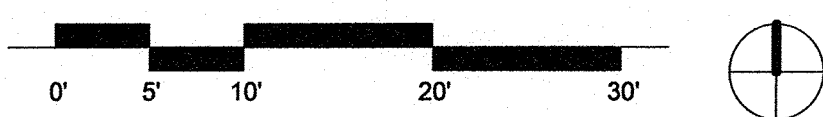
/MM via: email
C: File



HAZELDINE AVE SW



A1 SITE PLAN
1" = 10'-0"



PROJECT INFORMATION

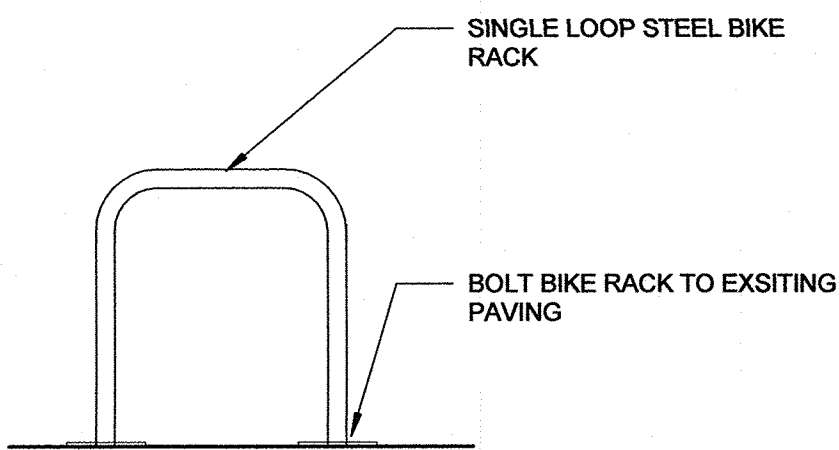
LEGAL DESCRIPTION: 001 Q ATLANTIC & PACIFIC L1THRUL3 & E 8.3 FT L4
ZONING: MIXED USE LOW DENSITY (MX-L) IN A MAIN STREET CORRIDOR AREA AND A MAJOR TRANSPORTATION CORRIDOR AREA. CPO-1 BARELAS.
UPC: 101405712117431908
BUILDING USE: A-3 (MEETING), B (OFFICE)
SITE AREA: 0.1912 ACRES
PROJECT DESCRIPTION: RENOVATION OF EXISTING APPROXIMATELY 3700 SQUARE FOOT BUILDING WITH MINOR SITE IMPROVEMENTS.
SITE SUMMARY: PROJECT IS LOCATED AT THE CORNER OF 4TH STREET SW AND HAZELDINE AVE SW. PROJECT IS A RENOVATION OF AN EXISTING BUILDING, CHANGING FROM A MERCANTILE USE TO BUSINESS AND MEETING. TRAFFIC CIRCULATION IS TO REMAIN THE SAME AS EXISTING WITH THE ADDITION OF A HANDICAP ACCESSIBLE ENTRANCE AND RELOCATION OF THE HANDICAP ACCESSIBLE PARKING LOCATION.
PARKING:
10 SPACES REQUIRED: 2.5 SPACES PER 1000 SF, BUSINESS IN MAIN STREET
6 OFF STREET SPACES PROVIDED INCLUDED HANDICAP AND MOTORCYCLE
5 ON STREET SPACES PROVIDED
11 TOTAL PARKING SPACES PROVIDED
BICYCLE PARKING:
3 REQUIRED, 4 PROVIDED

GENERAL SHEET NOTES

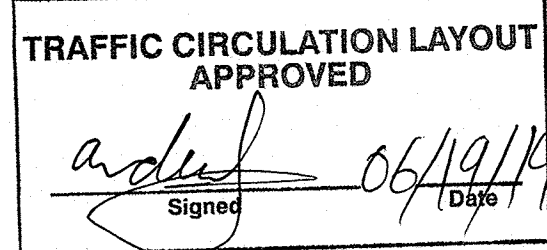
A. FIELD VERIFY DIMENSIONS AND LAYOUT OF SITE AND BUILDING ELEMENTS.
B. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT BEFORE PROCEEDING.

SHEET NOTES

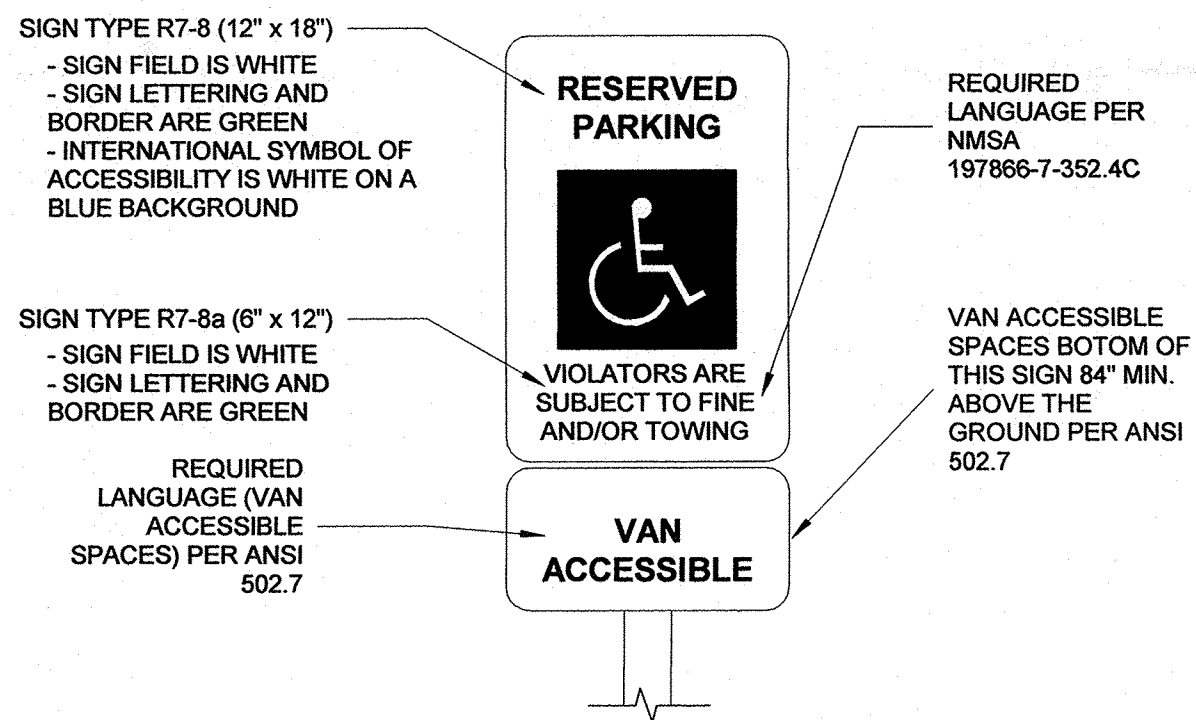
- EXISTING CURB.
- EXISTING SIGNAGE.
- EXISTING SIDEWALK.
- EXISTING DUMPSTER. CHANGE OF USE FROM MERCANTILE TO BUSINESS.
- STRIPE PARKING SPACES.
- PROVIDE PRECAST CONCRETE PARKING BLOCKS AT ALL PARKING SPACES.
- EXISTING LIGHT POLE.
- EXISTING FIRE HYDRANT.
- EXISTING UTILITY POLE.
- EXISTING ASPHALT PARKING LOT.
- STRIPED ADA PATH OF TRAVEL.
- EXISTING DOWNSPOUT.
- NEW 4 INCH SIDEWALK REINFORCED WITH 6" X 6" 10 X 10 WELDED WIRE FABRIC. NEW SIDEWALK TO CREATE ADA ACCESSIBLE PATH FROM PARKING TO NEW ADA ENTRY.
- EXISTING 5' STEP.
- NEW HVAC ROOF TOP MOUNTED UNITS.
- NEW ROOF TOP DUCT WORK.
- EXISTING OVERHEAD UTILITY LINE.
- EXISTING ELECTRICAL SERVICE.
- EXISTING TELEPHONE SERVICE.
- EXISTING GAS SERVICE.
- LETTERS TO BE AT LEAST 1 FOOT HIGH AND 2 INCHES WIDE.
- EXISTING ON STREET PARKING.
- EXISTING BUILDING ENTRIES.
- NEW ADA ACCESSIBLE BUILDING ENTRY.
- NEW 6' CURB.
- ADA PARKING STALL WITH RESERVED PARKING SIGN AND RESERVED PARKING SYMBOL.
- MOTORCYCLE PARKING SPACE AND RESERVED FREE STANDING "MOTOR CYCLE PARKING" SIGN.
- EXISTING DRIVE LANE AND CURB CUT.
- SINGLE LOOP BIKE RACK.



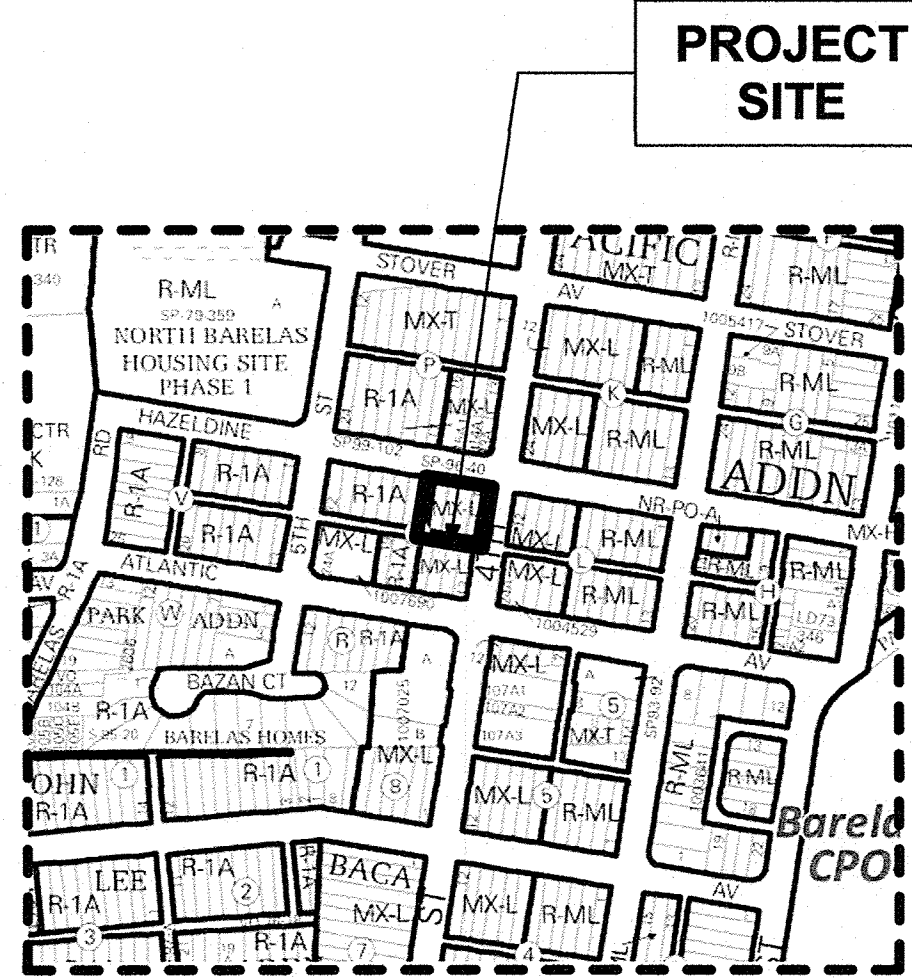
1 BIKE RACK DETAIL
1/2" = 1'-0"



ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



2 ADA PARKING SIGN
1 1/2" = 1'-0"



IDO Zone Atlas
May 2018



Gray Shading Represents Area Outside of the City Limits

Zone Atlas Page:

K-14-Z

Easement Escarpment

Petroglyph National Monument

Areas Outside of City Limits

Airport Protection Overlay (APO) Zone

Character Protection Overlay (CPO) Zone

Historic Protection Overlay (HPO) Zone

View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

K-14-Z ZONE ATLAS PAGE

scout
design LLC
505.414.6212 scoutarch.com

ARCHITECT/ENGINEER



B. RUPPE RENOVATION

807 4TH STREET SW
ALBUQUERQUE NM 87012

COVER SHEET

REVISION	DATE
1 - ADDENDUM 001	06.04.19
2 - ADDENDUM 002	06.11.19

DATE	05.21.19
PROJECT NO	1904

TRAFFIC
CIRCULATION
LAYOUT

SHEET NO.

TCL