

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

April 23, 2020

Don Briggs, P.E.
Don Briggs Engineering, LLC
5324 Oakledge Ct. NW
Albuquerque, NM 87120

RE: 220 Hazeldine SE
Grading & Drainage Plan
Engineer's Stamp Date: 04/16/20
Hydrology File: K14D222

Dear Mr. Briggs:

Based upon the information provided in your resubmittal received 04/16/2020, the Grading & Drainage Plan is approved for Building Permit and Grading Permit.

PO Box 1293

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

Albuquerque

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

NM 87103

www.cabq.gov

Also as a reminder, please provide a Drainage Covenant for the proposed stormwater quality pond per Chapter 17 of the DPM prior to Permanent Release of Occupancy. Please submit this on the 4th floor of Plaza de Sol. A \$25 fee will be required.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



April 16, 2020

Ms. Renee Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department
City of Albuquerque
600 2nd St. NW
Albuquerque, NM 87102

RE: 220 Hazeldine
Grading & Drainage Plan (Stamp Date 3/26/20)
Hydrology File: K14D222

Dear Ms. Brissette:

The following information lists our responses to your comments on this case of March 27th, 2020.

1. Please provide the weir calculations, per DPM Chapter 22.3.A.1, for the 3"x 6" opening in the CMU wall (turn block). A coefficient of 2.7 is typically used for the weir equation $Q = CLH^{2/3}$. *This information has been added to the plan for the 8" by 8" pond overflow wall opening. The 3" x 6" openings have been removed.*
2. Please provide a typical detail for the turned CMU block. This block needs to be at least four (4) inches above the proposed grade to avoid clogging. *The wall with turn blocks has been converted to a small header curb (see Detail 3).*
3. Provide sections through the proposed retaining walls along the Western property line and along Broadway, showing the footer, distance from the property/ROW lines, existing and proposed grades on either side of the wall. In accordance with DPM Ch.22, section 5 part B, grading and wall construction near the property line may not endanger adjacent property or constrain its use. *Sections have been provided. The wall along the western property line will be constructed on the property line.*
4. If the proposed retaining wall will create such an encroachment, written agreement from both landowners must be provided for such work. Written permission must include: signature of the property owner or owners representative, statement that undersigned is the owner or authorized representative, permission to construct the encroachment with a brief description of the encroachment. *Verbal permission has been secured. Written permission will be provided to you when it is received.*
5. *Noted. Thank you.*
6. *Noted. Again, thank you.*

Sincerely

Don Briggs PE CFM
Don Briggs Engineering LLC
505-249-4843

Owner: Eustacia H. Ucharin
P.O. Property at 202 Hazel dene Ave. S.E.

To: Mia

I give my consent to remove the fence for entry to your property, during the time of your building, and replacing the fence after finishing all the work as it was when started.

I also take no responsibility for theft or injuries to your employees; also no decision.

Also the driveway cleared at all times. =
no parking beyond the entry to your lot.

Eustacia H. Ucharin

April 23, 2020

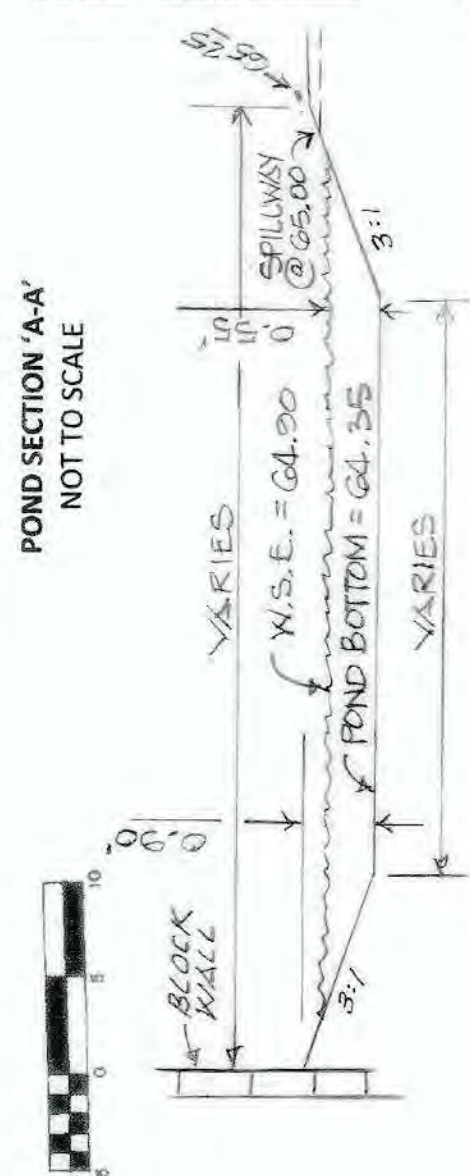
A-1 PRECIPITATION ZONES

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

ZONE	LOCATION
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Edwards, North of Interstate 40; and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Edwards, North of Interstate 40; and East of the East boundary of Range 1 East, South of Interstate 40

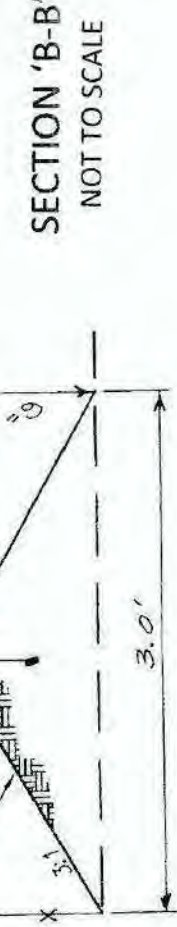
STORM WATER QUALITY POND
(TOTAL VOLUME REQUIRED)
PROPOSED: $7' \times 1,948.0 \text{ SQ. FT.}$
 $0.34' (0.03') \times 1,948.0' = 58.4 \text{ CU. FT.}$

POND SECTION 'A-A'
NOT TO SCALE



RETENTION POND VOLUME:

REQUIRED VOLUME: 58.4 CU. FT.
PROVIDED VOLUME: 68.3 CU. FT.
(MEAN) $7.0' \times 15.0' = 105.0 \text{ S.F.} \times 0.65' (D=8'') = 68.3 \text{ CU. FT.}$



NOTE: THE FOOTPRINT OF THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN HEREON ARE PER THE PROJECT ARCHITECT'S 'SITE PLAN' DATED FEBRUARY 02, 2020.

- PROVIDE NEW 13.0" WIDE CURB CUT - DRIVEPAD PER C.O.A. STD. DWG. # 2425.
- REMOVE EXISTING CONCRETE DRIVE PAD.
- PROVIDE NEW SIDEWALK (STD. DWG. # 2430).
- PROVIDE NEW CURB AND GUTTER (STD. DWG. # 2415-A).

WEIR CALCULATION:
8" X 8" OPENING IN CMU BLOCK WALL (1/2 BLOCK)
Weir
 $Q = C_d L \sqrt{2g} H^{3/2}$
Use 1/2 CMU opening
 $Q = (12.7)(0.57)(0.57)^{3/2}$
 $= 0.99 \text{ cfs capacity vs. } 0.25 \text{ cfs required}$

Treatment	Land Condition
A	Soil unprotected by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical grasslands and riparian areas. Typical erosion control measures include mulch, straw, and erosion control blankets. Typical erosion control measures include mulch, straw, and erosion control blankets.
B	Soil unprotected by human activity with 10 to 20 percent slopes. Native grasses, weeds and shrubs, and soil unprotected by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil unprotected by human activity. Minimal vegetation. Native grasses, weeds and shrubs, and soil unprotected by human activity with slopes greater than 10 percent and less than 20 percent. Typical erosion control measures include mulch, straw, and erosion control blankets. Typical erosion control measures include mulch, straw, and erosion control blankets.
D	Impervious areas, pavement and roofs. Treatments, untreated respective surfaces. In list of specific measurement for treatment D, the area percentages in TABLE A-5 may be supplied.

Zone	A	B	C	D
1	1.29 (0.00, 0.24)	2.03 (0.00, 0.16)	3.39 (0.00, 0.07)	4.37 (0.00, 0.00)
2	1.56 (0.00, 0.30)	2.28 (0.00, 0.19)	3.14 (0.00, 0.07)	4.70 (0.00, 0.00)
3	1.86 (0.00, 0.38)	2.50 (0.00, 0.19)	3.42 (0.00, 0.07)	5.02 (0.00, 0.00)
4	0.05 (0.00)	0.38 (0.00)	1.00 (0.00)	1.17 (0.00)

DRAINAGE COMMENTS:
AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF BROADWAY BLVD. S.E. AND HAZELDINE AVENUE S.E. IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. (ZONE ATLAS MAP 'K-14-Z').

THE SUBJECT SITE, 1, IS PRESENTLY A VACANT PROPERTY THAT IS TO HAVE AN DUPLEX RESIDENTIAL BUILDING AND ASSOCIATED IMPROVEMENTS CONSTRUCTED THEREON. 2, DOES NOT ACCEPT OFFSITE FLOWS FROM ADJACENT PROPERTIES. 3, DOES CONTRIBUTE OFFSITE FLOWS TO THE PROPERTY LIVING WEST OF AND ADJACENT TO THE SUBJECT PROPERTY BEING DEVELOPED AS SHOWN ON THE PLAN HEREON. NEW DEVELOPED FLOWS WILL BE DIRECTED TO PROPOSED ONSITE POND, 1, IS NOT LOCATED WITHIN A FEMA 'A' FLOODPLAIN AREA. (FEMA F.I.M.A. FORM PANEL MAP NO. 35001C0334G, ZONE 'X', MAP DATE: SEPTEMBER 26, 2008.)

PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

LAND TREATMENT METHOD FOR CALCULATION OF "Qp", TABLES 'A-8' & 'A-9'.

LAND TREATMENT FACTORS: TWO (2)

PRECIPITATION ZONE: TWO (2)

SITE AREA: 0.06 ACRE

PRECIPITATION: 360 = 2.35 IN.

1040 = 2.75 IN.

1040 = 2.75 IN.

EXCESS PRECIPITATION:

TREATMENT A: 0.53 IN.

TREATMENT B: 0.78 IN.

TREATMENT C: 1.13 IN.

TREATMENT D: 2.12 IN.

EXISTING CONDITIONS:

TREATMENT A: 0.00 AC.

TREATMENT B: 0.00 AC.

TREATMENT C: 0.06 AC.

TREATMENT D: 0.00 AC.

EXISTING EXCESS PRECIPITATION:

WEIGHTED $Q_p = (0.53) \times (0.00) + (0.78) \times (0.00) + (1.13) \times (0.06) + (2.12) \times (0.00) / 0.06$

$= 1.13 \text{ IN.}$

V100-360 = $(1.13) \times (0.06) / 12 = 0.00565 \text{ AC. FT.} = 246.1 \text{ CU. FT.}$

EXISTING PEAK DISCHARGE:

$Q_{100} = (1.58) \times (0.00) + (2.28) \times (0.00) + (3.14) \times (0.06) + (4.70) \times (0.00) = 0.19 \text{ CFS}$

PROPOSED EXCESS PRECIPITATION:

WEIGHTED $Q_p = (0.53) \times (0.00) + (0.78) \times (0.00) + (1.13) \times (0.02) + (2.12) \times (0.04) / 0.06$

$= 1.79 \text{ IN.}$

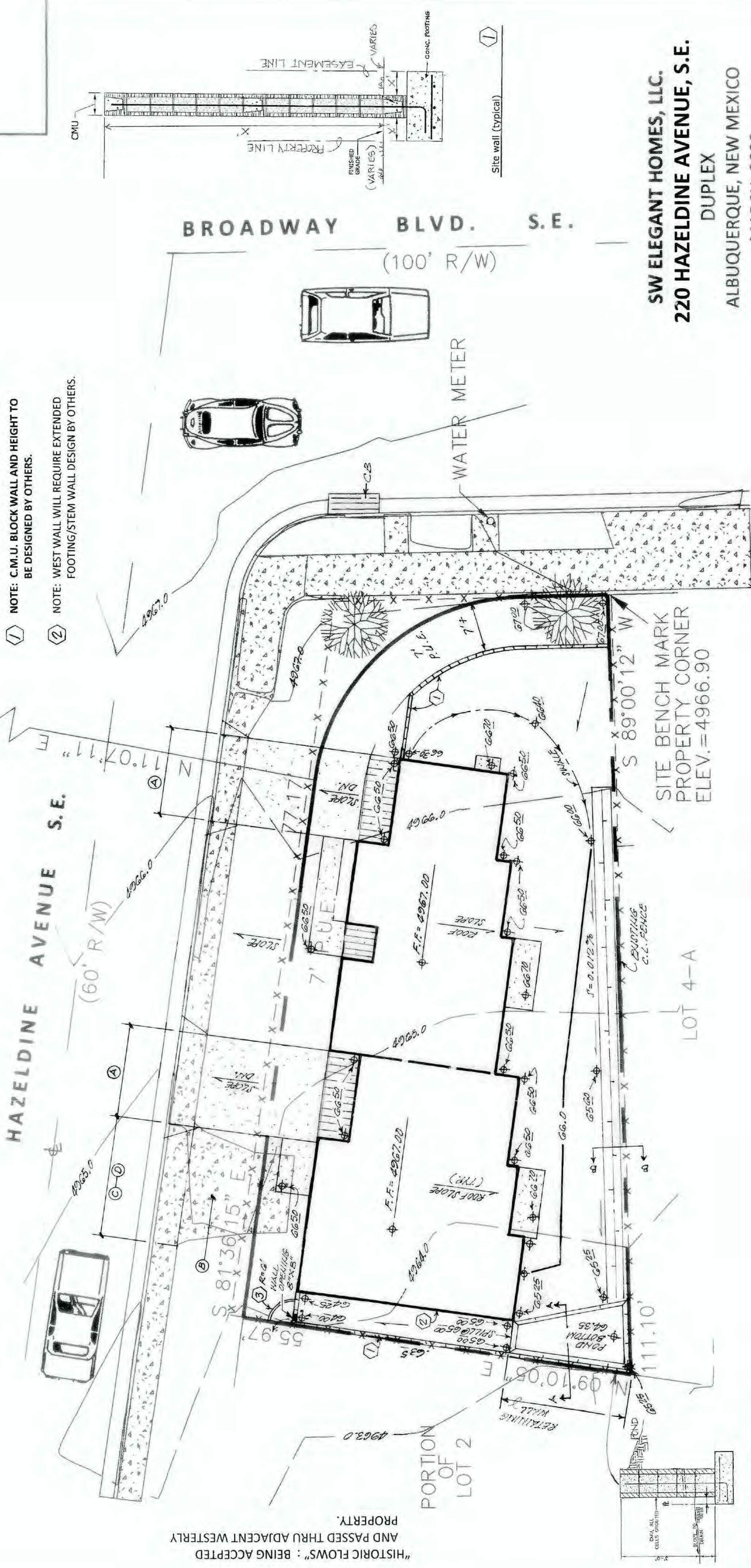
V100-360 = $(1.79) \times (0.06) / 12 = 0.00895 \text{ AC. FT.} = 389.9 \text{ CU. FT.}$

PROPOSED PEAK DISCHARGE:

$Q_{100} = (1.58) \times (0.00) + (2.28) \times (0.00) + (3.14) \times (0.02) + (4.70) \times (0.04) = 0.25 \text{ CFS}$

NOTE: C.M.U. BLOCK WALL AND HEIGHT TO BE DESIGNED BY OTHERS.

NOTE: WEST WALL WILL REQUIRE EXTENDED FOOTING/STEM WALL DESIGN BY OTHERS.



SW ELEGANT HOMES, LLC.
220 HAZELDINE AVENUE, S.E.
DUPLEX
ALBUQUERQUE, NEW MEXICO
MARCH, 2020

GENERAL NOTES

GENERAL NOTES:

- NO PERMANENT BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

PROPOSED CONSTRUCTION MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING THE CONSTRUCTION. HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERM, Dikes, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM ALL SEDIMENT FROM BUILDING THAT HAS BEEN GRADUED FROM THE SUBJECT SITE AND DEPOSITED THEREON.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM BUILDING THAT HAS BEEN GRADUED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

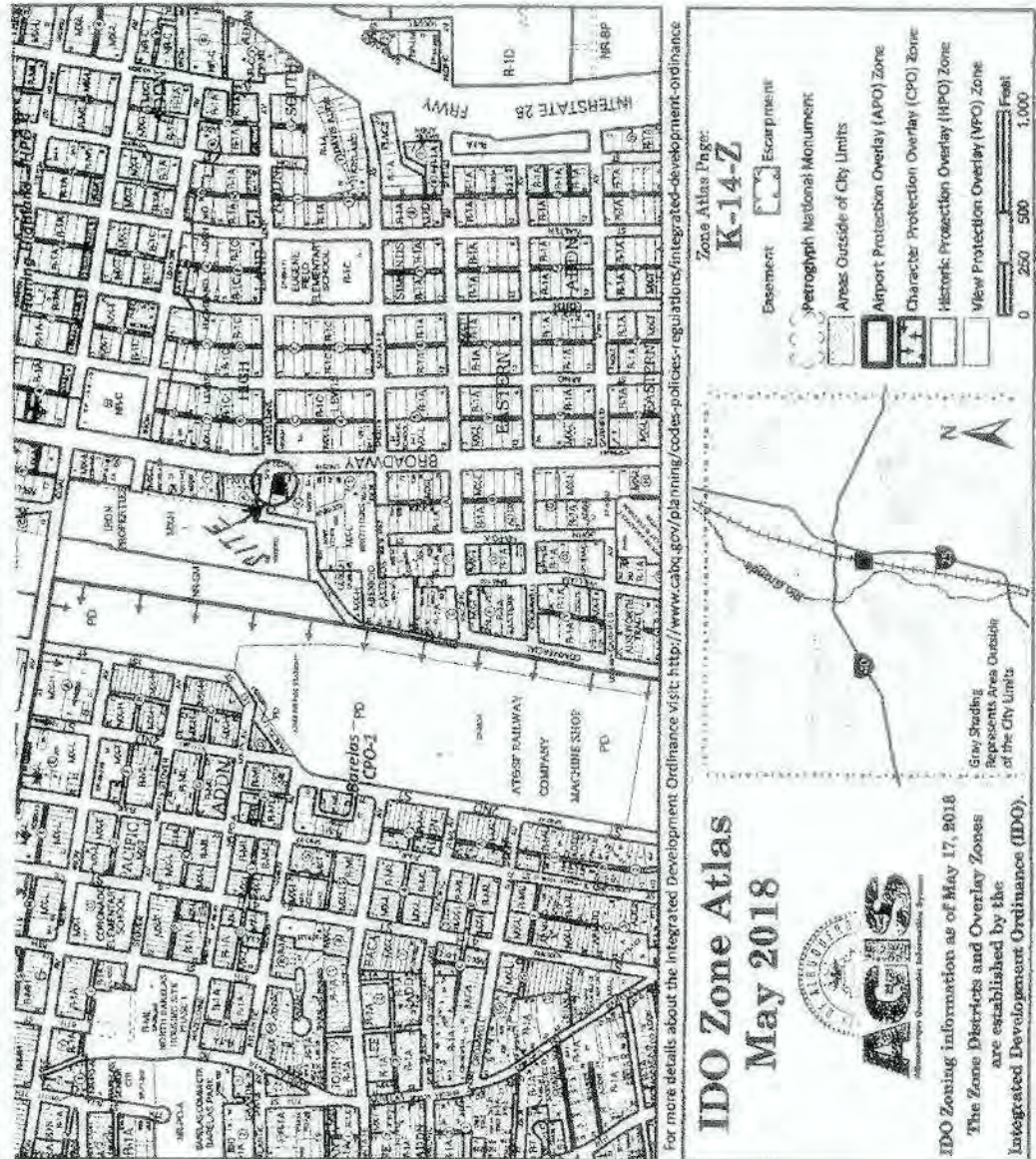
CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 266-1996 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL SUB-SURFACE UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE IN ACCORDANCE WITH THE ALBUQUERQUE PUBLIC STREET RIGHT-OF-WAY(S) STANDARDS AND PROCEDURES.

NOTE: TOPOGRAPHY SURVEY AND MAP PROVIDED BY SANDIA LAND SURVEYING, LLC, ANDREW S. MEDINA, N.M.P.L.S. NO. 12649, 12-14-2020.

ROOF DRAIN GUTTERS TO DOWNSPOUTS WITH CONCRETE SPASH BOXES (TO DISSIPATE FLOW ENERGY) SHOULD BE REQUIRED ALONG THE BACK SIDE OF BUILDING STRUCTURE. (LOCATIONS TO BE DETERMINED BY PROJECT ARCHITECT).

VICINITY MAP NO. IDO ZONE ATLAS 'K-14-Z'



FEMA FIRM PANEL NO. 35001C0334G



LEGAL DESCRIPTION

LOT '4-B' IN BLOCK 'K', HIGHLAND ADDITION SOUTH, TO THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

PERMANENT BENCHMARK

ACS STATION '6 K14B', ELEVATION = 4971.456, (NAVD 1988); PROJECT T.B.M. AS SHOWN ON THE PLAN HEREON.

GRADING CERTIFICATION

Prior to Building permit approval a Pad Certification will be required, provided by the Engineer or a registered Land Surveyor.

REVISIONS

project title	SW ELEGANT HOMES, LLC.
sheet title	220 HAZELDINE AVENUE, S.E. DUPLEX
sheet date	07-02-20
design by	01944
sheet no.	01944
sheet	of



3'-0" RETAINING WALL DETAIL

SCALE TYPE



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____