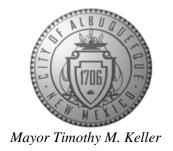
CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Interim Director



July 19, 2019

Don Briggs, P.E. Don Briggs Engineering, LLC 5324 Oakledge Ct. NW Albuquerque, NM 87120

RE: 915 Silver Ave. SW

Grading and Drainage Plan Engineer's Stamp Date: 07/15/19

Hydrology File: K14D118

Dear Mr. Briggs:

PO Box 1293

Based upon the information provided in your submittal received 07/15/2019, the Grading & Drainage Plan **is not** approved for Building Permit and Grading Permit. The following comments need to be addressed for approval of the above referenced project:

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1. Even though the project benchmark is shown, please provide the City monument where this datum was taken.

NM 87103

2. Per the DPM Chapter 22 Section 7 - Grading Plan Checklist, please use 1" = 20' for the scale.

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- 3. Per the DPM Chapter 22 Section 7 Grading Plan Checklist, please provide a graphic scale.
- 4. Please show all existing structures, fences, sidewalk, and pavement on the lot, adjacent lots, Silver R.O.W., and alley. These items are important to tie proposed grading into and are any going to remain. See aerial.

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- 5. Please label both the alley as a "16' Public Alley" and Silver Ave SW R.O.W.
- 6. Please provide a legend showing all hatch patterns. I cannot tell what is being proposed.
 - 7. Please provide all dimensions needed to build the proposed retention pond especially the dimension off the property line. Also please label the retention pond.
 - 8. Please provide all dimensions needed to build the proposed French drain along the western property line especially the dimension off the property line.
 - 9. Please provide size of the drain pipe and proposed inlet rim elevations along with pipe inverts.
 - 10. Please provide the swale grades.
 - 11. Since this site is in the Valley region, please follow Chapter 22 Section 5.G (Flat Grading Scheme). The following conditions must be applied to the site:
 - Pad elevation shall be a minimum of one (1) foot above the highest adjacent proposed elevation.
 - The flow between the front yard and back yard cannot be obstructed. The stormwater must be allowed to equalize to the same level between the front yard and back yard.
 - A permanent perimeter wall or barrier around the development is required to contain the 100 year 6 hour storm developed runoff.
 - The high point of the street should be four inches above the 100 year 6 hour storm water surface elevation.
 - 12. Please show how the overflow of 0.1 cfs is leaving the site from the retention pond.

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- 13. Please clarify the retention detail dimensions. Are these in inches or feet? Also please use aggregate instead of clean rounded cobble.
- 14. In the provided retention pond volume calculations, which dimensions are to be used in this project? There are five shown.
- 15. The site section does not provide any relevant information and can be removed.
- 16. As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Curtis Cherne, PE, ccherne@cabq.gov, 924-3420) 14 days prior to any earth disturbance.
- 17. Also as a reminder, please provide a Drainage Covenant for the proposed retention pond per Chapter 17 of the DPM prior to Permanent Release of Occupancy. Please submit this on the 4th floor of Plaza de Sol. A \$25 fee will be required.

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18. Standard review fee of \$150 will be required at the time of resubmittal.

Albuquerque

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

NM 87103

Renée C. Brissette

www.cabq.gov

Renée C. Brissette, P.E. CFM Senior Engineer, Hydrology Planning Department



MAP SCALE 1" = 500' 0 0 500 1000 FEET PANEL 0333H FIRM FLOOD INSURANCE RATE MAP BERNALILLO COUNTY, NEW MEXICO AND INCORPORATED AREAS PANEL 333 OF 825 Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.

MAP REVISED

SOUTH

Scale: 1/4"=1"

QUADPLE

SW, Lot 20, 87102

915 Silv

Grading and Drainage

slope to drain basin 1/8" per 1' to drain-Site Section Swale Determined by DB Peak Discharge Comments 0.00 Natural Ground 0.01 Landscaped Areas 0.03 Compacted earth/Gravel Parking 0.31 Impervious Areas 0.36 1939 cu ft D properties. 4.39 4.84 5.37 5.98 6.70

DRAINAGE NARRATIVE

This grading & drainage plan was prepared to support a building permit application for a new residence located at 915 Silver Ave. SW (Lot 20, Block 16, Raynolds Addn.). A pre-development meeting with City Hydrology staff indicates that full retention of the 100yr. 6hr. runoff volume is required for this property due to the lack of capacity of the storm drain system in Silver Ave. The site is a 0.09 acre parcel located in Precipitation Zone 2 and Floodzone X (Unshaded). It is generally flat at an elevation of around 4950' MSL. The site is not impacted by cross lot runoff from adjacent

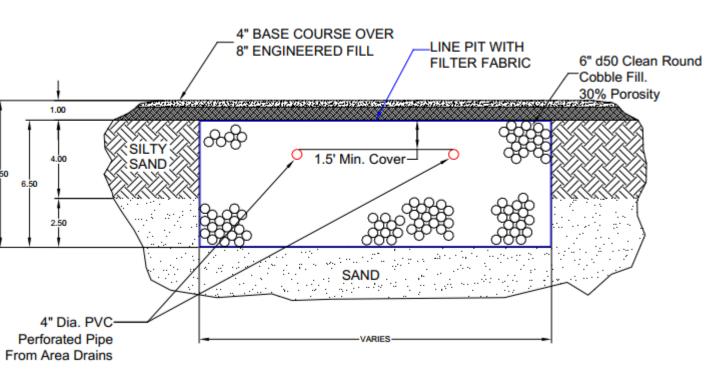
This plan was prepared using the hydrology methodology presented in Chapter 22.2 of the City of Albuquerque's Development Process Manual (abbreviated method). Due to the limited space, underground storage in a porous French Drain system is proposed for containment of the 100yr. 6hr. runoff volume. Stormwater runoff will be directed to the French Drain system via area drains. Inlets to the area drain pipes will include grates and sumps to capture sediment and trash. Hydrology and French Drain calculations are presented in the included table. Multiple dimensions for the French Drain are presented to give the builder some alternatives in construction.

GENERAL NOTES

Contractor is responsible for utility spots and controlling sediment deposition and erosion during construction.

A concrete washout bin must be provided as per City of Albuquerque MS4 Permit requirements.

All disturbed area due to construction must be reseeded or landscaped following construction.



Site Landscape 4951 Scale: 1/8"=1" Dimensions taken from outside face of foundation, unless specified otherwise

elevations are NAVD 1988,

project bench mark= set "square cut" @ front of walk:EL=4950.28'

Precipitation Zone 2 100 yr 6 hr Storm

Land Treatment

Α

TOTAL

Basin Area =

pipe sloped 1/8" per foot to drain

2" gravel on top landscape fabric-

slope to drain 1/8" per 1' to drain basin-

catch basin set bellow grade –

Hydrology Calculations

915 Silver SW

Precipitation (in.)

0.53

0.78

1.13

2.12

1.88

3712.7 sq ft

Runoff

Volume (ac.

0.00

0.00

0.00

0.01

0.01

21.0

20.0

19.0

18.0

17.0

Unit Peak

Discharge

(cfs/ac.)

1.56

3.14

4.7

21.0

20.0

19.0

18.0

17.0

0.085232 ac

Area (ac.)

0.00

0.00

0.01

0.06

0.08

Percent

0.00%

6.84%

14.94%

78.21%

100.00%

Required French Drain Volume @ 30% Porosity =

Required 100yr 6hr Storage Volume =

Drain Volume Dimensions

Topo lines from Bernalillo County 2018 1' LIDAR Contouring.

AE 50.25'

4951

grade to inlet-

downspout, water from

downspout, water from

drain pipe to drain water into front retention pond see detail-

inlet catch basin center of swale-

downspout, water from

downspout, water from

downspout piped

to retention pond-

downspoyt piped

to retention pond-

grade to inlet-

downspout piped

to retention pond-

downspout piped to retention pond4951

4951

FF: 51.2'

FP: 50.7'

← ←

FF: 51.2' FP: 50.7'

4951

TC 50.06'

2'-0"

Topo lines from Bernalillo County 2018 1' LIDAR Contouring.

TC 49.91'

AE 50.34'

4951

-----,

21'-0"

retention pond, see detail

Retention Detail



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title:	Building P	ermit #: Hydrology File #:
		Work Order#:
Legal Description:		
City Address:		
Applicant:		Contact:
Address:		
		E-mail:
Owner:		Contact:
Address:		
		E-mail:
TYPE OF SUBMITTAL: PLA	T (# OF LOTS)	RESIDENCE DRB SITE ADMIN SITE
IS THIS A RESUBMITTAL?:	Yes	No
DEPARTMENT: TRAFFIC/ T	RANSPORTATION _	HYDROLOGY/ DRAINAGE
Check all that Apply: TYPE OF SUBMITTAL: ENGINEER/ARCHITECT CERT PAD CERTIFICATION CONCEPTUAL G & D PLAN GRADING PLAN DRAINAGE MASTER PLAN DRAINAGE REPORT FLOODPLAIN DEVELOPMENT ELEVATION CERTIFICATE CLOMR/LOMR TRAFFIC CIRCULATION LAY TRAFFIC IMPACT STUDY (TI OTHER (SPECIFY) PRE-DESIGN MEETING?	Γ PERMIT APPLIC OUT (TCL) S)	TYPE OF APPROVAL/ACCEPTANCE SOUGHT: BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY PRELIMINARY PLAT APPROVAL SITE PLAN FOR SUB'D APPROVAL SITE PLAN FOR BLDG. PERMIT APPROVAL FINAL PLAT APPROVAL SIA/ RELEASE OF FINANCIAL GUARANTEE FOUNDATION PERMIT APPROVAL GRADING PERMIT APPROVAL SO-19 APPROVAL PAVING PERMIT APPROVAL GRADING/ PAD CERTIFICATION WORK ORDER APPROVAL CLOMR/LOMR FLOODPLAIN DEVELOPMENT PERMIT OTHER (SPECIFY)
DATE SURMITTED:	Bv·	

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED:

FEE PAID:_____