

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

July 19, 2019

Don Briggs, P.E.
Don Briggs Engineering, LLC
5324 Oakledge Ct NW
Albuquerque, NM 87120

RE: **700 Tijeras**
700 Tijeras Ave NW
Grading and Drainage Plan
Engineer's Stamp Date: 7/15/19
Hydrology File: K14D117

Dear Mr. Briggs,

PO Box 1293

Based on the submittal received on 7/15/19, the Grading and Drainage Plan cannot be approved for Building Permit until the following corrections are made:

Prior to Building Permit:

Albuquerque

NM 87103

www.cabq.gov

1. The temporary benchmark needs to be tied to a permanent monument, preferably part of the Albuquerque Geodetic Reference System (AGRS).
2. The drawing needs to be scaled to a common-use engineer's scale (not architect's) such as 1"=20' or 1"=10'.
3. For Information. This project will require a revocable permit for the balconies overhanging the ROW. Please contact the City Engineer (Shahab Biazar, sbiazar@cabq.gov) for more information.
4. Because these corrections are minor, the administrative resubmittal fee of \$40 may be used. Please include a copy of this letter when resubmitting in order to receive the reduced fee.

Prior to Certificate of Occupancy (For Information):

5. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required.
6. A Bernalillo County Recorded [Drainage Covenant \(No Public Easement\)](#) is required for the Underground French Drain/Pond. The original notarized form, exhibit A (legible on 8.5x11 paper), and recording fee (\$25, payable to Bernalillo County) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996)

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regarding the routing and recording process for covenants. The routing and recording process for covenants can take a month or longer; Hydrology recommends beginning this process as soon as possible as to not delay approval for certificate of occupancy.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,



Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



July 15, 2019

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services
City of Albuquerque
600 2nd St. NW
Albuquerque, NM 87103

Re: Hydrology file #K14D117, 700 Tijeras NW

Dear Mr. Peterson,

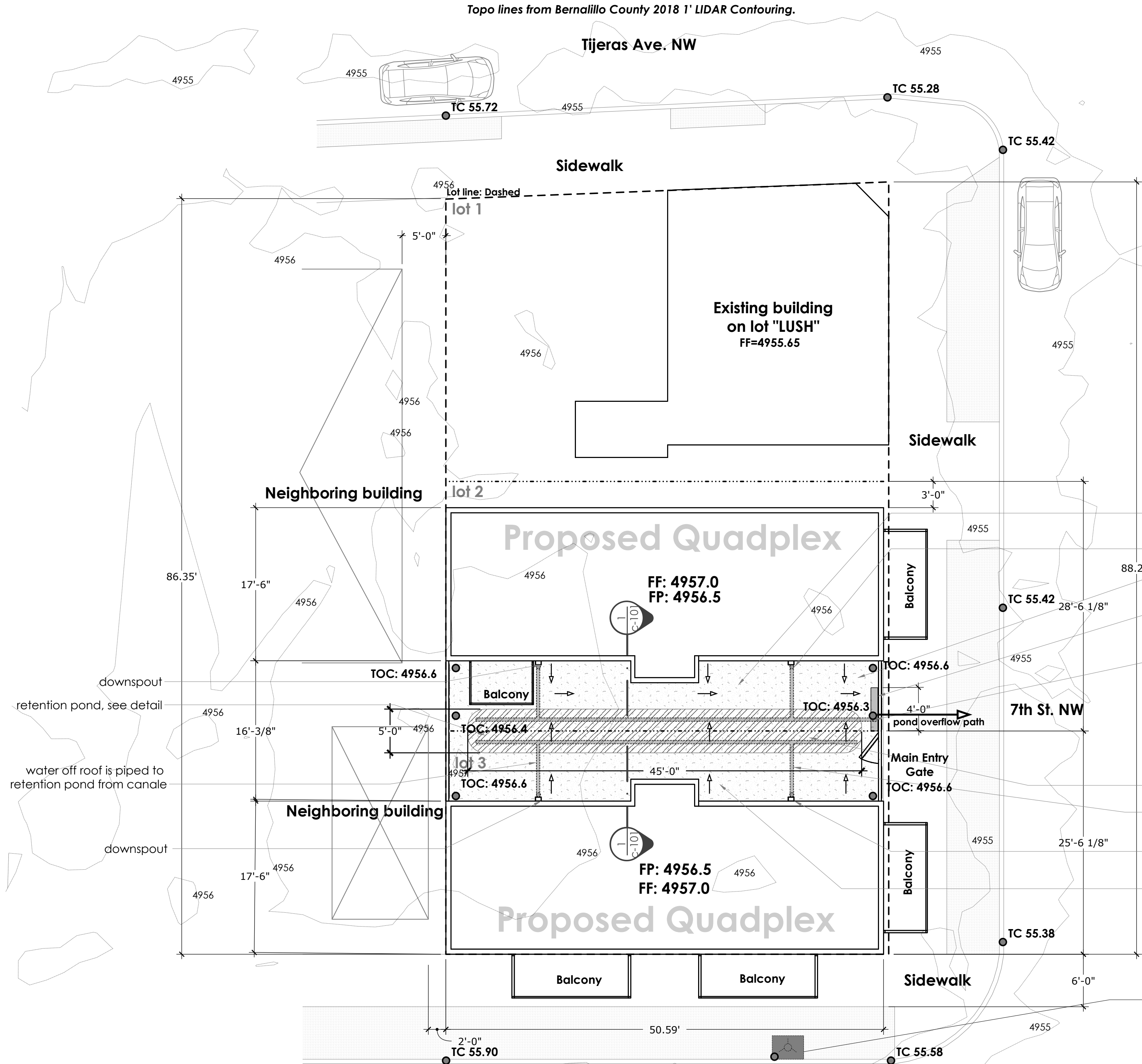
I have attached a revised grading & drainage plan that addresses your comments of February 12, 2019. The comments have been addressed as follows:

1. As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Curtis Cherne, PE, ccherne@cabq.gov, 924-3420) 14 days prior to any earth disturbance. *Noted.*
2. Include project benchmark and datum. *This has been added to the plan.*
3. Provide existing site topography and label existing and proposed contours. Since the site is extremely flat, please provide spot elevations (existing and proposed) in enough density to verify the drainage areas and outfalls that you have indicated. Also include the finished floor elevation of the buildings. *2018 LIDAR 1' contours have been added to the plan along with existing spot elevations for the top of curb.*
4. Provide sections through the external boundaries showing proposed retaining walls, garden walls, property/ROW lines, existing and proposed grades. In accordance with DPM Ch.22, section 5 part B, grading and wall construction near the property line may not endanger adjacent property or constrain its use. *No new perimeter walls are proposed.*
5. Include the finished elevation for the courtyard slab and show how it will drain with slopes and spot elevations. It seems to drain to the middle, then east towards the trench drain, but this is unclear on the plan. *This information has been provided on the plan.*
6. Remove the note that a Pad Certification will be required; Hydrology will just inspect at the time of C.O. Prior to Certificate of Occupancy (For Information). *Note has been removed.*
7. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required. *Noted and will be provided following construction.*
8. A Bernalillo County Recorded Drainage Covenant (No Public Easement) is required for the Underground French Drain/Pond. The original notarized form, exhibit A (legible on 8.5x11 paper), and recording fee (\$25, payable to Bernalillo County) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996) or Madeline Carruthers (mtafoya@cabq.gov, 924-3997) regarding the routing and recording process for covenants. The routing and recording process for covenants can take a month or longer; Hydrology recommends beginning this process as soon as possible as to not delay approval for certificate of occupancy. *Noted.*

Please call if you have any questions or comments on this matter.

Sincerely

Don Briggs PE CFM



Hydrology Calculations						
700 Tijeras NW						
Precipitation Zone 2						
100 yr 6 hr Storm						
Basin Area =		0.061983 ac.		2700 sq ft		Determined by DB
Land Treatment	Percent	Area (ac.)	Excess Precipitation (in.)	Unit Peak Discharge (cfs/ac.)	Runoff Volume (ac. Ft.)	Peak Discharge (cfs)
A	0.00%	0.00	0.53	1.56	0.00	0.00
B	0.00%	0.00	0.78	2.28	0.00	0.00
C	5.55%	0.00	1.13	3.14	0.00	0.01
D	94.44%	0.05	2.12	4.70	0.01	0.27
TOTAL	100.00%	0.06	2.06		0.01	0.28
Required 100yr 6hr Storage Volume =				465	cu ft	
Required French Drain Volume @ 30% Porosity =				1549	cu ft	
Drain Volume Dimensions				W	L	D
				5.0	45.0	6.88
				10.0	45.0	3.44

- entry courtyard: concrete
- downspout
- concrete patio sloped to trench drain
- trench drain placed in concrete at specified location
- water piped from trench drain to retention pond
- retention pond, see detail
- water off roof is piped to retention pond from downspout
- downspout
- concrete patio sloped to trench drain

elevations are NAVD 1988, project benchmark square cut @ SW corner of hydrant pad EL: 4955.76

DRAINAGE NARRATIVE

This grading & drainage plan was prepared to support a building permit application for a new residence located at 700 Tijeras NW. A meeting with City Hydrology Staff indicates that the existing storm drain system in this area is undersized so this project is required to retain the 100yr 6hr runoff volume onsite. This plan was prepared using the hydrology methodology presented in Chapter 22.2 of the City of Albuquerque's Development Process Manual (abbreviated method).

The site is a 0.062 acre parcel located in Precipitation Zone 2 and Floodzone X (Unshaded). It is essentially flat and is not impacted by cross lot runoff from adjacent properties.

This plan proposes to retain the 100yr. 6hr. runoff volume in an underground French Drain system. The drain will be constructed under the concrete courtyard with 6" cobble and both rooftop runoff and the courtyard runoff will be directed to area drains connected to the system. Dimensions are shown on the construction details. Overflow runoff is directed to 7th street.

NOTE:

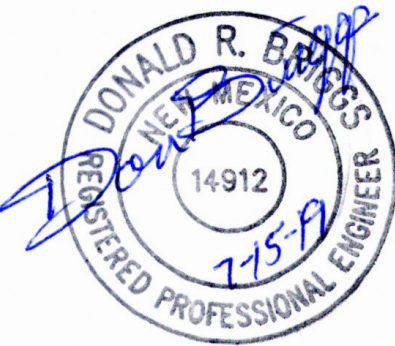
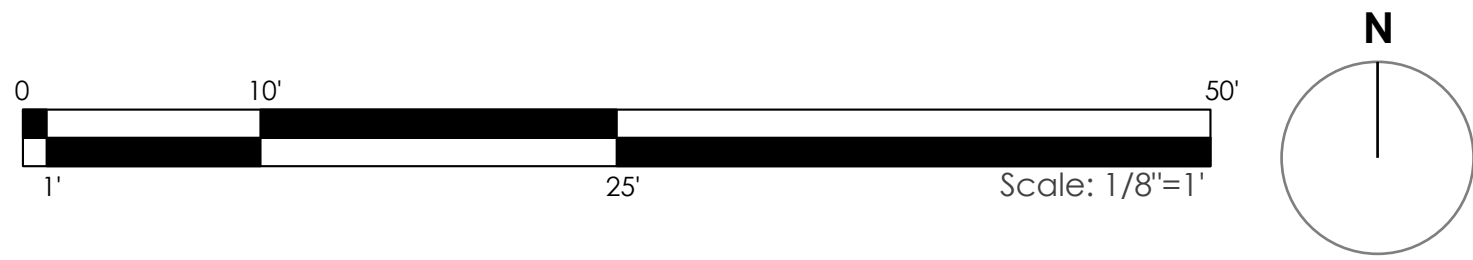
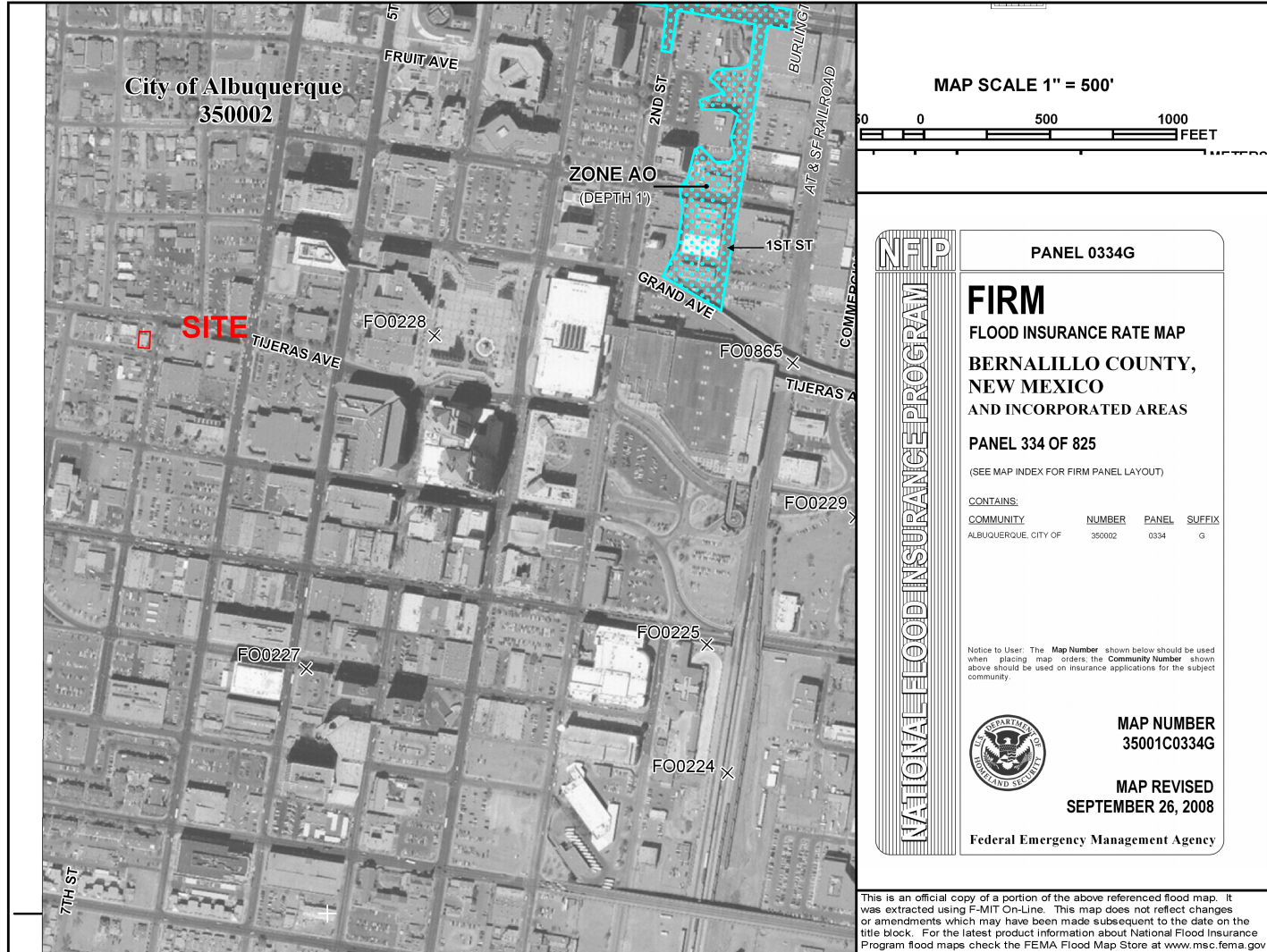
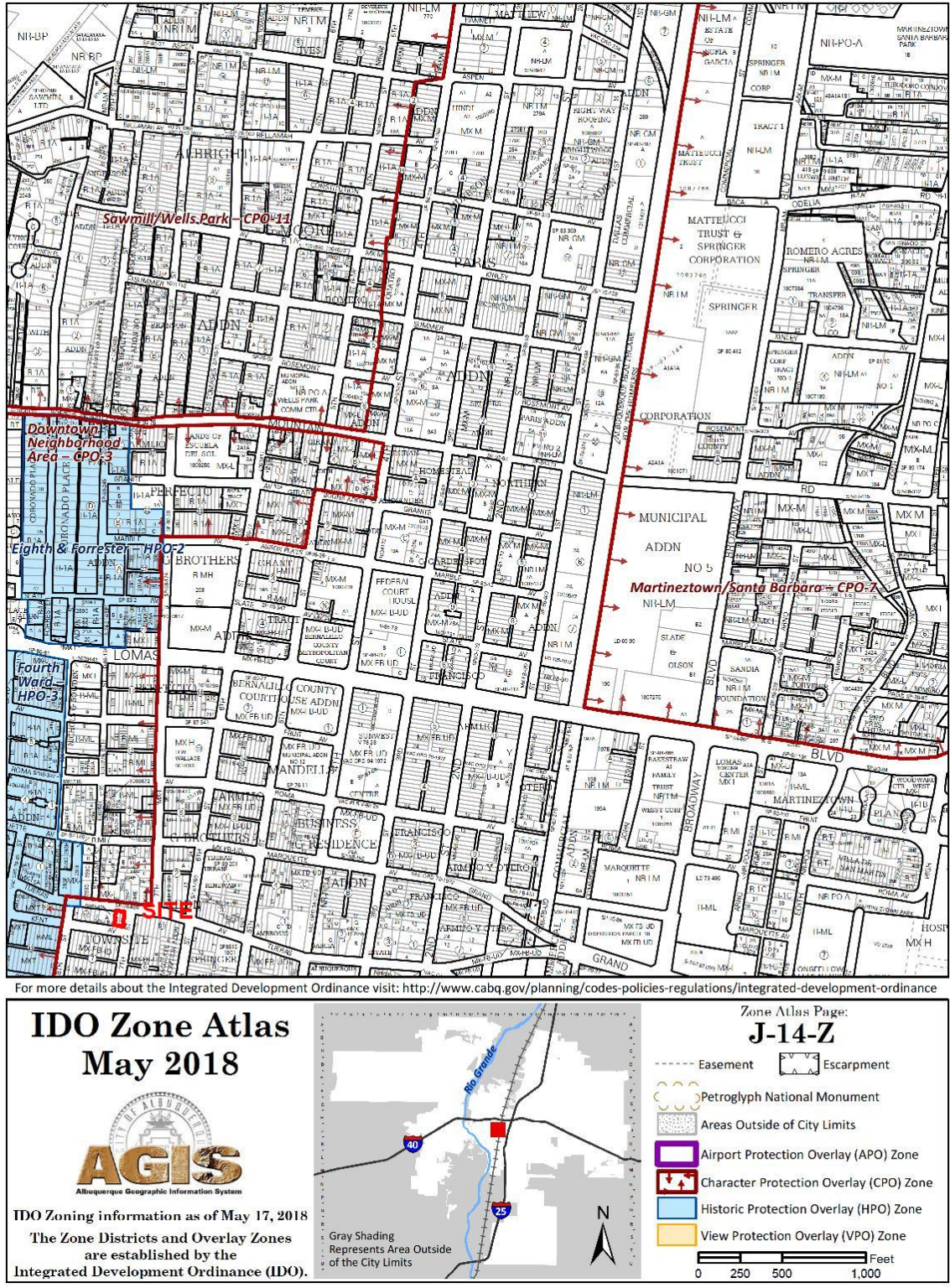
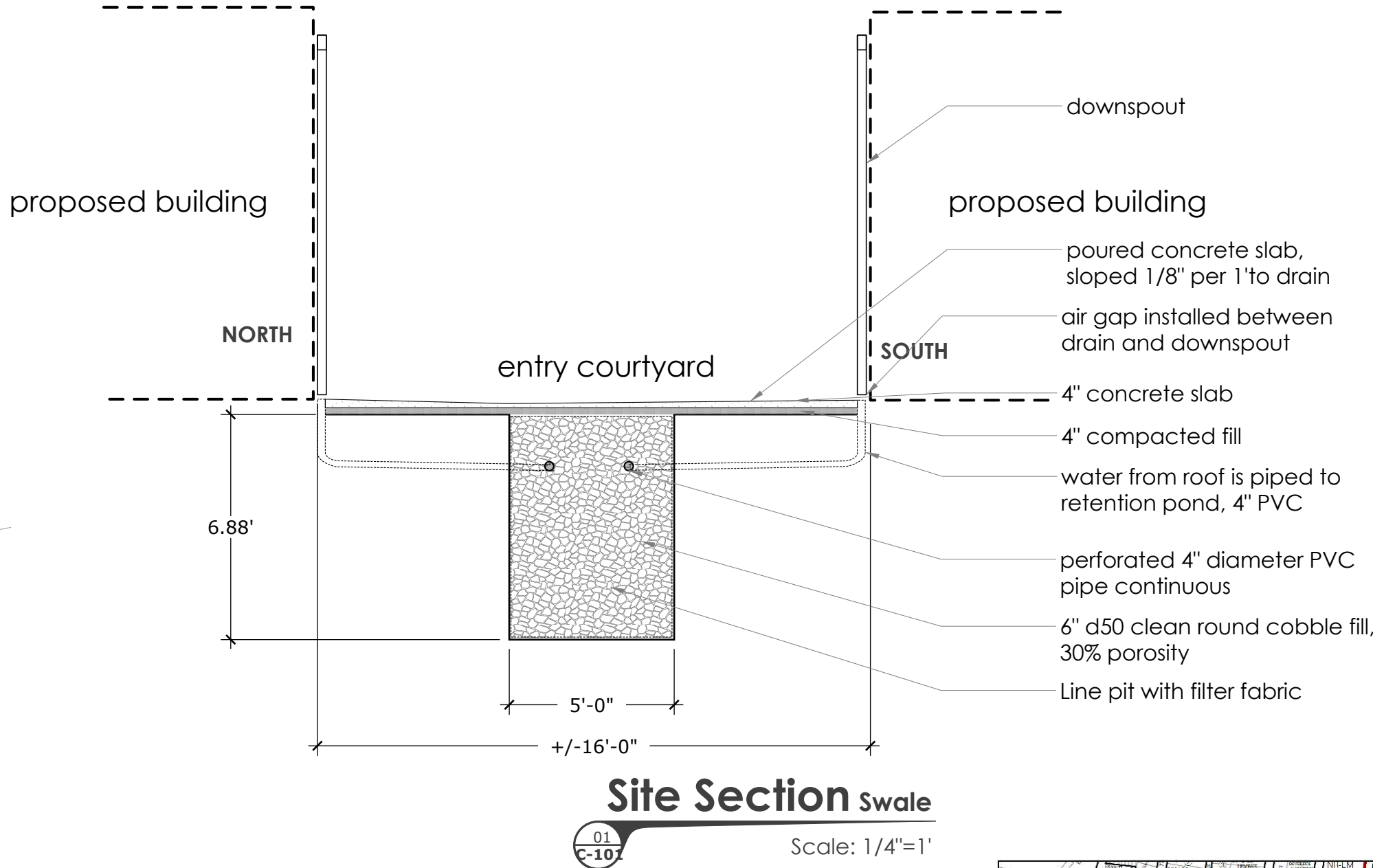
1. A final inspection by Hydrology is required before a Certificate of Occupancy is released

GENERAL NOTES

Contractor is responsible for utility spots and controlling sediment deposition and erosion during construction.

A concrete washout bin must be provided as per City of Albuquerque MS4 Permit requirements.

All disturbed area due to construction must be reseeded or landscaped following construction.



505-246-4843
donbriggsengineering@gmail.com
5524 Calhoun Ct. NW, Albuquerque, NM 87120

DON BRIGGS
Engineering LLC

700 TIJERAS

700 Tijeras NW, Albuquerque, NM, 87102

Revisions Grading and Drainage C-101			Remarks
NO.	Date		

Date:
July 15, 2019

Sheet:
Grading and
Drainage Plan

C-101