

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

December 28, 2023

Genny Donart, P.E.  
Isaacson & Arfman, Inc.  
128 Monroe St. NE  
Albuquerque, NM 87108

**Re: Imperial Inn Renovation**  
**701 Central Ave. NE**  
**30-Day Temporary Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Architect's Stamp dated 08-24-22 (K14-D226)  
Certification dated 12-22-23

Dear Ms. Donart,

Based upon the information provided in your submittal received 12-26-23, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Per the approved site plan: Install bike racks for the designated number of bicycle parking spaces.

Once these corrections are complete, email pictures to [malnajira@cabq.gov](mailto:malnajira@cabq.gov) for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

*Marwa Al-najjar*

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

Ma via: email



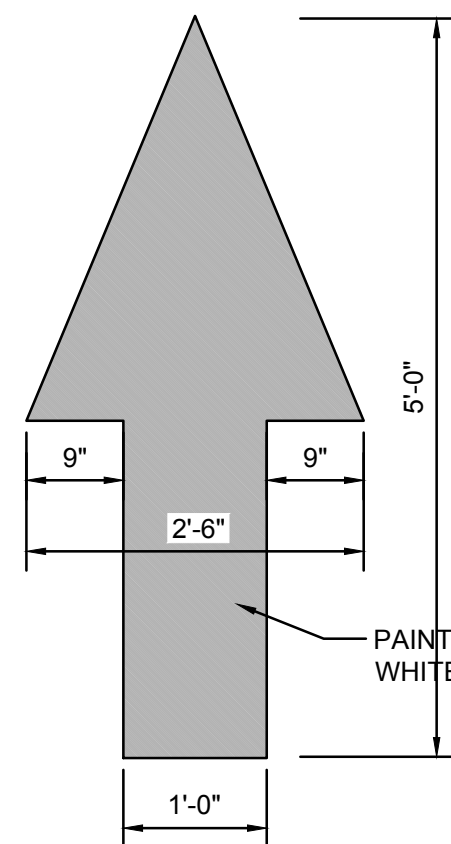
SIDEWALK(S) AND RAMP(S): TARGET CROSS SLOPE = 1% TO 1.5%. CROSS  
 SLOPE SHALL NOT EXCEED 2%  
 ACCESSIBLE RAMP(S): TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL  
 SLOPE SHALL NOT EXCEED 12.1 (6.3%).  
 ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SHALL NOT EXCEED  
 2% SLOPE IN ANY DIRECTION

EXISTING SIDEWALKS SHALL BE IN SUBSTANTIAL COMPLIANCE WITH ADA  
 STANDARDS OR IT SHALL BE REPAIRED OR REPLACED.

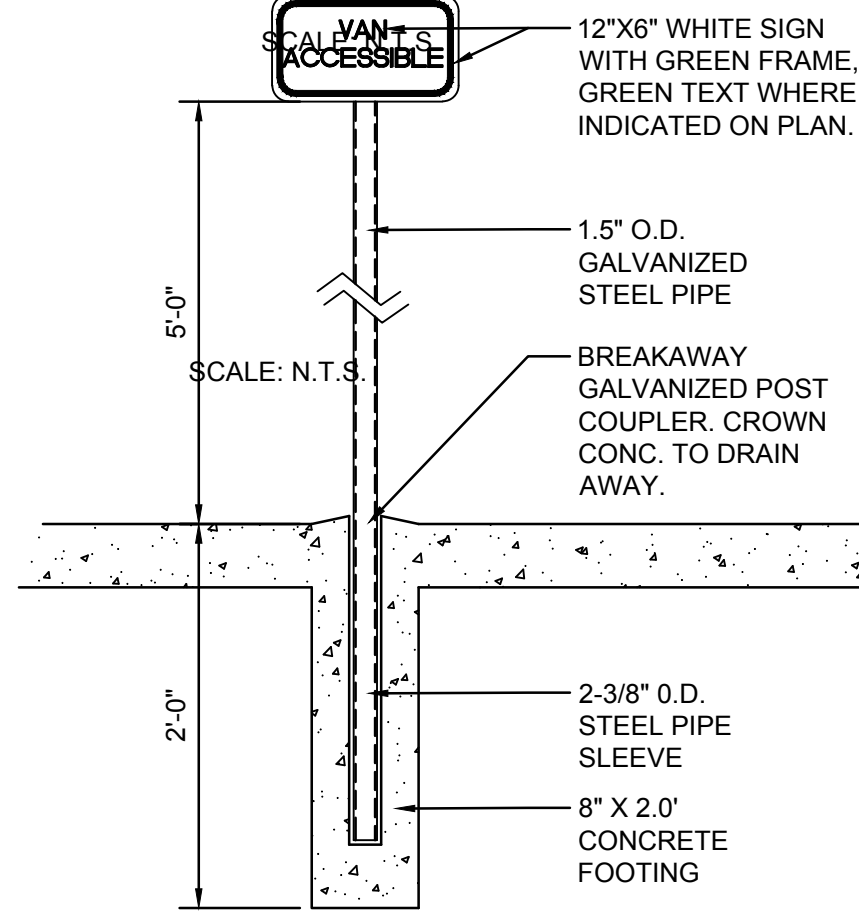
Diagram illustrating the dimensions and color requirements for a 3'-0" x 3'-0" wheelchair symbol:

- Total width: 3'-0"
- Total height: 3'-0"
- Gray field dimensions: 2'-8" x 2'-8"
- White symbol dimensions: 2'-6" x 2'-6"
- Labels: PAINT FIELD ADA BLUE, PAINT WHITE

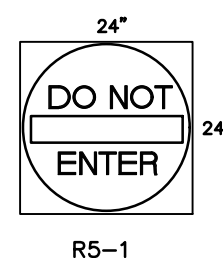
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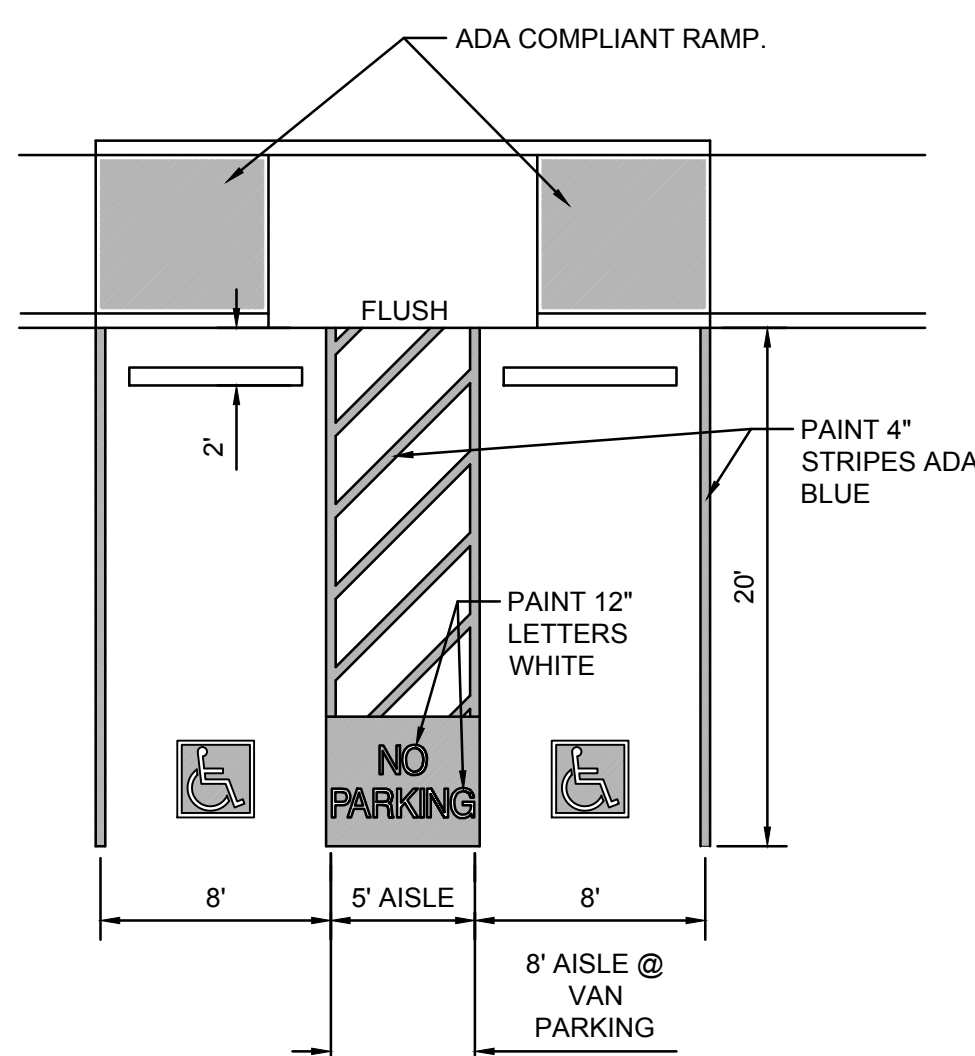
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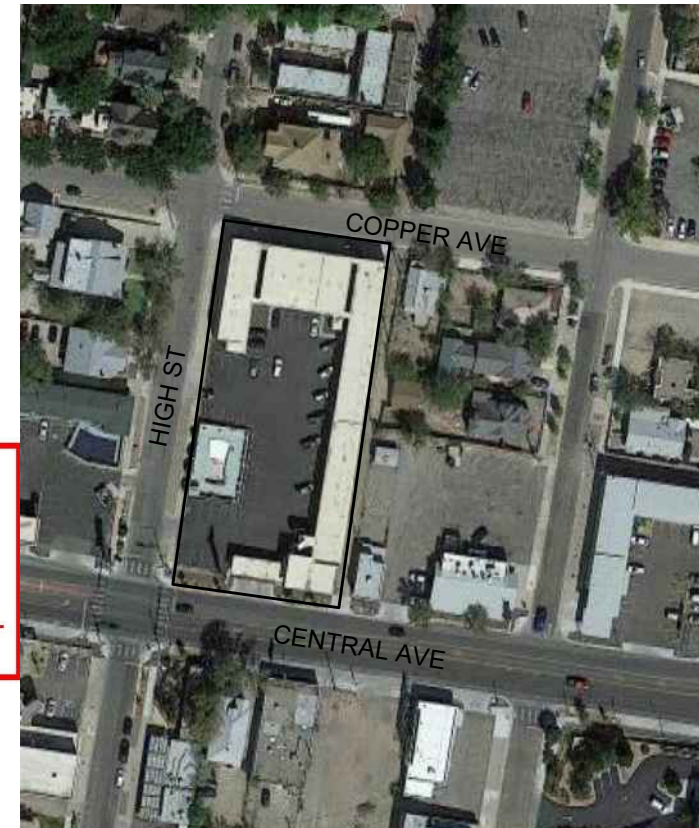


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SCALE: N.T.S.

A. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.



VICINITY MAP

1) R-1 OCCUPANCY (HOTEL/MOTEL)

		AREA/ QUANTITY	IDO 2020 TABLE 6-1-1	SPACES REQUIRED
1) R-1 OCCUPANCY (HOTEL/MOTEL)				
LEVEL 1	GUEST ROOM STANDARD	18		
	GUEST ROOM SUITE	12		
LEVEL 2	GUEST ROOM STANDARD	19		
	GUEST ROOM SUITE	15		
TOTAL		64	1 SPACE / GUEST ROOM	64 SPACES
2) RETAIL USERS				
EXISTING BUILDING LEVEL 1		400 GSF		
NEW NORTH BUILDING		581 GSF		
TOTAL		981 GSF	2.5 SPACES / 1000 GSF	2.45 SPACES
3) RESTUARANT BAR				
NEW SOUTH BUILDING		2650 GSF	5 SPACES / 1000 GSF	13.25 SPACES
				<b>TOTAL      79.7</b>

PARKING REDUCATION PER IDO 2020 5-5(C) (5) C-1&amp;2

30% + 10% X 79.7 SPACES = 31.8 REDUCTION

79.7 - 31.8 = 47.8 SPACES REQUIRED

37 OFF-STREET PARKING + 11 ON-STREET PARKING =

MOTORCYCLE PARKING

BICYCLE PARKING

PER I/O TABLE 3-3-5, FOR HOTEL/MOTEL USE 2 SPACES + 1 SPACE/8,000 SF. MOTEL = 23,847 SF / 8,000 X 3 SPACES = 12 SPACES REQUIRE

FOR NON-RESIDENTIAL USES, 3 SPACES OR 10% OF REQUIRED PARKING SPACES =

15 SPACES REQUIRED TOTAL  
15 SPACES PROVIDED

- 1 PROPERTY LINE.
- 2 EXISTING CITY OF ALBUQUERQUE SIDEWALK TO REMAIN.
- 3 REFUSE CONTAINER, ENCLOSURE, AND CONCRETE APRON PER COA STANDARDS. REFER
- 4 TO 1/AS-501
- 5 PROVIDE PAINTED INTERNATIONAL SYMBOL OF ACCESSIBILITY PER DETAIL 3/AS-501 AT
- 6 ALL ACCESSIBLE PARKING SPACES.
- 7 ADA 5% SLOPED CROSSWALK PER CIVIL DRAWINGS.
- 8 6"x12" DEEP CONCRETE HEADER CURB WITH ONE #4 CONTINUOUS REINFORCEMENT.
- 9 IN-GROUND TREE AND LANDSCAPE PLANTER
- 10 NEW 4" THICK CONCRETE PAVING FOR SIDEWALK OR LANDING ON COMPACTED
- 11 SUBGRADE. REFER TO CIVIL DRAWINGS.
- 12 EXISTING CONCRETE WALKWAYS TO REMAIN.
- 13 NEW PARKING LOT STRIPING PER CITY OF ALBUQUERQUE STANDARDS. COLOR TO BE
- 14 WHITE.
- 15 EXISTING STRUCTURAL COLUMNS. TYPICAL.
- 16 PROVIDE NEW CONCRETE WHEEL STOP WHERE INDICATED ON THIS PLAN.
- 17 SIDEWALK SLOPES DOWN, MAX SLOPE TO BE 1:20.
- 18 PROVIDE MAXIMUM 2% CROSS SLOPE AT NEW CONCRETE STOOPS, PATIOS, AND
- 19 LANDINGS.
- 20 EXISTING EXTERIOR STAIRS.
- 21 NEW 4" - 4" HIGH CMU PATIO WALL; 8"x8"x16" BURNISHED CMU WITH #4 VERTICAL 32
- 22 AND HORIZONTAL TRUSS TYPE DURALUM REINFORCEMENT. GROUT SOLID ALL CELLS.
- 23 PROVIDE 4"x6"x16" SOLID CMU CAP BLOCK AT THE TOP OF THE WALL. ALL STRUCTURAL
- 24 FACING BLOCKS SHALL BE BURNISHED. COLOR TO BE SELECTED BY ARCHITECT.
- 25 EXTEND PAVING TO MATCH EXISTING PUBLIC SIDEWALK PAVING.
- 26 4" - 4" HIGH CONCRETE BREEZE BLOCK PATIO GUARDRAIL WITH BLOCK TYPE 3. PROVIDE
- 27 HORIZONTAL AND VERTICAL REINFORCEMENT. PROVIDE 4"x6"x16" SOLID CONCRETE
- 28 CAP BLOCK TO MATCH COLOR AND FINISH OF BREEZE BLOCK.
- 29 4" WIDE X 6" HIGH STEEL GATES. G001, G002, G005 SHALL HAVE EXIT DEVICES. GATES
- 30 G003 AND G004 SHALL HAVE EXTERIOR LOCKSET WITH STOREROOM FUNCTION.
- 31 NEW CONCRETE RAMP FOR DELIVERIES. REFER TO STRUCTURAL FOUNDATION
- 32 DRAWINGS AS PART OF PERMIT BP-2021-48452.
- 33 NEW CONCRETE STAIRS AND STOOP. REFER TO STRUCTURAL FOUNDATION DRAWINGS
- 34 AS PART OF BUILDING PERMIT BP-2021-48452.
- 35 MECHANICAL EQUIPMENT YARD.
- 36 36" WIDE X 4" - 8" HIGH METAL LOUVERS WITH PAINTED FINISH. COLOR TO BE CHOSEN
- 37 BY ARCHITECT.

24 INFLILL EXISTING DRIVEWAY WITH LANDSCAPING. REFER TO CIVIL  
DRAWINGS AS PART OF SEPARATE FOUNDATION PERMIT BP-2021-48452.

25 NEW CONCRETE VALLEY GUTTER PER COA STD DWG #2420 TO BE CONSTRUCTED BY PUBLIC  
WORK ORDER PLANS.

26 NEW CONCRETE DRIVE PAD PER COA STD DWG #2425A. SEE SHEET CP-101.

27 DASHED LINE INDICATES ROOF OVERHANG ABOVE.

28 POST MOUNTED TRAFFIC SIGN PER CITY OF ALBUQUERQUE STANDARDS. TEXT SHALL  
NOTED PER SIGN LOCATION ON THIS PLAN.

29 EXPAND EXISTING CITY OF ALBUQUERQUE SIDEWALK TO 10'-0" WIDE. MATCH EXISTING  
PAVING.

30 BICYCLE RACK. REFER TO DETAIL 2/AS-501-2

31 REINSTALL PLANTS AND IRRIGATION LINE, AND ROCK COVER BACK AFTER EXPANDING  
SIDEWALK.

32 SAW-CUT EXISTING DRIVEPAD PER COA STD 2425A. SEE SHEET CP-101.

33 CITY RIGHT OF WAY. REFER TO CIVIL DRAWINGS.

34 GUTTER CURB. REFER TO CIVIL DRAWINGS.

35 NEW FIRE HYDRANT. REFER TO CIVIL DRAWINGS AND FIRE 1 PLAN.

36 ADA ACCESSIBLE PATH PER COA STD. DWG 2425A 6' WIDE AT 1-1/2% CROSS SLOP. 2%  
MAX. REMOVE AND REPLACE EXISTING PAVING AS NECESSARY TO ACHIEVE THE SIDEWALK  
CROSS SLOPE.

37 6' H+ ADA PARKING SIGN - REFER TO SHEET AS-501-2. SIGNAGE TO READ "VIOLATORS ARE  
SUBJECT TO A FINE AND/OR TOWING" PER 66-7-352.4C NMSA 1978.

38 6' H+ MOTORCYCLE ONLY PARKING SIGN. LABEL PARKING SHALL WITH 'MC'.

39 COMPACT SPACE. PLACE THE WORD 'COMPACT' ON THE PAVEMENT OF EACH SPACE.

40 CLEAR SIGHT TRIANGLE. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR  
SIGHT REQUIREMENT. THEREFORE SIGNS, WALL, TREES, AND SHRUBBERY BETWEEN 3 AND 5  
FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR  
SIGHT TRIANGLE.

41 NEW SIDEWALK AND STANDARD CURB & GUTTER PER COA STD DWGS #2430 AND #2415A.  
SEE SHEET CP-101.

42 ALL ADJOINING BROKEN OR CRACKED SIDEWALK OR CURB & GUTTER MUST BE REPLACED WITH  
NEW SIDEWALK AND STANDARD CURB & GUTTER PER COA STD DWGS #2430 AND #2415A.  
SEE SHEET CP-101.

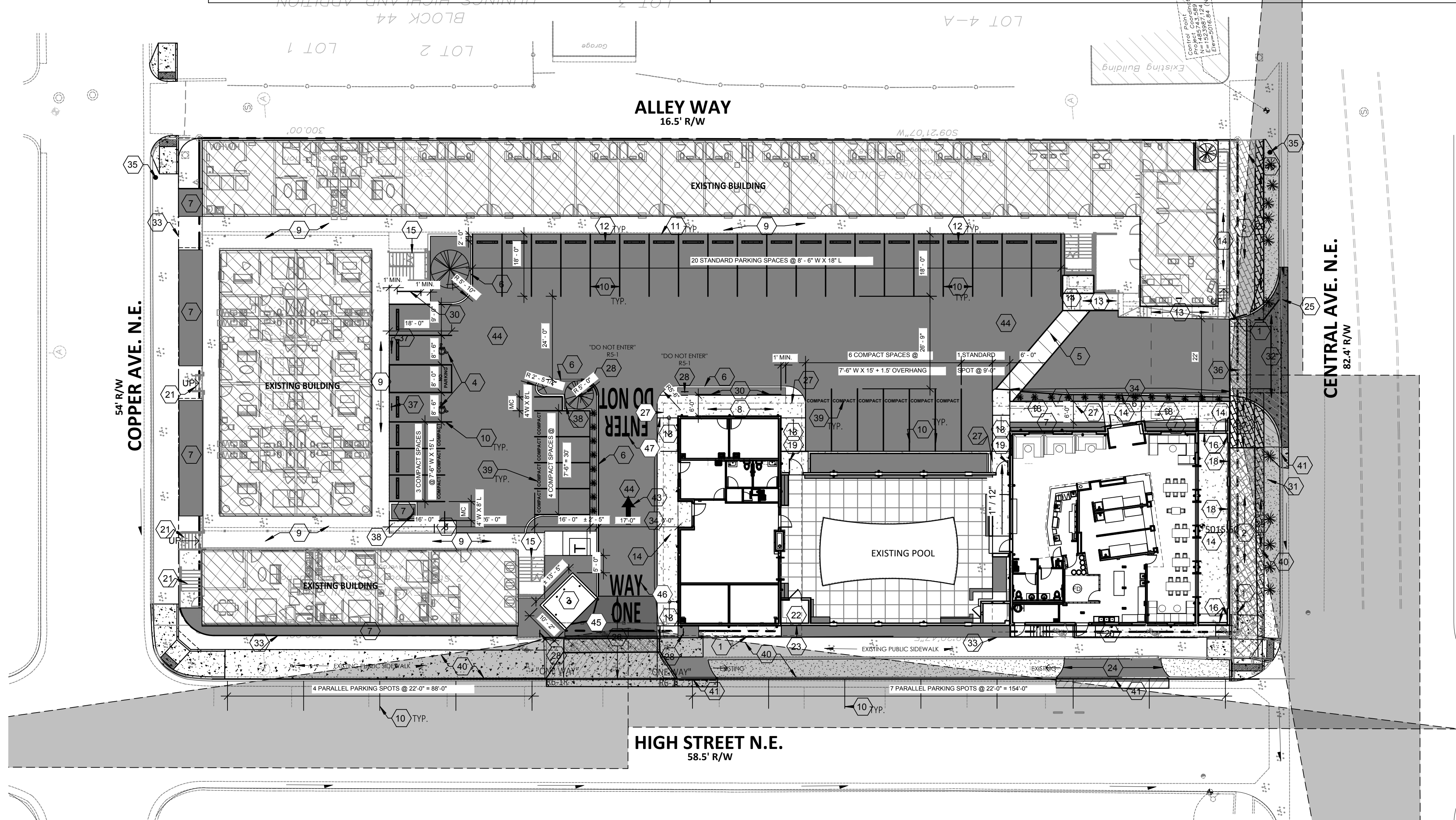
43 REFLECTIVE WHITE THRU ARROW

44 ASPHALT PAVING

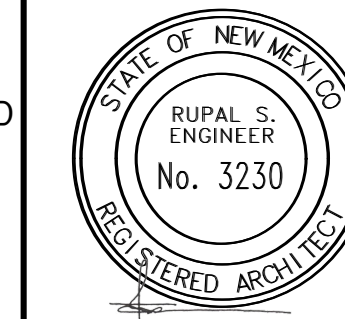
45 CONCRETE PAVING

46 "ONE WAY" PAVEMENT MARKING

47 "DO NOT ENTER" PAVEMENT MARKING



1 Site - TCL Plan  
1" = 20'-0"



SUPERSTRUCTURE SET  
IMPERIAL INN  
NEW ADDITION  
701 CENTRAL AVE NE  
ALBUQUERQUE, NM 87102

DATE: 06/21/22

## REVISIONS

DRAWN BY: Author

CHECKED BY: Checker

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DESIGN PLUS, LLC

SHEET TITLE

## TCL PLAN

AS-103-2

2415 PRINCETON DR. NE, SUITE E  
ALBUQUERQUE, NM 87107  
505.843.7587  
[www.designplusabq.com](http://www.designplusabq.com)

DESIGN PLUS LLC

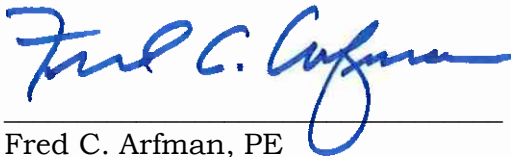




**TRAFFIC CERTIFICATION**

I, Fred C. Arfman, NMPE No. 7322 OF THE FIRM ISAACSON & ARFMNA, INC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE TCL APPROVED PLAN DATED 10/01/2021. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/22/23 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

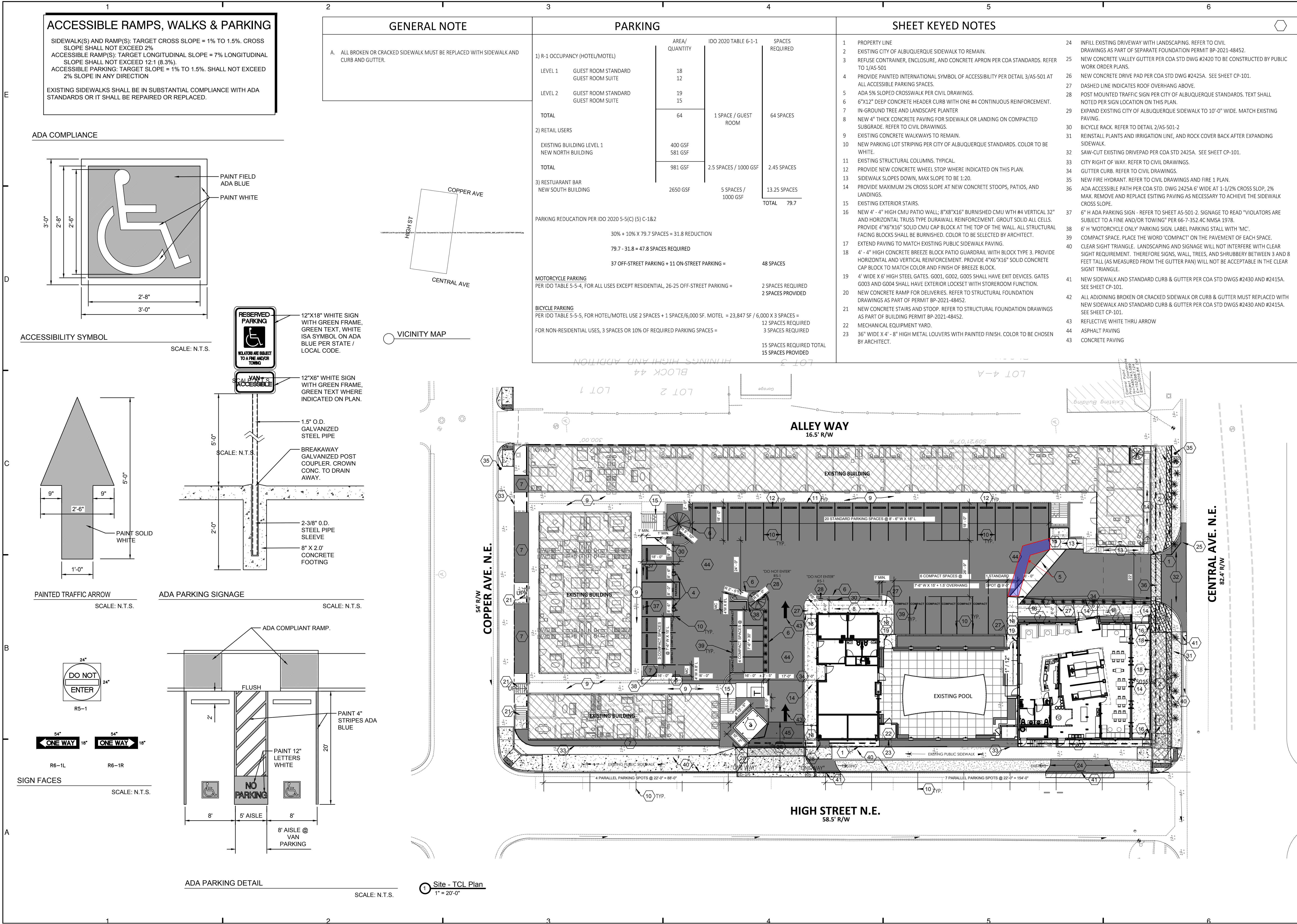
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Fred C. Arfman, PE

12/22/2023

Date





2415 PRINCETON DR. NE, SUITE E  
ALBUQUERQUE, NM 87107  
505.843.7587  
www.designplusllc.com

DESIGN PLUS LLC

STATE OF NEW MEXICO  
RUPAL S. ENGINEER  
No. 3230  
REGISTERED ARCHITECT

10/01/2021

SUPERSTRUCTURE SET  
IMPERIAL INN  
NEW ADDITION  
701 CENTRAL AVE NE  
ALBUQUERQUE, NM 87102

DATE: 06/21/22

REVISIONS

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AS-103-2