

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

January 21, 2022

Phillip B Gallegos, RA
Acequia Architects, LLC
431 E Orman Ave.
Pueblo, CO 81004

Re: El Encuentro Community Center
907 4th St. NW
Traffic Circulation Layout
Architect's Stamp 01-20-222 (K14-D121)

Dear Mr. Gallegos,

The TCL submittal received 01-21-2022 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Jeanne Wolfenbarger

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2015)

Project Title: EL ENCuentRO IMMIGRANT COMMUNITY CENTER Building Permit #: BP-2021-31153 Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LT A PLAT OF LOTS A & B ATLANTIC & PACIFIC ADDITION CONT 0.459 AC

City Address: 907 4TH ST SW, ALBUQUERQUE NM 87102

Applicant: ACEQUA ARCHITECTS Contact: PHIL CALLEGOS

Address: 431 E CORMAN AVE, PUEBLO, CO 81004

Phone#: (303) 883-9286 Fax#: _____ E-mail: ACEQUA.ARCHITECTS@gmail.com

Other Contact: RON ROMERO INC Contact: RON ROMERO

Address: 511 MARBLE NW, ALBUQUERQUE NM 87102

Phone#: (505) 269-5383 Fax#: _____ E-mail: RONROMEROINC@gmail.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes _____ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 01/20/22 By: PHILIP CALLEGOS 1.20.22

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

IDO Parking and Zoning Review
Parking and Traffic Circulation Layout
November 2020 Edition
Amended April 2021

IDO Zone District Designation: MX-L Mixed Use Low Intensity 2-4(B)
Barelas Character Protection District Overlay (CPO-1)

LEGAL DESCRIPTION
LT A PLAT OF LOTS A & B ATLANTIC & PACIFIC ADDITION
CONT 0.4898 AC

Site Information
Parcel Area: 0.489 Acres
No building additions or exterior building changes

SECTION 2-4(B) MX-L
Building Height: 38 Feet Maximum and 18 Feet actual to highest point

SECTION 3 OVERLAY
Section 3-4(B) Barelas CPO-1
MX-L Front, Rear, Side Minimum: 0 feet
Section 3-4(E) 1 East Downtown CPO-4
Not applicable Out of Area

SECTION 5-5 PARKING AND LOADING
Table 5-5-1

Permissive uses Civic and Institution
Community Center: 2 Spaces per 1000 square feet GFA Building Area
Building Area: 60 feet x 120 feet OR 7200 GSF
Required Parking:
(7200 GSF/1000 GSF x 2 spaces) OR 14.4 Spaces

14 CAR SPACES MINIMUM REQUIRED

Motorcycles:
Section 5-5D(1) Table 5-5-4
Required Off-street parking 1-25
1 Motorcycle Space Required

ADA Accessible Parking Spaces Required:
ADA Regulation Table 208.2 Parking Spaces
Total Number of Parking Spaces Required:
1-25 Spaces
Minimum Number of Required Accessible
Parking Spaces: 1

Bicycles:
Section 5-5E(1) Table 5-5-5
Required Nonresidential Uses
3 Spaces or 10% of Required
3 Spaces Required

Total Number of Accessible Parking Spaces
Provided: 1

SECTION 4-2-1 PERMITTED USES

Current: Civic Uses

Religious Permissive Primary 4-3(C)(9)

Proposed: Civic Uses

Community Center Permissive Primary 4-3(C)(1)

Same size limits required of Religious Institutions
Public Notice Use Change not required

SECTION 5-1-2 Mixed Use Zoning Dimension Standards

Table 5-1-2 Setbacks

Front: 5 Feet Required and 5-foot actual provided from
4th Street SW

Side Interior: 5 feet COMPLIES

Side Street: 15 feet COMPLIES

Rear: 15 Feet Main Building complies, Overhead Deck
within 15 feet

TOTAL PARKING SPACES REQUIRED:

14 SPACES

Existing Parking Zone Lot A Paved
28 Car Spaces
2 ADA Accessible Car Parking

Proposed Parking Zone Lot A Paved

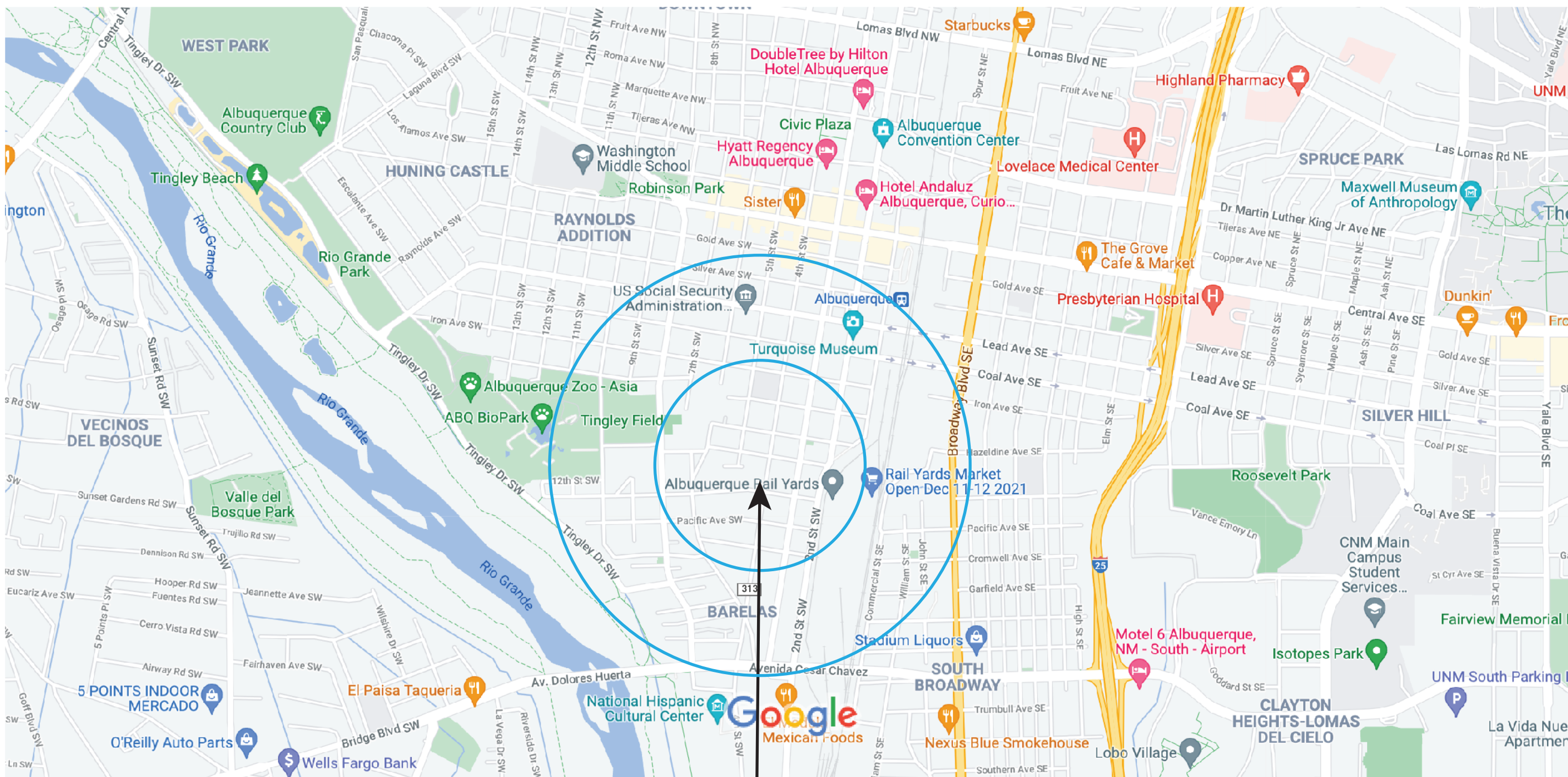
23 Car Parking
1 ADA Accessible Car Parking
2 Motorcycle Spaces
3 Bicycle Rack

SECTION 5-6 LANDSCAPE BUFFERING SCREENING
Barelas Improvement District Streetscape: Existing and
Neighborhood Review

Section 5-6 (B) (4) Applicability
Renovation Permit is less than \$500,000: Exempt

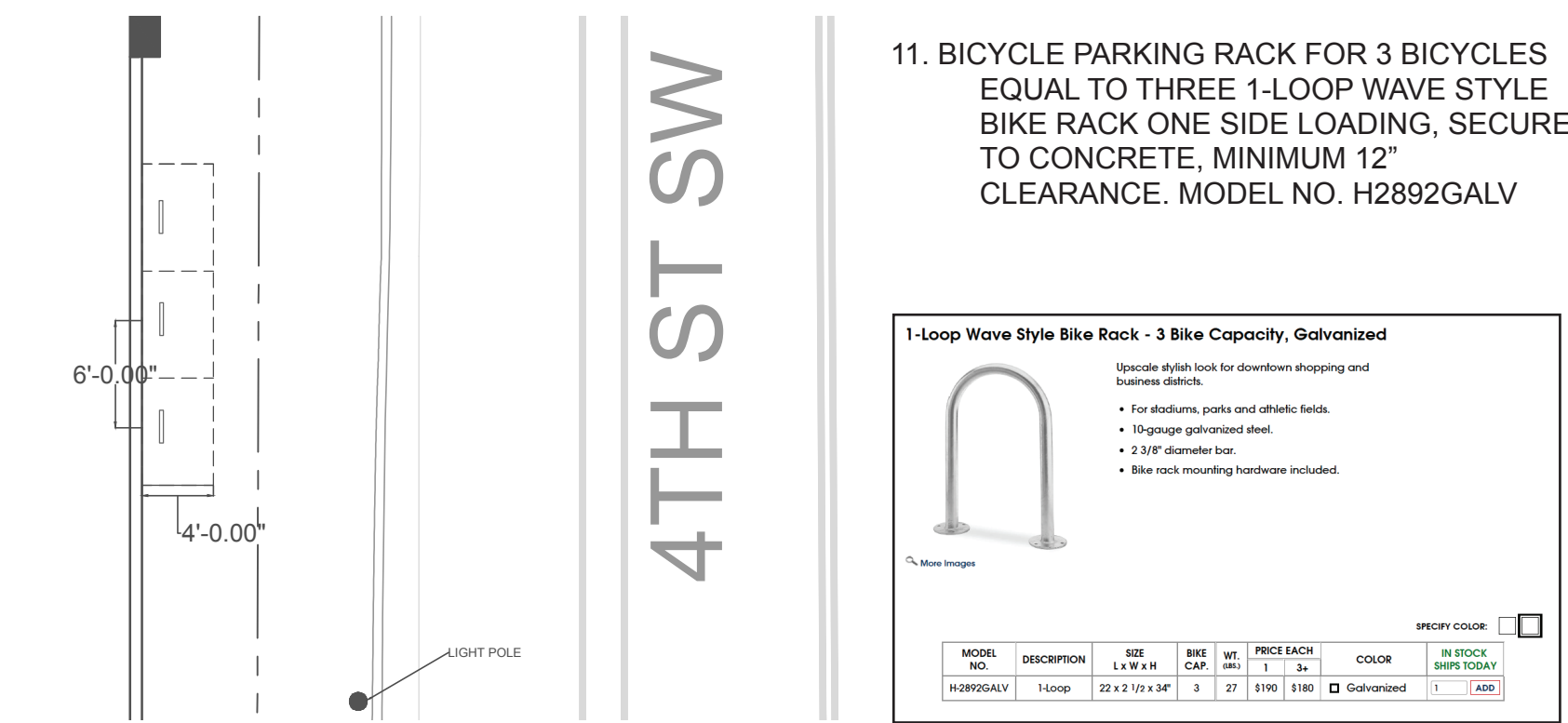
TRAFFIC CIRCULATION LAYOUT APPROVED
01/22/2022

Juanne Wolfenbarger

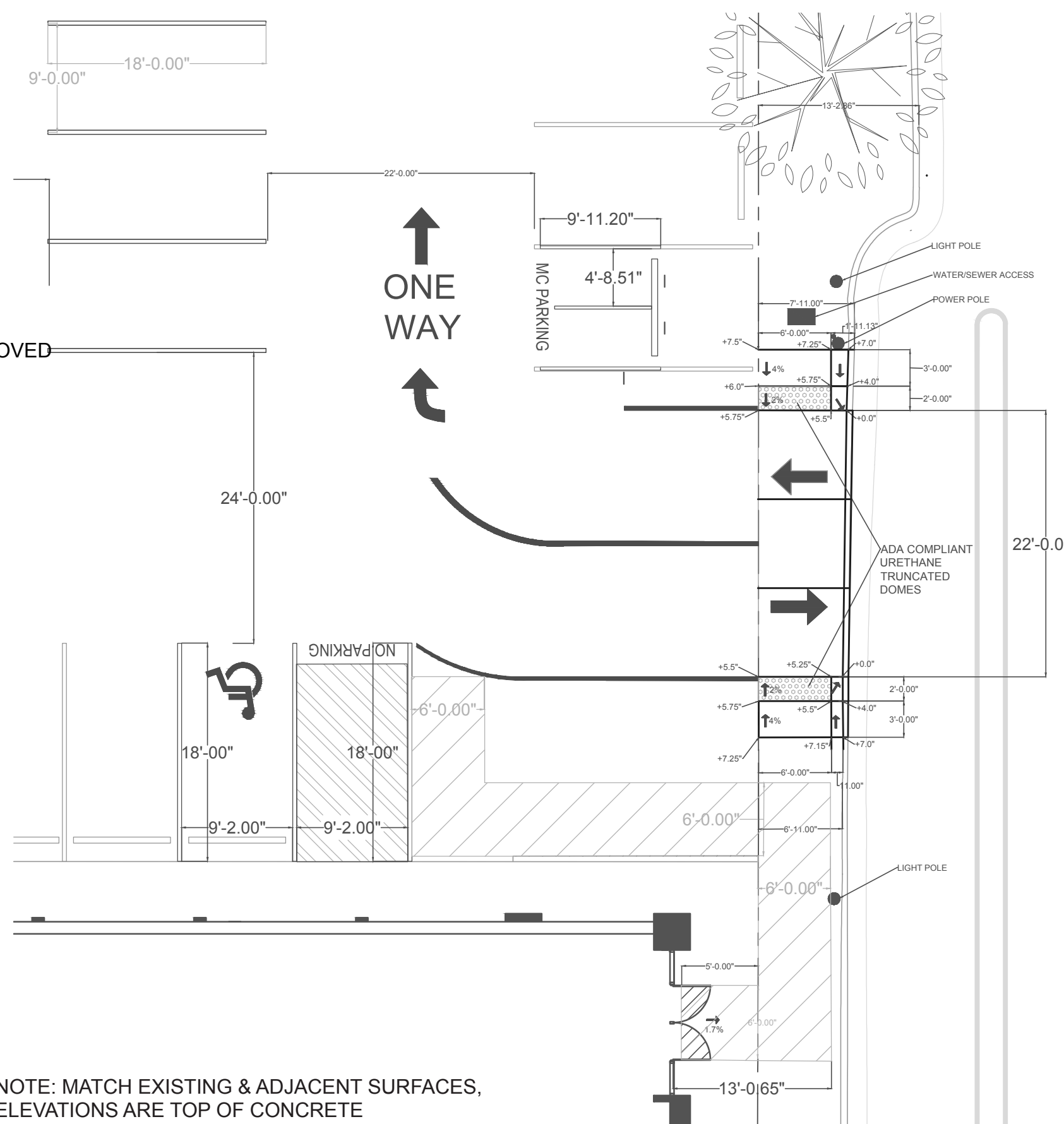


907 Fourth St. SW
Albuquerque, NM 87102

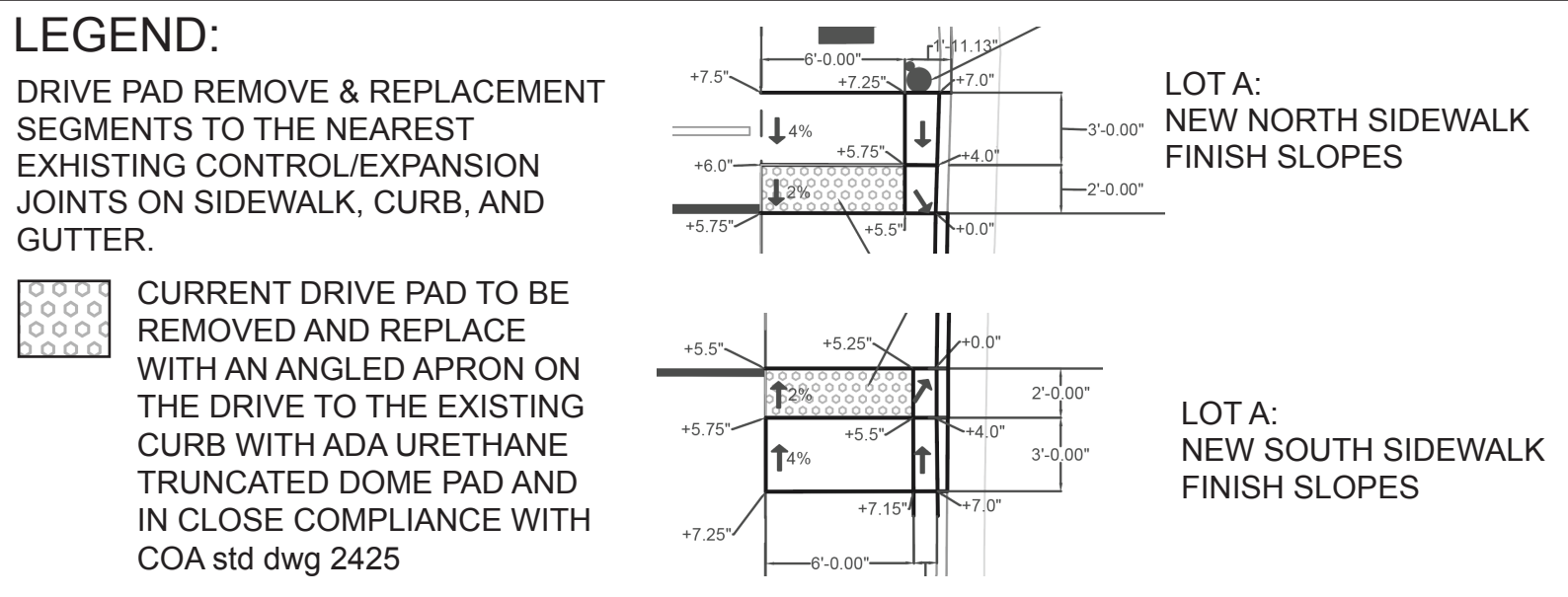
Map data ©2021 1000 ft



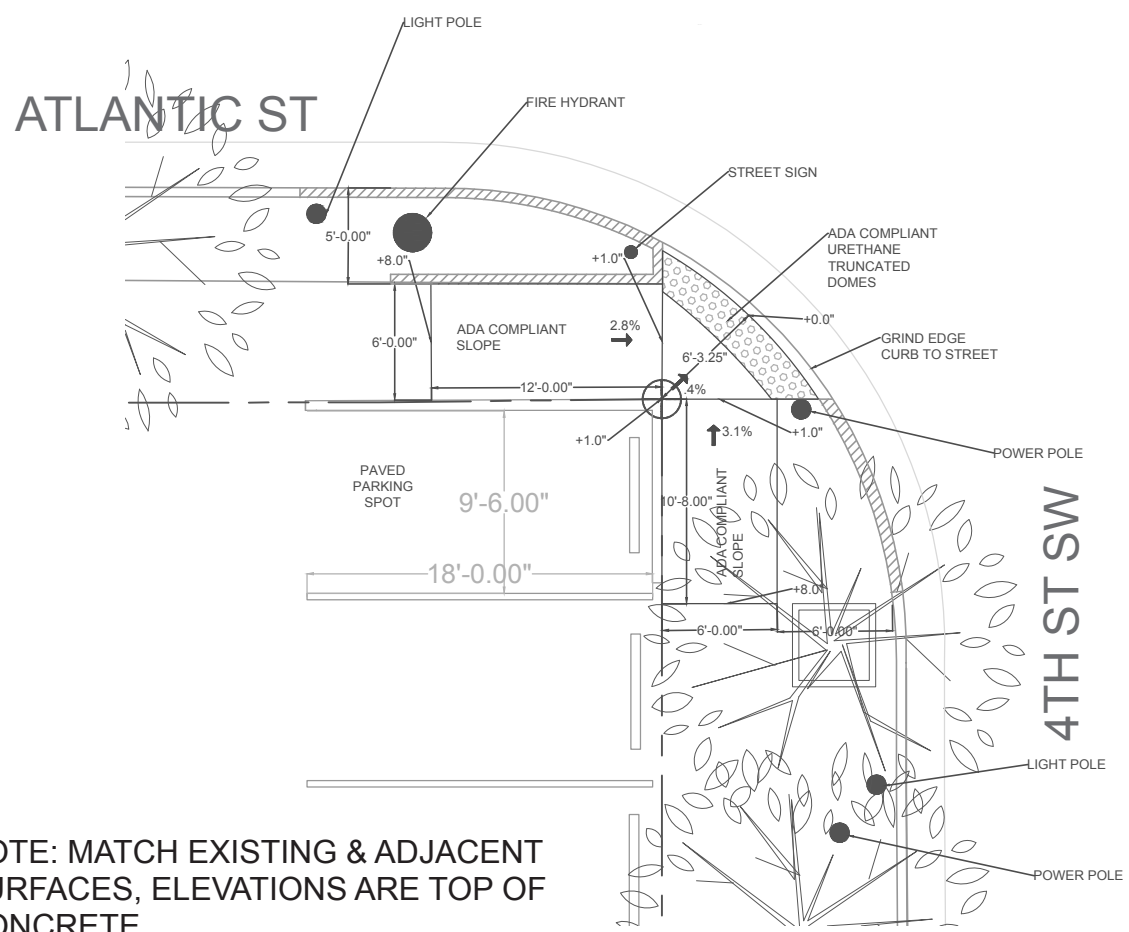
BICYCLE RACK REQUIREMENTS: 3 BICYCLES
SCALE 1" = 10'



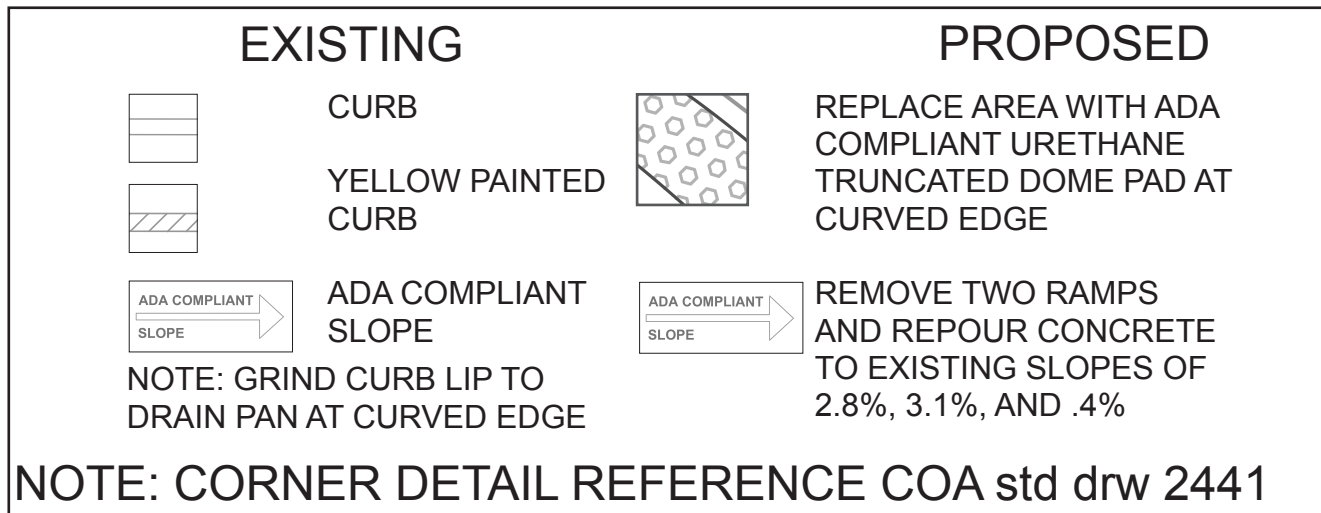
NOTE: MATCH EXISTING & ADJACENT SURFACES,
ELEVATIONS ARE TOP OF CONCRETE



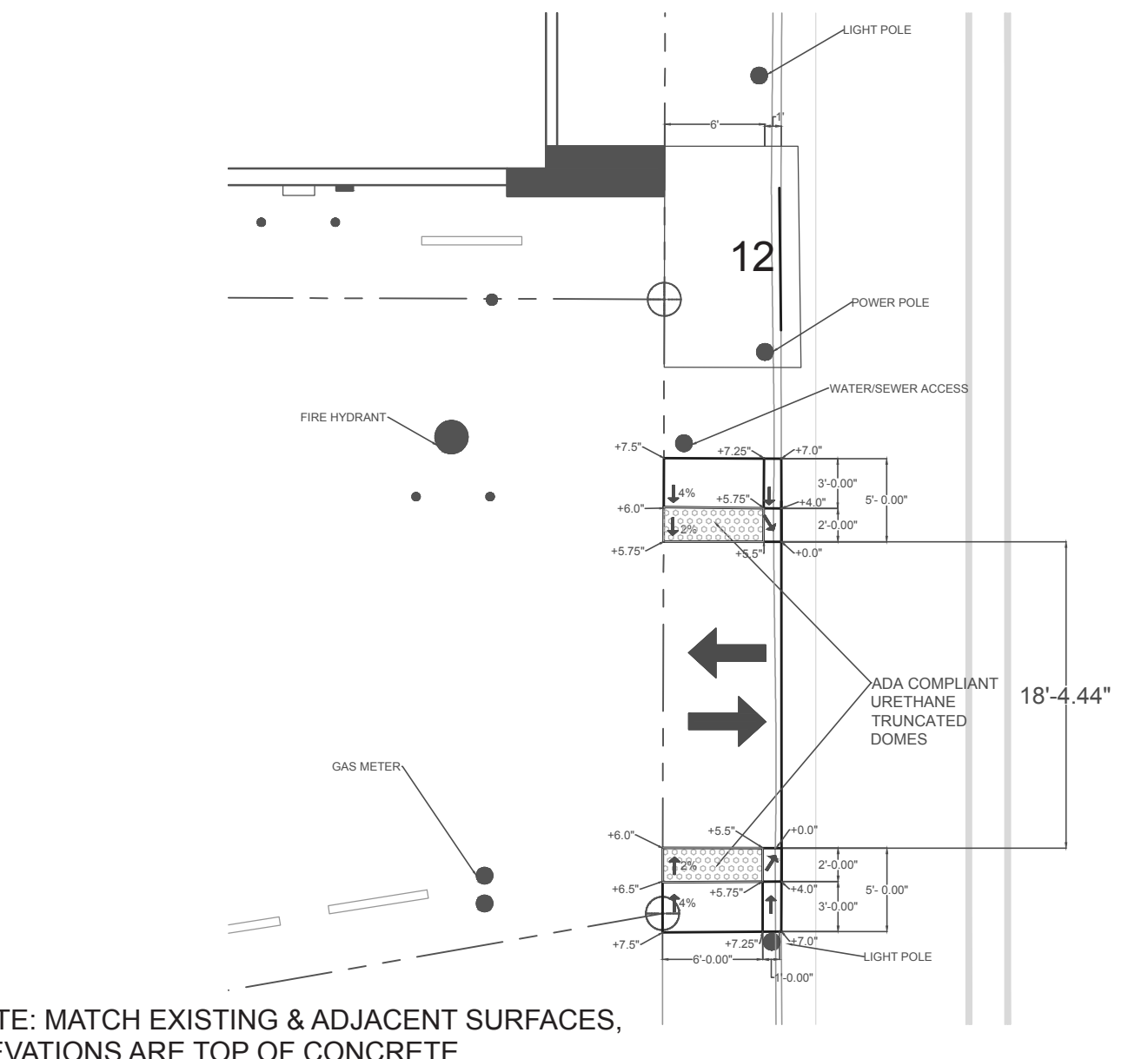
PROPOSED DRIVEWAY- LOT A
SCALE 1" = 10'



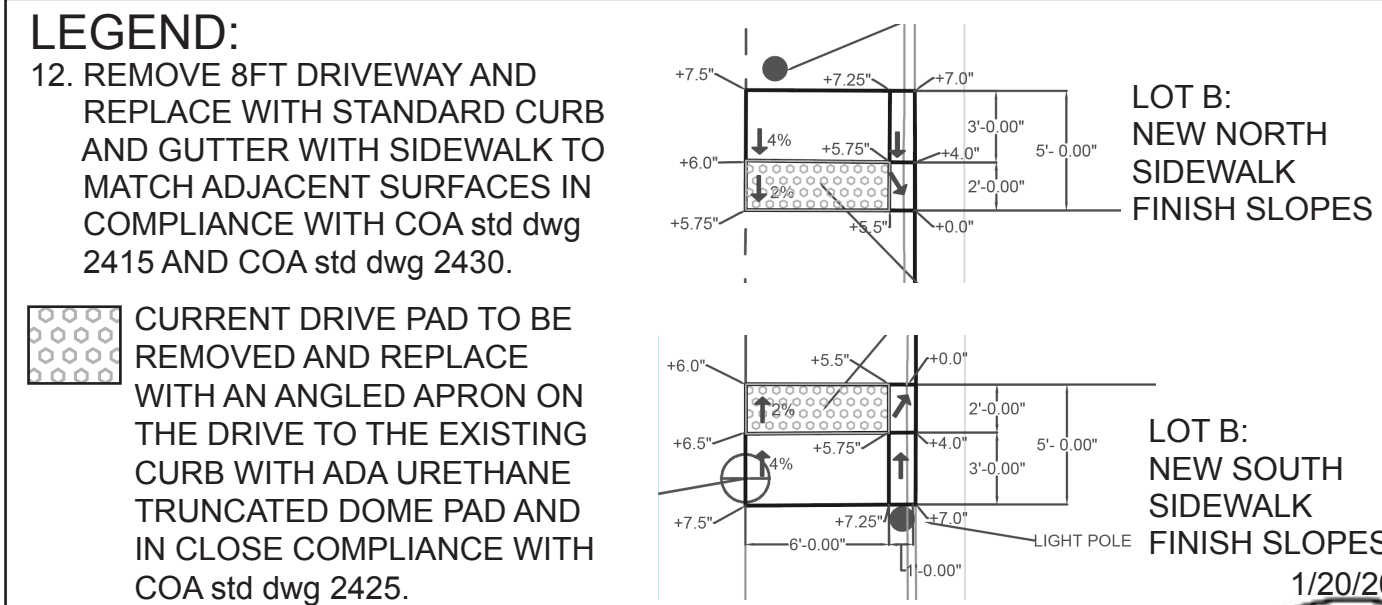
NOTE: MATCH EXISTING & ADJACENT
SURFACES, ELEVATIONS ARE TOP OF
CONCRETE



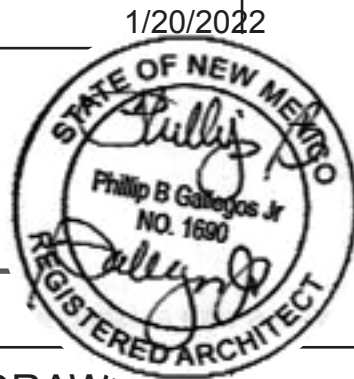
EXISTING/ PROPOSED CORNER
SCALE 1" = 10'



NOTE: MATCH EXISTING & ADJACENT SURFACES,
ELEVATIONS ARE TOP OF CONCRETE

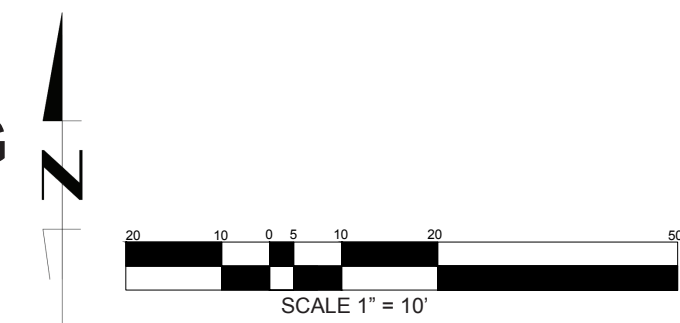


PROPOSED DRIVEWAY- LOT B
SCALE 1" = 10'



DRAWING TITLE & SCALE:

IDO PARKING AND ZONING
REVIEW, DESIGN
DETAILS



TCL RESPONSE #1:

TRAFFIC CIRCULATION LAYOUT

ARCHITECT:

Acequia Architects, LLC
Acequia.architects@gmail.com
303-883-9286

LOCATION:

907 4th Street SW
Albuquerque, NM 87102

CLIENT:



PROJECT NO:

1

DRAWN BY:

KM

CHECKED BY:

PG

DATE:

1/20/2022

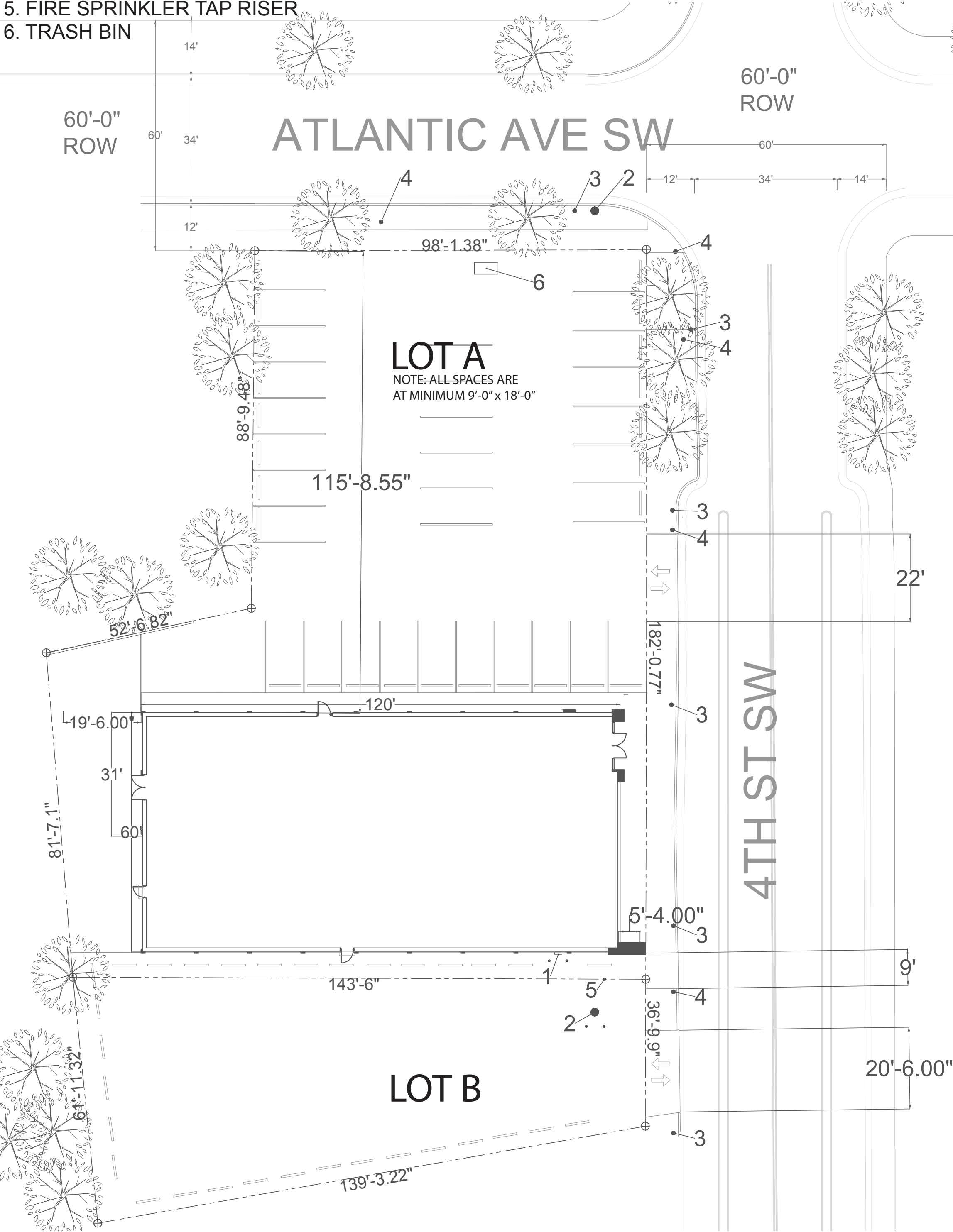
DRAWING
SHEET NO:

TCL 001

1 OF 1

LEGEND:

- 1. GAS METER
- 2. FIRE HYDRANT/SEWER/ WATER ACCESS
- 3. STREET LIGHT POLE
- 4. OVERHEAD ELECTRICAL POLE
- 5. FIRE SPRINKLER TAP RISER
- 6. TRASH BIN



EXISTING PARKING AND TRAFFIC LAYOUT
PROPERTY LOT A & B
SCALE 1"= 20'

PROPOSED CHANGES:

- 7.MOTORCYCLE PARKING 4.5+ FEET WIDE WITH 12"X18" "MOTORCYCLE PARKING" POLE SIGN AT 60" ABOVE GROUND AND PAINTED SURFACE DESIGNATION WITH MC PARKING
- 8. ADA ACCESSIBLE WALL SIGN 12"X18" WITH HANDICAP UNIVERSAL SYMBOL AND "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" @ 60" ABOVE GROUND- SEE EXHIBIT A.
- 9. ADA ACCESSIBLE AISLE WITH 4" DIAGONAL BLUE PAINTED STRIPPING AT 60* AND SPACED AT 8" BETWEEN STRIPS. PROVIDE 12"X18" WALL SIGN WITH "NO PARKING" AT 60" ABOVE GROUND AND BLUE PAINTED 1' TALL 2" WIDE "NO PARKING" LOCATED AT THE REAR OF THE PARKING SPOT
- 10. ACCESSIBLE PARKING WITH UNIVERSAL HANDICAP SYMBOL PAINTED
- 11. BICYCLE PARKING RACK FOR 3 BICYCLES EQUAL TO THREE 1-LOOP WAVE STYLE BIKE RACK ONE SIDE LOADING, SECURE TO CONCRETE, MINIMUM 12" CLEARANCE. MODEL NO. H2892GALV
- 12. REMOVE 8 FT DRIVEWAY AND REPLACE WITH STANDARD CURB AND GUTTER WITH SIDEWALK TO MATCH ADJACENT SURFACES PER COA STD DWG 2415 AND COA DWG 2430
- 13. MINIMUM PARKING SPACE DIMENSIONS
CAR 9'X18"
MOTORCYCLE 4.5'X18'
HANDICAP 9'X18'
- 14. EXISTING 12' ACCESSIBLE ENTRY ACCESS TO PUBLIC WAY
- 15. EXISTING 6' ENTRY ACCESS PATH TO HC PARKING
- 16. DO NOT ENTER SIGN
- 17. ONE WAY SIGN
- 18. PAVMENT MARKINGS FOR "ONE WAY"
- 19. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3-8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- 20. CORNER DETAIL REFERENCE COA STD DRW 2441.

NOTE: ALL BROKEN OR CRACKED SIDEWALK AND/OR CURB AND GUTTER MUST BE REPLACED EQUAL TO CITY STANDARD COA STD DWG 2430 AND 2415A

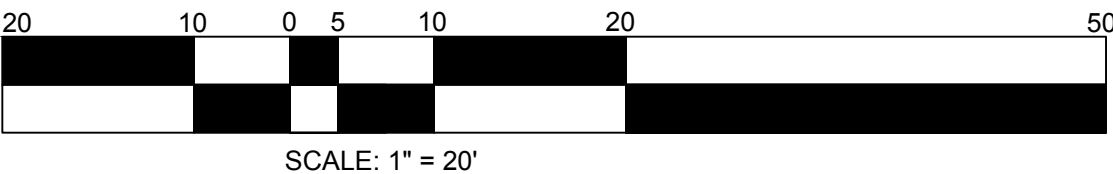
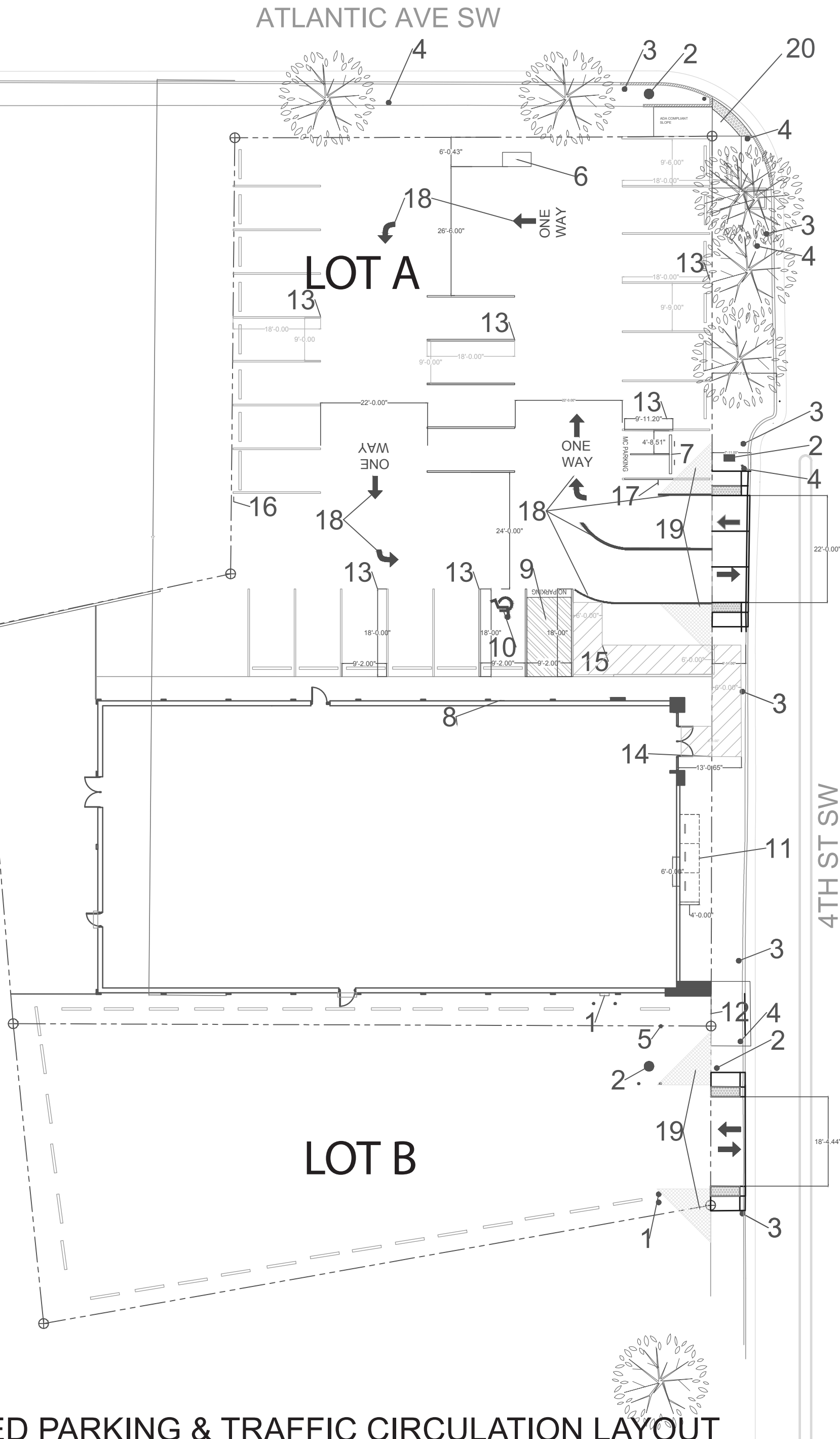
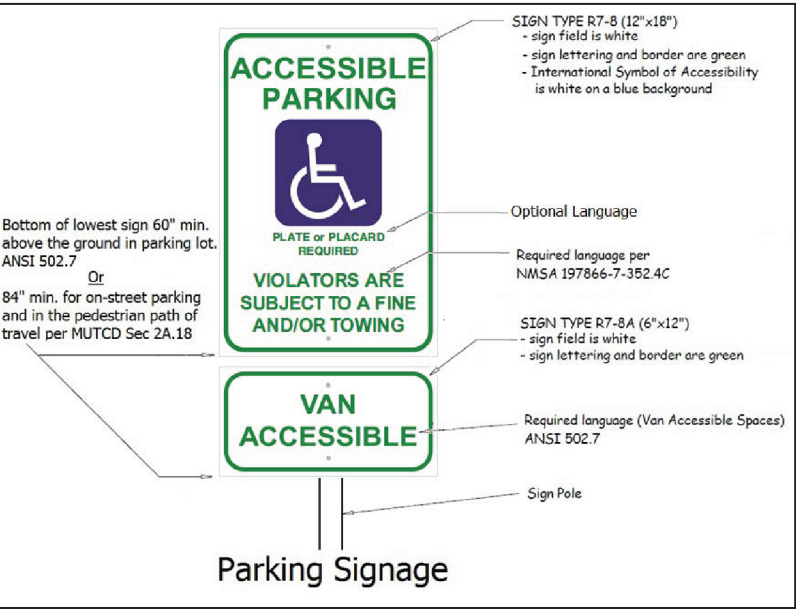


EXHIBIT A.



PROPOSED PARKING & TRAFFIC CIRCULATION LAYOUT
PROPERTY LOT A & B
SCALE 1"= 20'

DRAWING TITLE & SCALE: TRAFFIC CIRCULATION LAYOUT- DIMENSIONS, EXISTING PARKING AND TRAFFIC LAYOUT, & PROPOSED LAYOUT- LOT A & B SCALE 1"= 20'	TRAFFIC CIRCULATION LAYOUT	ARCHITECT: Acequia Architects, LLC Acequia.architects@gmail.com 303-883-9286	LOCATION: 907 4th Street SW Albuquerque, NM 87102	CLIENT: 	PROJECT NO: 1	DRAWING SHEET NO: TCL002 1 OF 1
					DRAWN BY: KM	
					CHECKED BY: PG	
					DATE: 1/21/2022	