Existing 6' Sidewalk

Existing Landscape Strip

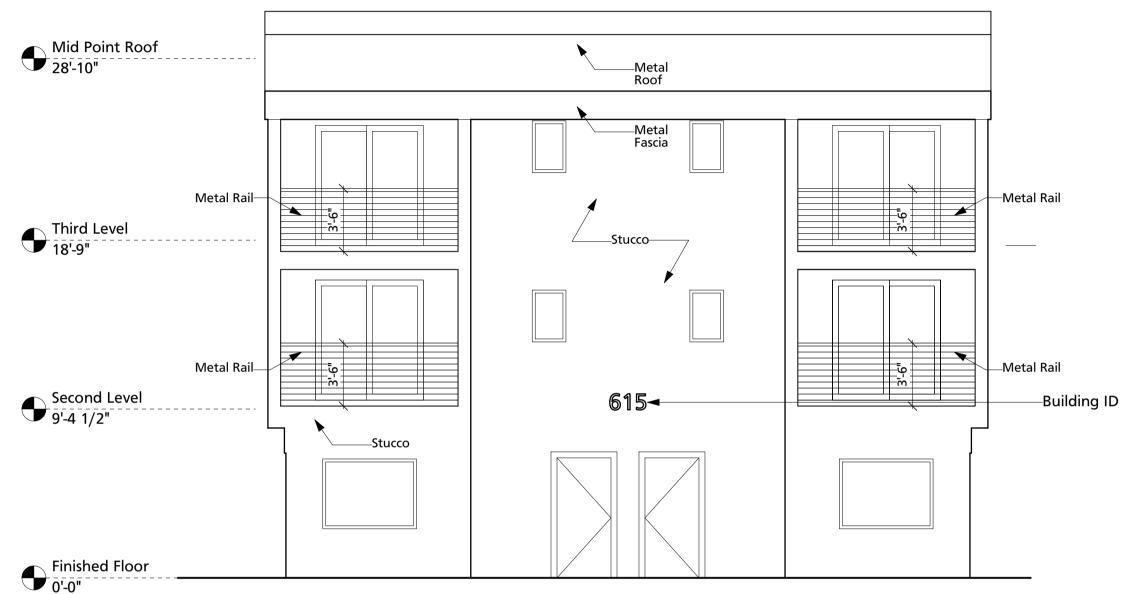
2 On Street Parking Spaces Iron Blvd. 30 R.O.W.

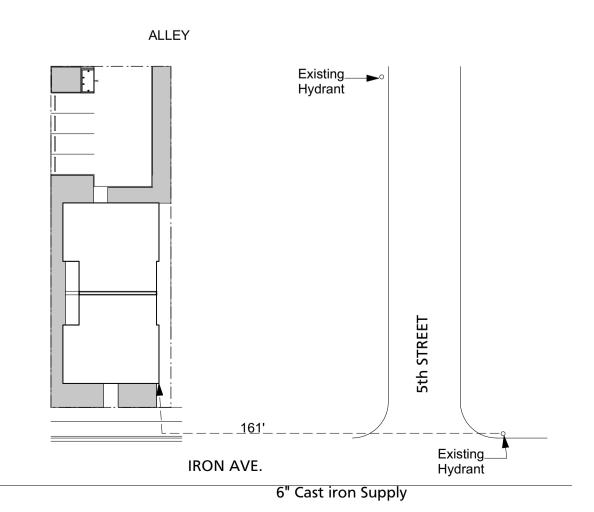
Sprinkler System:
1) Shop drawings will be submitted to the fire marshal's office for review and approval of any installation or modification to fire sprinkler system, fire alarm system, kitchen suppression system, or any other fire related system.
2) The fire sprinkler system will be supervised when required by the 2015 International fire code.

Parking and drive aisle for fire apparatus access roads shall have an asphalt, concrete, or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds. Contractor to provide engineer data for approval.

All drive aisle curbs to be painted red and marked 'no parking fire lane'.

Kox Box - na No PIV No FDC





Hydrant Locations
Scale: 1" = 40'-0"

Fire Flow Requirements

Building Construction Type Vb Occupancy R-3

Occupancy R-3 6,148 sq.ft. (1,027 sq.ft. largest unit) all units separated by 1 Hr. Construction

Square Footage = sq.ft. Fire Flow = 1,500 GPM - 2 Hr.

1 Hydrant required 250' away

Building #1 Three Story

ALBUQUERQUE FIRE MARSHAL'S CODE DATA **DIVISION OFFICE PLANS** 2015 Intern **CHECKING DIVISION** 2015 Unifo 2015 Unifo 2017 Natio PERMIT NUMBER:FP 21-007331 2018 Interr City of Albuquerque fire marshalls of Face VI accordance with the city

ORDINACE, THE INTERNATIONAL EIRE CODE AND NEPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

FIRE FLOW: FIRE FLOW 1500 GPM 1 HYDRANT V-B 6148 SQFT R-MH Zoning:

Setbacks: Front 15' Side 5' Rear 15'

Height: 48'

Required Open Space: 285 sq.ft. / 2-bedroom 1,991 sq.ft. Ground Level

Unit Size

Unit #1 = 965 sq.ft. Unit #2 = 965 sq.ft. Unit #3 = 1,016 sq.ft.Unit #4 = 1,016 sq.ft.Unit #5 = 1,027 sq.ft.Unit #6 = 1,027 sq.ft.

Parking: 1 space / DU up to 2 bedroom

Total Spaces required ADA NA Townhouse Motorcycle NA Residential Bicycle NA Townhouse

Total Spaces Required = 6 **Total Spaces Provided**

R-3 Occupancy: Construction Type Vb

May 2018

IDO Zoning information as of May 17, 2018

The Zone Districts and Overlay Zones are established by the ntegrated Development Ordinance (IDO).

Project Scope: Construct new 6 unit townhome in single building on a single lot.

Iron 2 9

GENERAL NOTES

A. DO NOT SCALE DRAWINGS

OF ARCHITECT.

B. CONTRACTOR TO COORDINATE ALL

C. VERIFY EXISTING CONDITIONS IN FIELD.

D. DIMENSIONS ARE TO FACE OF STUDS

E. * DIMENSIONS TO FACE OF FINISH

FIR #2 OR BETTER

TREVESTON ARCHITECT

= 6

F. ALL CONCRETE TO BE 3,000 PSI MIN.

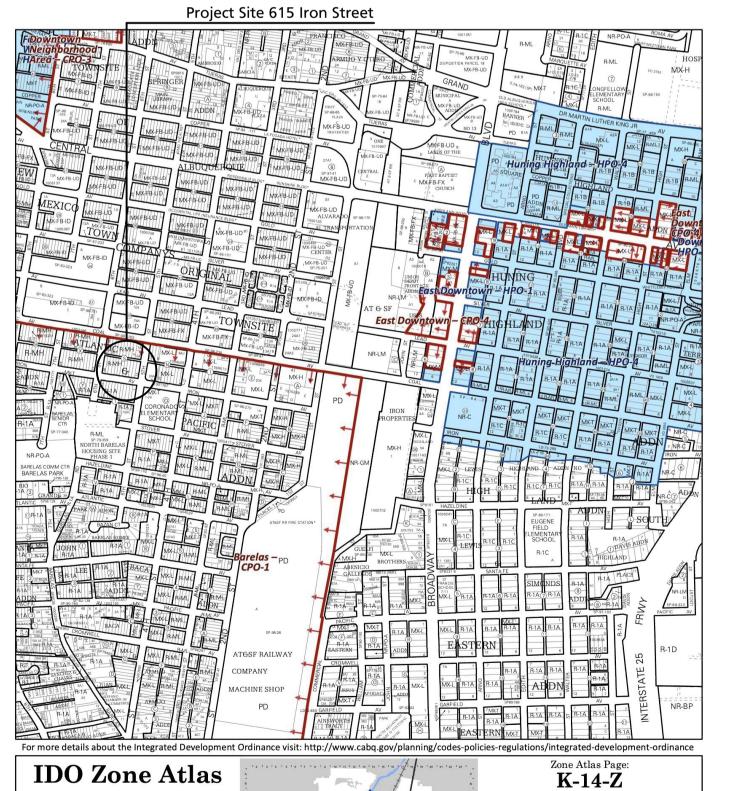
H. ALL LVL TO BE VERSALAM MEMBERS

UNLESS OTHERWISE NOTED.

G. ALL SAWN LUMBER TO BE SPRUCE- PINE

DRAWINGS PRIOR TO CONSTRUCTION.

BRING DISCREPANCIES TO ATTENTION



Feb. 25 2022

Date: Feb. 25 2022

Sheet: Fire-1

Escarpment Escarpment Petroglyph National Monument

Areas Outside of City Limits

