

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Interim Director



Mayor Timothy M. Keller

July 19, 2019

Don Briggs, P.E.  
Don Briggs Engineering, LLC  
5324 Oakledge Ct. NW  
Albuquerque, NM 87120

**RE: 915 Silver Ave. SW**  
**Grading and Drainage Plan**  
**Engineer's Stamp Date: 07/15/19**  
**Hydrology File: K14D118**

Dear Mr. Briggs:

PO Box 1293

Based upon the information provided in your submittal received 07/15/2019, the Grading & Drainage Plan **is not** approved for Building Permit and Grading Permit. The following comments need to be addressed for approval of the above referenced project:

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

1. Even though the project benchmark is shown, please provide the City monument where this datum was taken.
2. Per the DPM Chapter 22 Section 7 - Grading Plan Checklist, please use 1" = 20' for the scale.
3. Per the DPM Chapter 22 Section 7 - Grading Plan Checklist, please provide a graphic scale.
4. Please show all existing structures, fences, sidewalk, and pavement on the lot, adjacent lots, Silver R.O.W., and alley. These items are important to tie proposed grading into and are any going to remain. See aerial.

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Interim Director



Mayor Timothy M. Keller



5. Please label both the alley as a “16’ Public Alley” and Silver Ave SW R.O.W.
6. Please provide a legend showing all hatch patterns. I cannot tell what is being proposed.
7. Please provide all dimensions needed to build the proposed retention pond especially the dimension off the property line. Also please label the retention pond.
8. Please provide all dimensions needed to build the proposed French drain along the western property line especially the dimension off the property line.
9. Please provide size of the drain pipe and proposed inlet rim elevations along with pipe inverts.
10. Please provide the swale grades.
11. Since this site is in the Valley region, please follow Chapter 22 Section 5.G (Flat Grading Scheme). The following conditions must be applied to the site:
  - Pad elevation shall be a minimum of one (1) foot above the highest adjacent proposed elevation.
  - The flow between the front yard and back yard cannot be obstructed. The stormwater must be allowed to equalize to the same level between the front yard and back yard.
  - A permanent perimeter wall or barrier around the development is required to contain the 100 year 6 hour storm developed runoff.
  - The high point of the street should be four inches above the 100 year 6 hour storm water surface elevation.
12. Please show how the overflow of 0.1 cfs is leaving the site from the retention pond.

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Interim Director



Mayor Timothy M. Keller

13. Please clarify the retention detail dimensions. Are these in inches or feet? Also please use aggregate instead of clean rounded cobble.
14. In the provided retention pond volume calculations, which dimensions are to be used in this project? There are five shown.
15. The site section does not provide any relevant information and can be removed.
16. As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Curtis Cherne, PE, [ccherne@cabq.gov](mailto:ccherne@cabq.gov), 924-3420) 14 days prior to any earth disturbance.
17. Also as a reminder, please provide a Drainage Covenant for the proposed retention pond per Chapter 17 of the DPM prior to Permanent Release of Occupancy. Please submit this on the 4th floor of Plaza de Sol. A \$25 fee will be required.
18. Standard review fee of \$150 will be required at the time of resubmittal.

PO Box 1293

Albuquerque

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

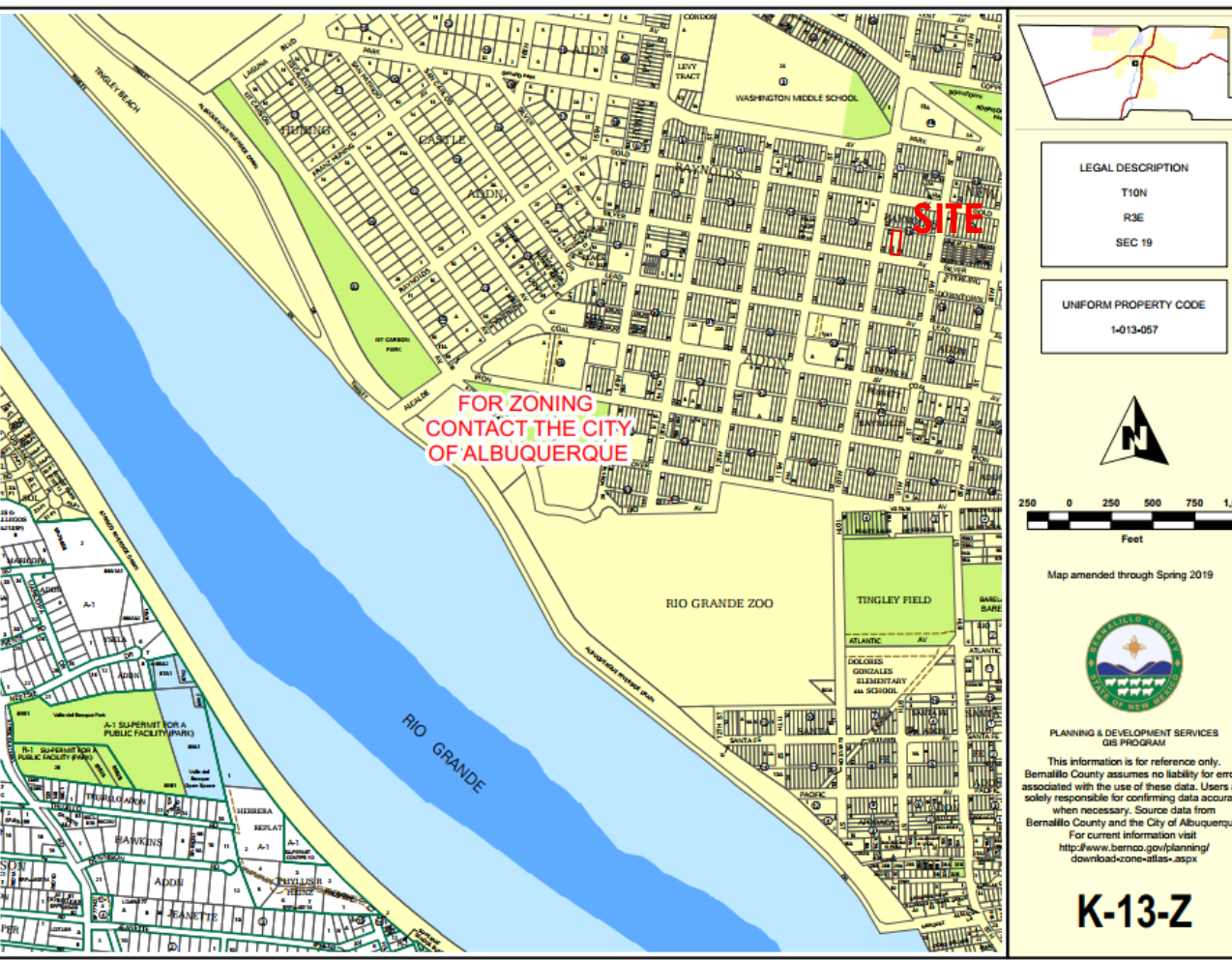
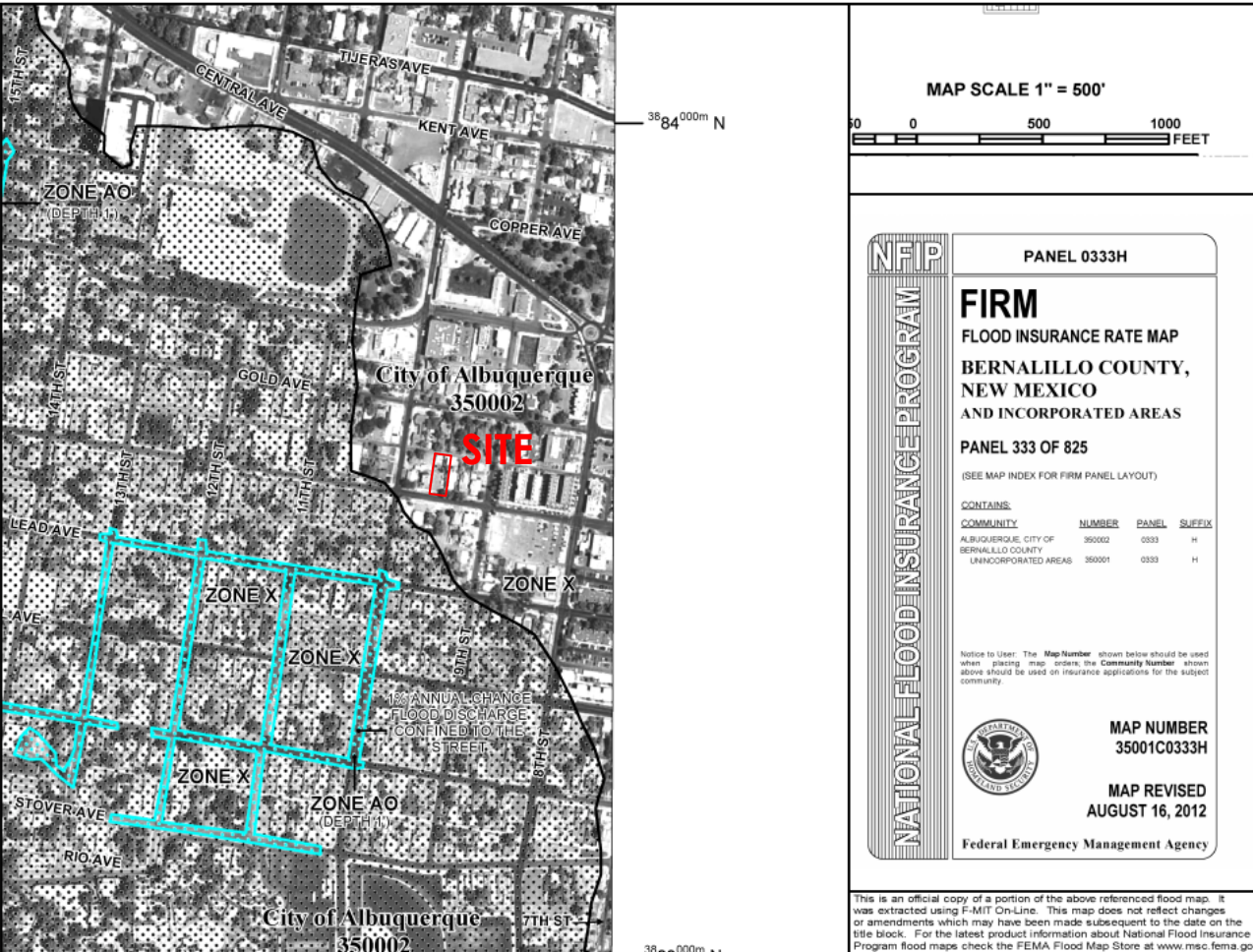
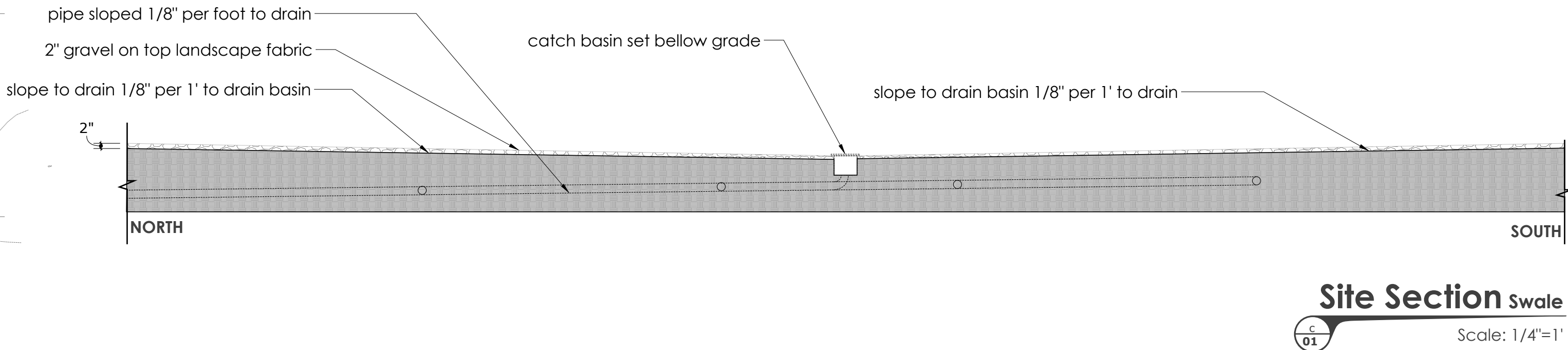
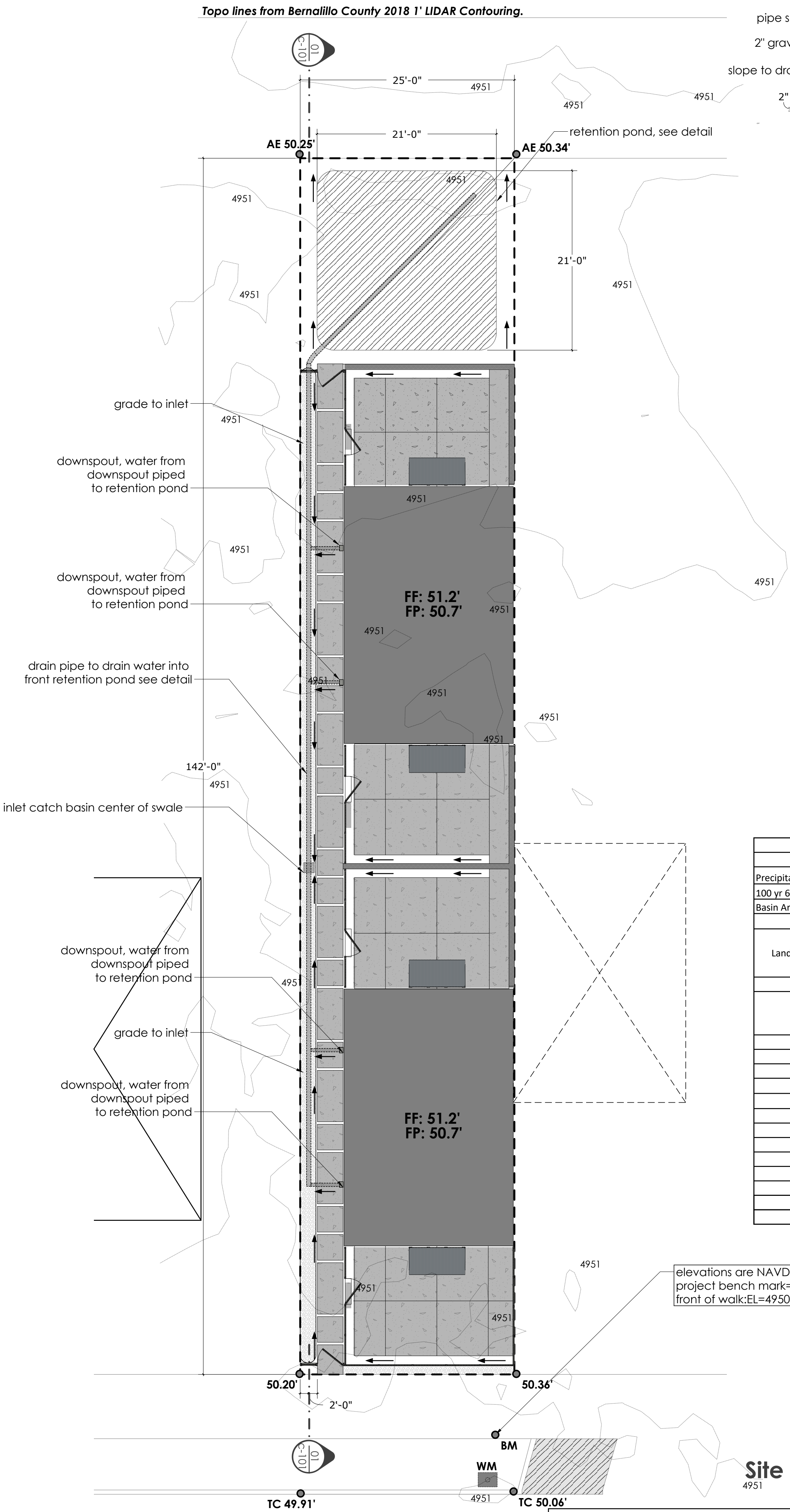
NM 87103

Sincerely,

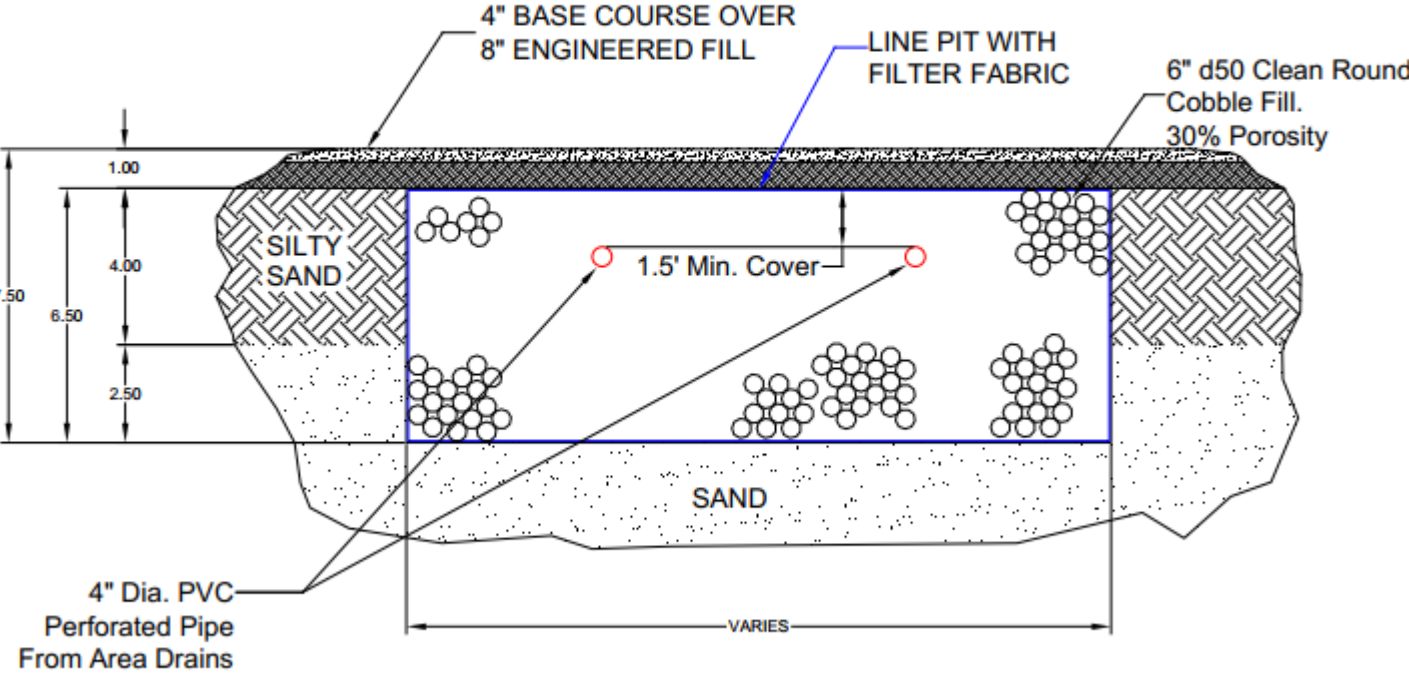
[www.cabq.gov](http://www.cabq.gov)

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

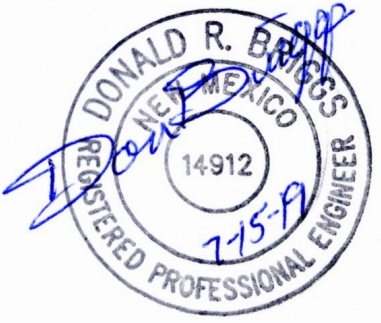




Hydrology Calculations							
915 Silver SW							
Precipitation Zone 2							
100 yr 6 hr Storm							
Basin Area =		0.085232 ac.		3712.7 sq ft			Determined by DB
Land Treatment	Percent	Area (ac.)	Excess Precipitation (in.)	Unit Peak Discharge (cfs/ac.)	Runoff Volume (ac. Ft.)	Peak Discharge (cfs)	Comments
A	0.00%	0.00	0.53	1.56	0.00	0.00	Natural Ground
B	6.84%	0.00	0.78	2.28	0.00	0.01	Landscaped Areas
C	14.94%	0.01	1.13	3.14	0.00	0.03	Compacted earth/Gravel Parking
D	78.21%	0.06	2.12	4.7	0.01	0.31	Impervious Areas
TOTAL	100.00%	0.08	1.88		0.01	0.36	
Required 100yr 6hr Storage Volume =					582	cu ft	
Required French Drain Volume @ 30% Porosity =					1939	cu ft	
Drain Volume Dimensions				W	L	D	
				21.0	21.0	4.39	
				20.0	20.0	4.84	
				19.0	19.0	5.37	
				18.0	18.0	5.98	
				17.0	17.0	6.70	



Dimensions taken from outside face of foundation, unless specified otherwise



505-246-4843  
donbriggsengineering@gmail.com  
5524 Chicago Ct. NW, Albuquerque, NM 87120

**DON BRIGGS**  
Engineering LLC

**QUADPLEX**

915 Silver Avenue SW, Lot 20, Albuquerque, NM, 87102

Revisions Grading and Drainage C-101		Remarks	
NO.	Date		

Grading and Drainage

**C-101**





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_\_# OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

**IS THIS A RESUBMITTAL?:** \_\_\_\_\_ Yes \_\_\_\_\_ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_