

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

November 15, 2022

Philip Gallegos, RA
Acequia Architect, LLC
431 E Orman Ave.
Pueblo, CO 81004

**Re: El Encuentro Immigrant Community Center
907 4th St. SW
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection**
Architect's Stamp dated 01-21-22 (K14-D121)
Certification dated 10-31-22

Dear Mr. Gallegos,

Based upon the information provided in your submittal received 11-14-22, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Please provide City Right of Way improvements project number.
 - The new location of the Trash Bin is blocking one of the parking spaces. Please address this concern.
 - Please provide a written (or email) approval from the Solid Waste department about changing the location of Trash Bin.
 - Per approved site plan key note 9, a 6 ft. wide ADA pathway need to be provided from the ADA aisle to the building entrance.
 - "ONE WAY" and "DO NOT ENTER" signage need to be installed.
- Once these corrections are complete, email pictures to malnajira@cabq.gov for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

ma via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: EL ENCUESTRO Building Permit #: DP-2021-37153 Hydrology File #: _____
DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LTA PLAT OF LOTS A & B ATLANTIC & PACIFIC ADDITION 0.459 AC

City Address: 907 4TH ST SW, ALBUQUERQUE 87102

Applicant: ACEQUIA ARCHITECTS Contact: PHIL GALLEGOS

Address: 431 E. ORMAN AVE., PUEBLO CO 81004

Phone#: (303) 863-9286

Fax#: _____

E-mail: ACEQUIA-ARCHITECTS@gmail.com

Other Contact: RON ROMERO, INC.

Contact: RON ROMERO

Address: 511 MARBLE NW, ALBUQUERQUE, NM 87102

Phone#: (505) 264-5383

Fax#: _____

E-mail: RONROMEROINC@gmail.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? Yes ☒ No ☐

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 11/1/22

By: PHILIP GALLEGOS ARCHITECT

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



AcequiaSound

October 31, 2022

Mr. Shahab Biazar, PE
City Engineer
City of Albuquerque New Mexico

Re: TCL Certification 907 4th Street SW, Albuquerque
El Encuentro Immigrant Community Center

This letter is provided as required to proceed with an issuance of a temporary certificate of occupancy on the above address and as indicated in your email to Acequia Architects dated October 3, 2022.

On Thursday, October 20, 2022, I conducted a site inspection along with my intern, Ms. Kristen Madden. The inspection was conducted to confirm compliance with the TCL first within the property boundaries and secondly on the public right of way improvement in order to secure the TCO you referenced in your email.

On Site Improvements.

We can certify that all improvements within the property boundaries were completed in accordance with the TCL except the following items:

Per the note 11 sheet TCL002 and Bicycle Rack requirements detail on Sheet TCL001, one bicycle loop was installed and not the three as indicated.

Per note 17 and 18 on sheet TCL002 the one way and do not enter sign were not installed.

We contacted the contractor by email, and he has not responded to date. We were contacted by the owner's representative, Ms. Andrea Plaza and she indicated that she had requested permission from the City's Waste Department to relocate the trash bin as they have had neighborhood issues. She will confirm this with a letter if required.

These minor items are noted on the approved drawings with red lines.

Secondly, we found none of the offsite curb, gutter, and handicapped ramps were not installed per the approved drawing. It is our understanding the City of Albuquerque will be installing street improvements for 4th Street in the near future and therefore these items will be considered in the City project.

The persons responsible for reporting and coordinating these improvements to complete the occupancy requirements will be:

Ms. Andrea Plaza, Director El Encuentro
(505) 450-5016
andrea@encuentronm.org

Ron Romero, General Contractor
(505) 242-5760
ronromeroinc@gmail.com

If you should have additional questions, please do not hesitate to contact us.

Sincerely,
Phillip Gallegos, Architect
NM RA#1690

303.883.9286
Acequia.Architects@gmail.com

IDO Parking and Zoning Review
Parking and Traffic Circulation Layout
November 2020 Edition
Amended April 2021

IDO Zone District Designation: MX-L Mixed Use Low Intensity 2-4(B)
Barelas Character Protection District Overlay (CPO-1)

LEGAL DESCRIPTION
LT A PLAT OF LOTS A & B ATLANTIC & PACIFIC ADDITION
CONT 0.4898 AC

Site Information
Parcel Area: 0.489 Acres
No building additions or exterior building changes

SECTION 2-4(B) MX-L
Building Height: 38 Feet Maximum and 18 Feet actual to highest point

SECTION 3 OVERLAY
Section 3-4(B) Barelas CPO-1
MX-L Front, Rear, Side Minimum: 0 feet
Section 3-4(E) 1 East Downtown CPO-4
Not applicable Out of Area

SECTION 5-5 PARKING AND LOADING
Table 5-5-1

Permissive uses Civic and Institution
Community Center: 2 Spaces per 1000 square feet GFA Building Area
Building Area: 60 feet x 120 feet OR 7200 GSF
Required Parking:
(7200 GSF/1000 GSF x 2 spaces) OR 14.4 Spaces

14 CAR SPACES MINIMUM REQUIRED

Motorcycles:
Section 5-5D(1) Table 5-5-4
Required Off-street parking 1-25
1 Motorcycle Space Required

ADA Accessible Parking Spaces Required:
ADA Regulation Table 208.2 Parking Spaces
Total Number of Parking Spaces Required:
1-25 Spaces
Minimum Number of Required Accessible
Parking Spaces: 1

Bicycles:
Section 5-5E(1) Table 5-5-5
Required Nonresidential Uses
3 Spaces or 10% of Required
3 Spaces Required

Total Number of Accessible Parking Spaces
Provided: 1

SECTION 4-2-1 PERMITTED USES
Current: Civic Uses
Religious Permissive Primary 4-3(C)(9)
Proposed: Civic Uses
Community Center Permissive Primary 4-3(C)(1)
Same size limits required of Religious Institutions
Public Notice Use Change not required

SECTION 5-1-2 Mixed Use Zoning Dimension Standards
Table 5-1-2 Setbacks
Front: 5 Feet Required and 5-foot actual provided from
4th Street SW
Side Interior: 5 feet COMPLIES
Side Street: 15 feet COMPLIES
Rear: 15 Feet Main Building complies, Overhead Deck
within 15 feet

TOTAL PARKING SPACES REQUIRED:

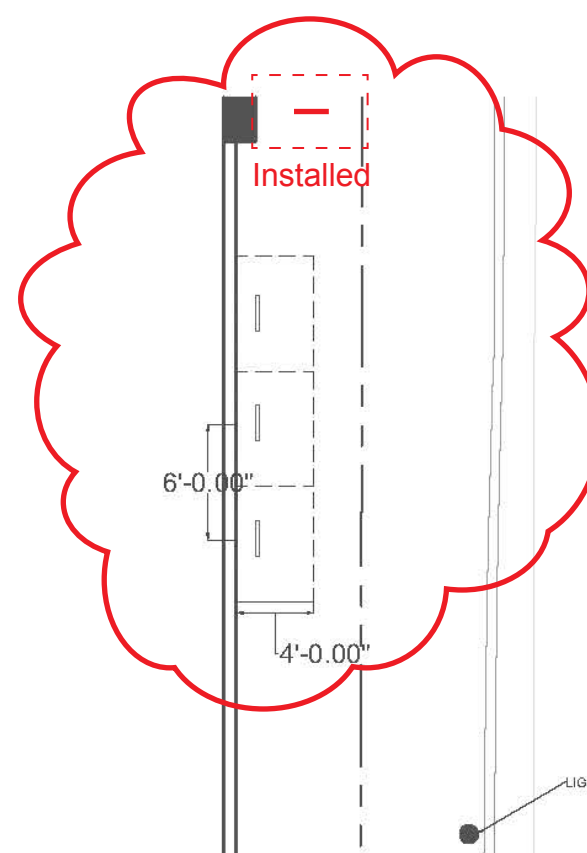
14 SPACES
Existing Parking Zone Lot A Paved
28 Car Spaces
2 ADA Accessible Car Parking

Proposed Parking Zone Lot A Paved
23 Car Parking
1 ADA Accessible Car Parking
2 Motorcycle Spaces
3 Bicycle Rack

SECTION 5-6 LANDSCAPE BUFFERING SCREENING
Barelas Improvement District Streetscape: Existing and
Neighborhood Review

Section 5-6 (B) (4) Applicability
Renovation Permit is less than \$500,000: Exempt

11. BICYCLE PARKING
RACK ADDITION
INSTALLED IN ALTERNATIVE
WAY








BICYCLE RACK REQUIREMENTS: 3 BICYCLES
SCALE 1" = 10'

11. BICYCLE PARKING RACK FOR 3 BICYCLES
EQUAL TO THREE 1-LOOP WAVE STYLE
BIKE RACK ONE SIDE LOADING, SECURE
TO CONCRETE, MINIMUM 12"
CLEARANCE. MODEL NO. H2892GALV



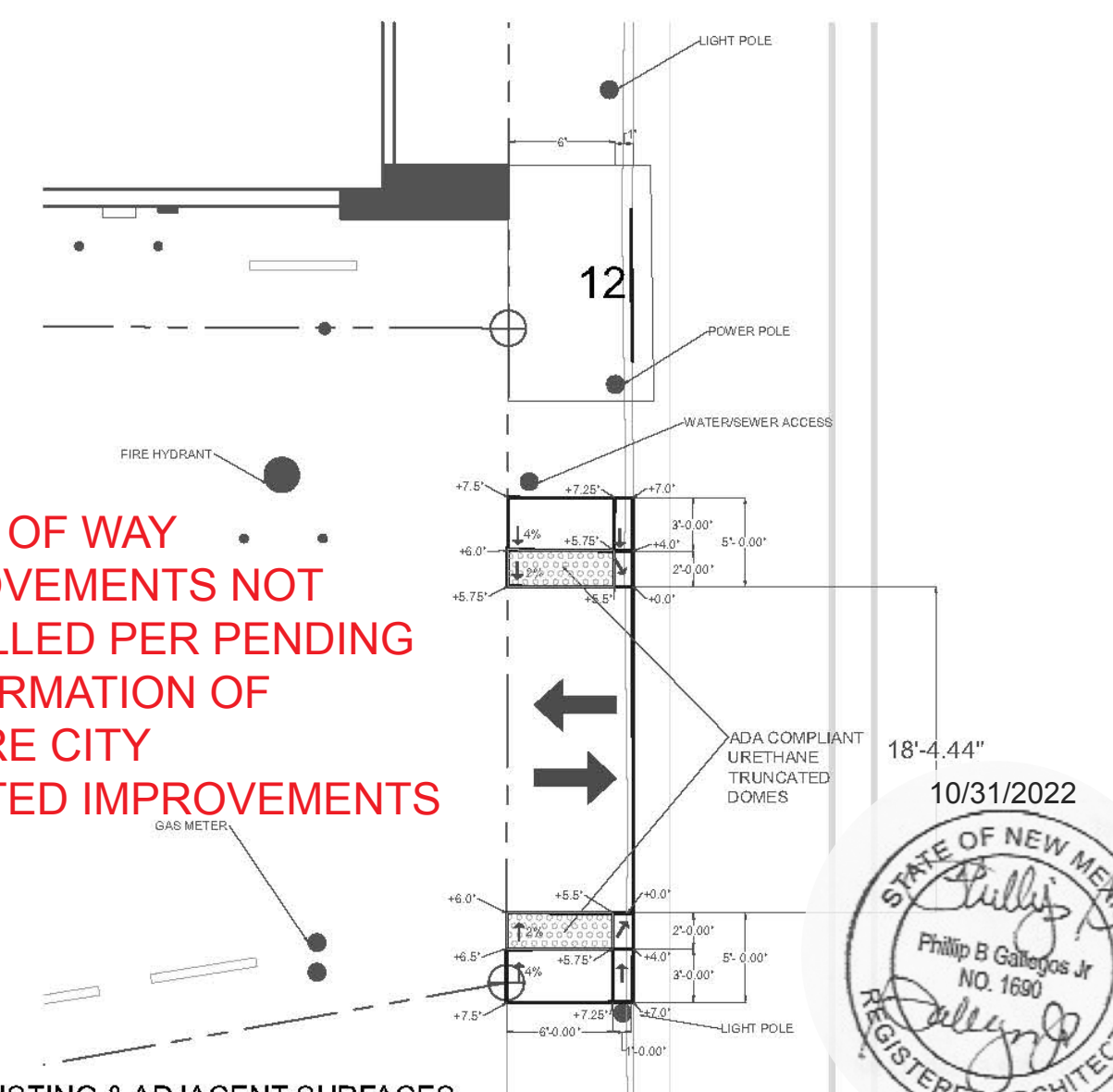
NOTE: MATCH EXISTING & ADJACENT
SURFACES, ELEVATIONS ARE TOP OF
CONCRETE

EXISTING	PROPOSED
 CURB	 REPLACE AREA WITH ADA COMPLIANT URETHANE TRUNCATED DOME PAD AT CURVED EDGE
 YELLOW PAINTED CURB	
 ADA COMPLIANT SLOPE	 REMOVE TWO RAMPS AND REPOUR CONCRETE TO EXISTING SLOPES OF 2.8%, 3.1%, AND .4%

NOTE: GRIND CURB LIP TO
DRAIN PAN AT CURVED EDGE

NOTE: CORNER DETAIL REFERENCE COA std drw 2441

EXISTING/ PROPOSED CORNER
SCALE 1" = 10'

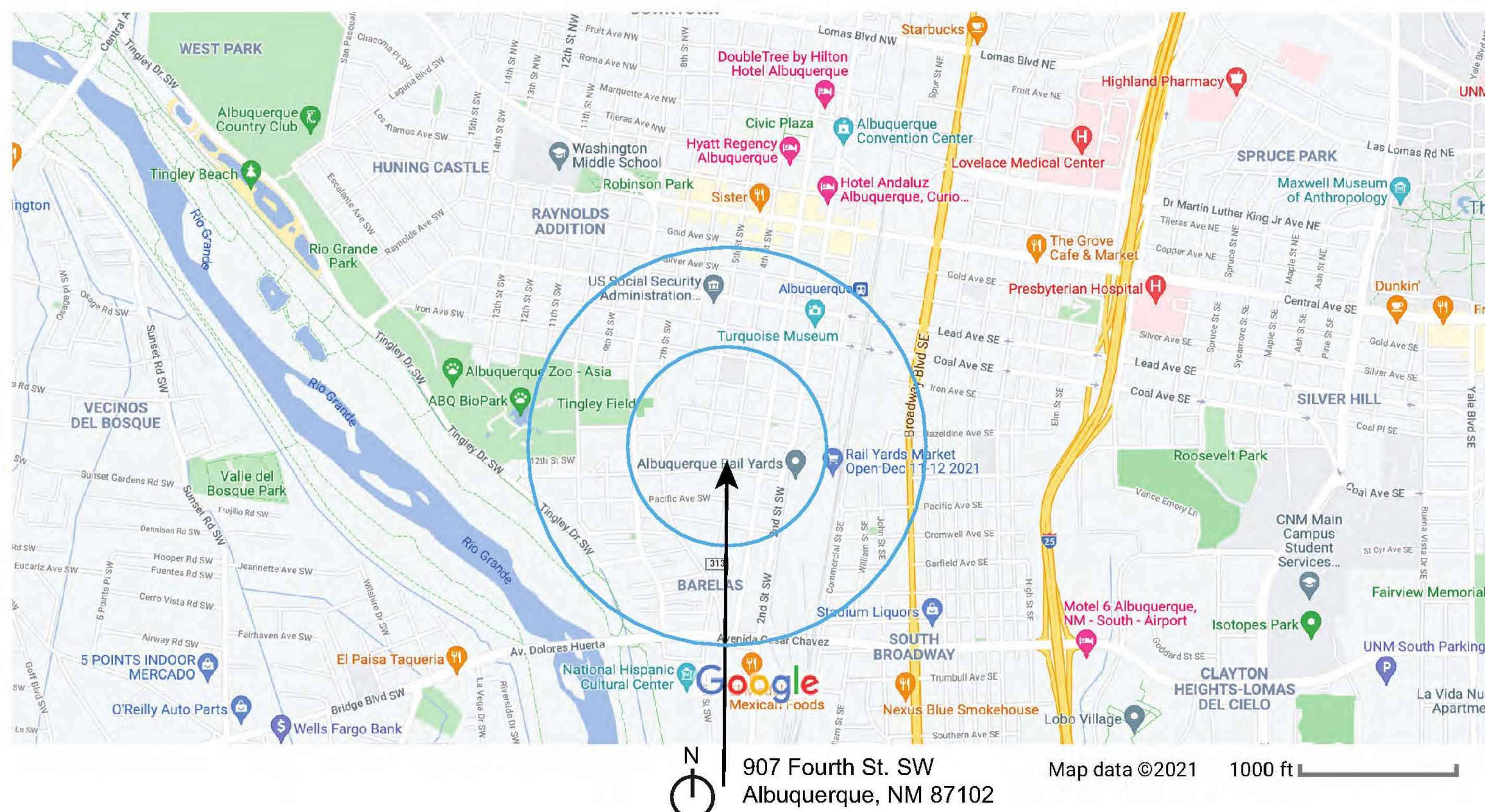


RIGHT OF WAY
IMPROVEMENTS NOT
INSTALLED PER PENDING
CONFIRMATION OF
FUTURE CITY
INITIATED IMPROVEMENTS

NOTE: MATCH EXISTING & ADJACENT SURFACES,
ELEVATIONS ARE TOP OF CONCRETE

LEGEND:	LOT A:	LOT B:
12. REMOVE 8FT DRIVEWAY AND REPLACE WITH STANDARD CURB AND GUTTER WITH SIDEWALK TO MATCH ADJACENT SURFACES IN COMPLIANCE WITH COA std dwg 2415 AND COA std dwg 2430.	NEW NORTH SIDEWALK FINISH SLOPES	NEW NORTH SIDEWALK FINISH SLOPES
CURRENT DRIVE PAD TO BE REMOVED AND REPLACE WITH AN ANGLED APRON ON THE DRIVE TO THE EXISTING CURB WITH ADA URETHANE TRUNCATED DOME PAD AND IN CLOSE COMPLIANCE WITH COA std dwg 2425.	NEW SOUTH SIDEWALK FINISH SLOPES	NEW SOUTH SIDEWALK FINISH SLOPES

PROPOSED DRIVEWAY- LOT B
SCALE 1" = 10'



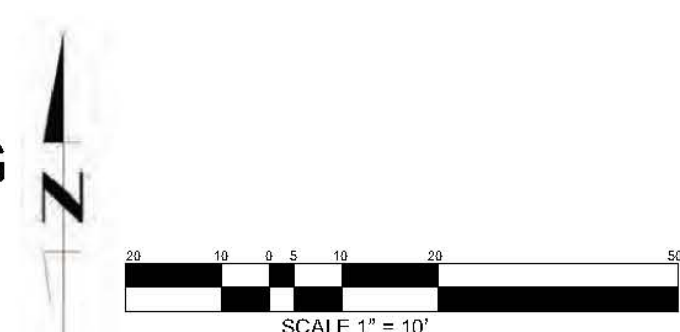
NOTE: MATCH EXISTING & ADJACENT SURFACES,
ELEVATIONS ARE TOP OF CONCRETE

LEGEND:	LOT A:	LOT B:
DRIVE PAD REMOVE & REPLACEMENT SEGMENTS TO THE NEAREST EXISTING CONTROL/EXPANSION JOINTS ON SIDEWALK, CURB, AND GUTTER.	NEW NORTH SIDEWALK FINISH SLOPES	NEW NORTH SIDEWALK FINISH SLOPES
CURRENT DRIVE PAD TO BE REMOVED AND REPLACE WITH AN ANGLED APRON ON THE DRIVE TO THE EXISTING CURB WITH ADA URETHANE TRUNCATED DOME PAD AND IN CLOSE COMPLIANCE WITH COA std dwg 2425.	NEW SOUTH SIDEWALK FINISH SLOPES	NEW SOUTH SIDEWALK FINISH SLOPES

PROPOSED DRIVEWAY- LOT A
SCALE 1" = 10'

DRAWING TITLE & SCALE:

IDO PARKING AND ZONING
REVIEW, DESIGN
DETAILS



TCL RESPONSE #1:

TRAFFIC CIRCULATION LAYOUT

ARCHITECT:

Acequia Architects, LLC
Acequia.architects@gmail.com
303-883-9286

LOCATION:

907 4th Street SW
Albuquerque, NM 87102

CLIENT:



PROJECT NO:

1

DRAWN BY:

KM

CHECKED BY:

PG

DATE:

1/20/2022

DRAWING
SHEET NO:

TCL 001

1 OF 1

LEGEND:

1. GAS METER

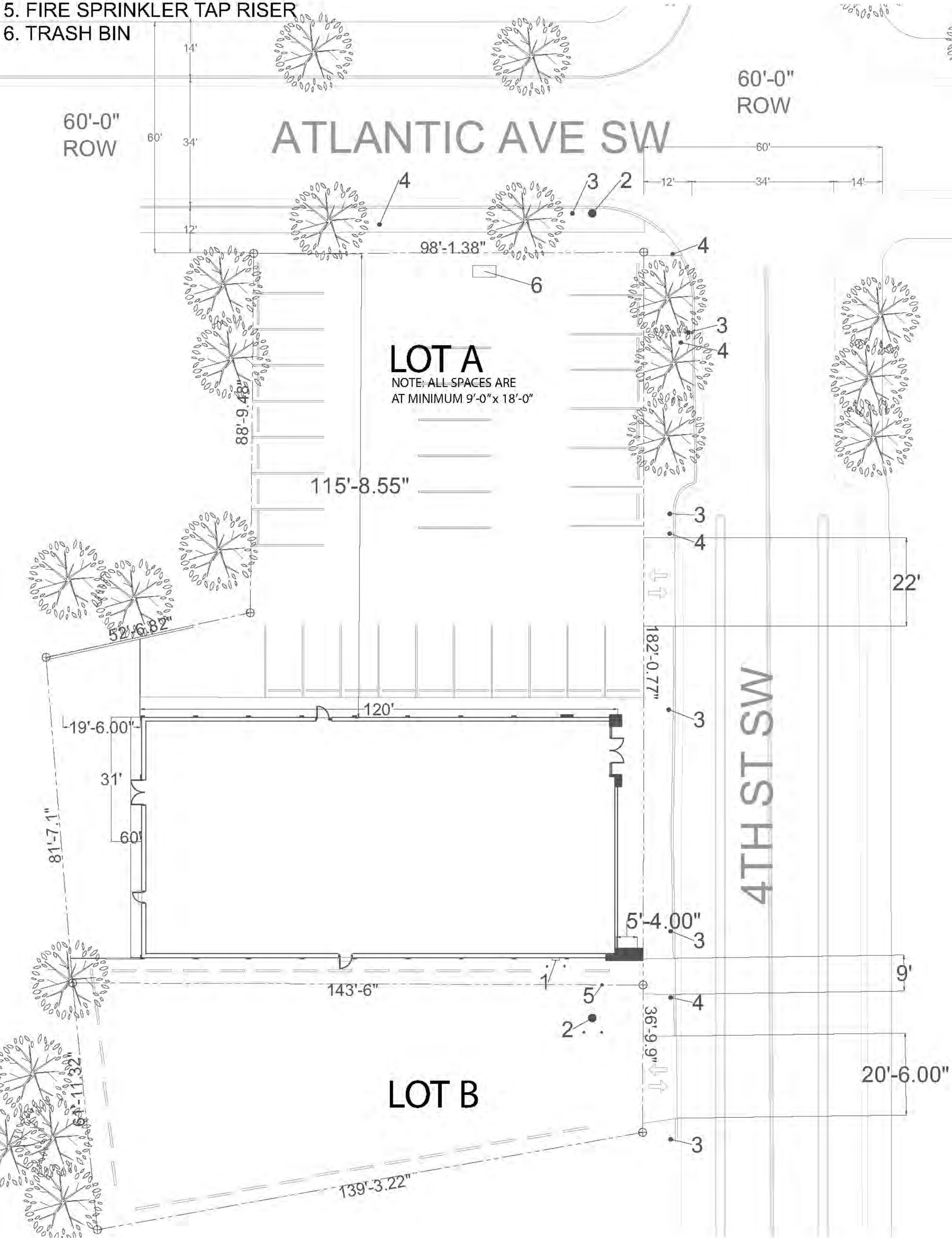
2. FIRE HYDRANT/SEWER/
WATER ACCESS

3. STREET LIGHT POLE

4. OVERHEAD ELECTRICAL POLE

5. FIRE SPRINKLER TAP RISER

6. TRASH BIN
6. TRASH BIN MOVED WITH WRITTEN
APPROVAL FROM WASTE MANAGEMENT



EXISTING PARKING AND TRAFFIC LAYOUT
PROPERTY LOT A & B
SCALE 1"= 20'

PROPOSED CHANGES:

- 7.MOTORCYCLE PARKING 4.5+ FEET WIDE WITH 12"X18" "MOTORCYCLE PARKING" POLE SIGN AT 60" ABOVE GROUND AND PAINTED SURFACE DESIGNATION WITH MC PARKING

8. ADA ACCESSIBLE WALL SIGN 12"X18" WITH HANDICAP UNIVERSAL SYMBOL AND "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" @ 60" ABOVE GROUND- SEE EXHIBIT A.

9. ADA ACCESSIBLE AISLE WITH 4" DIAGONAL BLUE PAINTED STRIPPING AT 60" AND SPACED AT 8" BETWEEN STRIPS. PROVIDE 12"X18" WALL SIGN WITH "NO PARKING" AT 60" ABOVE GROUND AND BLUE PAINTED 1' TALL 2" WIDE "NO PARKING" LOCATED AT THE REAR OF THE PARKING SPOT

10. ACCESSIBLE PARKING WITH UNIVERSAL HANDICAP SYMBOL PAINTED

11. BICYCLE PARKING RACK FOR 3 BICYCLES EQUAL TO THREE 1-LOOP WAVE STYLE BIKE RACK ONE SIDE LOADING, SECURE TO CONCRETE, MINIMUM 12" CLEARANCE. MODEL NO. H2892GALV

12. REMOVE 8 FT DRIVEWAY AND REPLACE WITH STANDARD CURB AND GUTTER WITH SIDEWALK TO MATCH ADJACENT SURFACES PER COA STD DWG 2415 AND COA DWG 2430

13. MINIMUM PARKING SPACE DIMENSIONS
CAR 9'X18"
MOTORCYCLE 4.5'X18'
HANDICAP 9'X18'

14. EXISTING 12' ACCESSIBLE ENTRY ACCESS TO PUBLIC WAY

15. EXISTING 6' ENTRY ACCESS PATH TO HC PARKING

16. DO NOT ENTER SIGN **16. CHANGE NOT INTSTALLED**

17. ONE WAY SIGN **17. CHANGE NOT INTSTALLED**

18. PAVMENT MARKINGS FOR "ONE WAY"

19. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3-8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

20. CORNER DETAIL REFERENCE COA STD DRW 2441.
- 20. RIGHT OF WAY IMPROVEMENTS NOT INSTALLED PER PENDING CONFIRMATION OF FUTURE CITY INITIATED IMPROVEMENTS**

NOTE: ALL BROKEN OR CRACKED SIDEWALK AND/OR CURB AND GUTTER MUST BE REPLACED EQUAL TO CITY STANDARD COA STD DWG 2430 AND 2415A

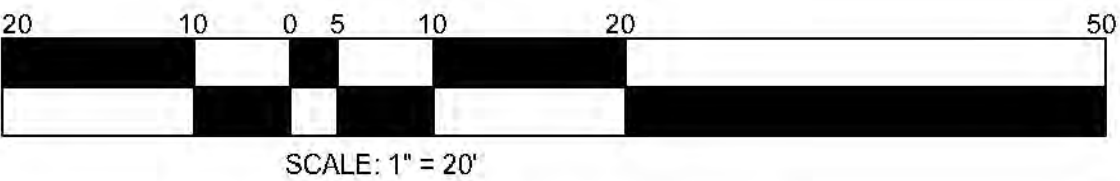
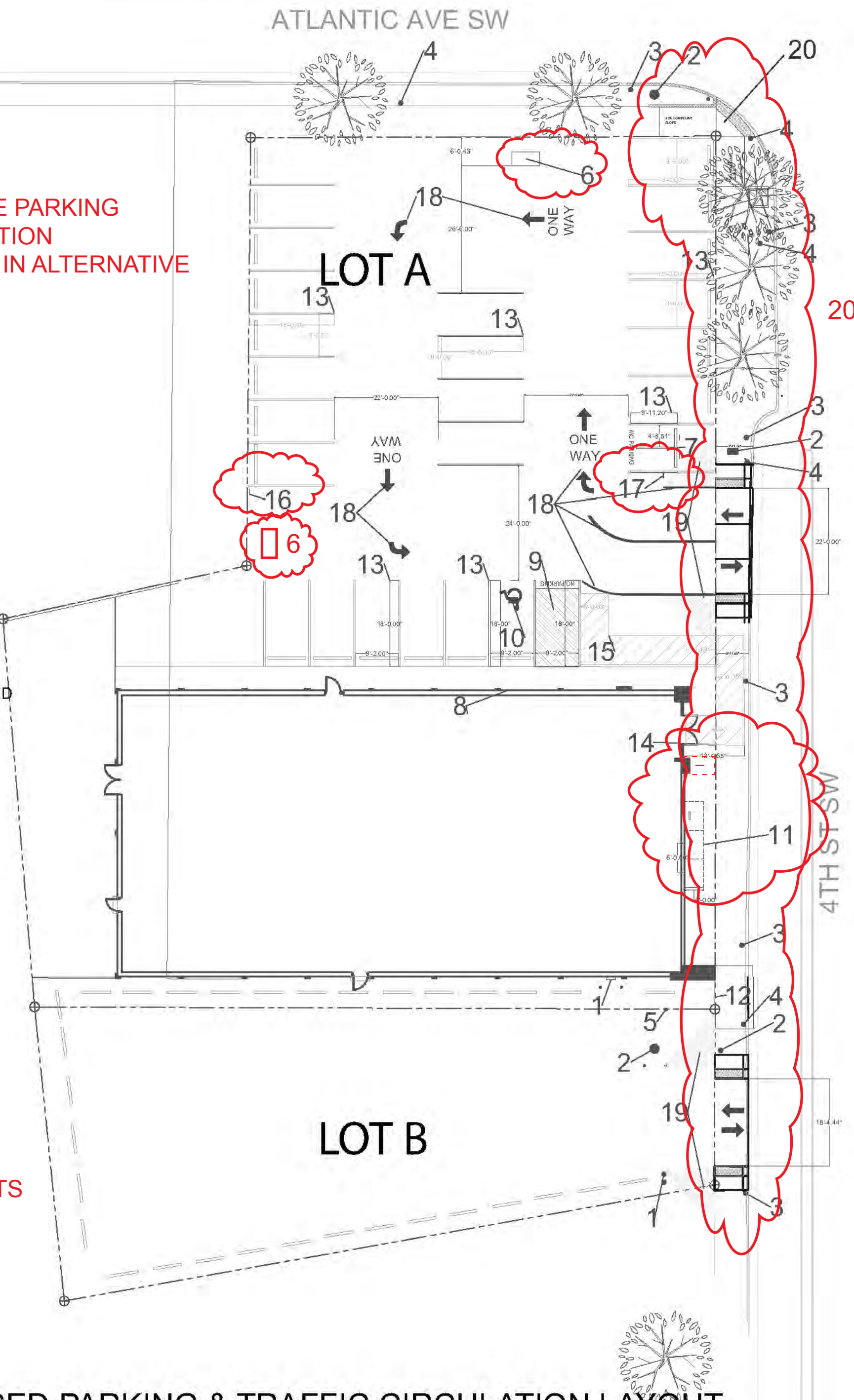


EXHIBIT A.



PROPOSED PARKING & TRAFFIC CIRCULATION LAYOUT
PROPERTY LOT A & B
SCALE 1"= 20'

DRAWING TITLE & SCALE:		ARCHITECT:	LOCATION:	CLIENT:	PROJECT NO:	1	DRAWING SHEET NO:			
TRAFFIC CIRCULATION LAYOUT- DIMENSIONS, EXISTING PARKING AND TRAFFIC LAYOUT, & PROPOSED LAYOUT- LOT A & B SCALE 1"= 20'					DRAWN BY:	KM				
					CHECKED BY:	PG				
					DATE:	1/21/2022				
					TCL002		1 OF 1			