

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 19, 2022

Rupal S, RA
Design Plus, LLC
2415 Princeton Dr. NE
Albuquerque, NM 87107

**Re: Imperial Inn New Addition
701 Central Ave. NE
Traffic Circulation Layout
Architect's Stamp 08-24-2022 (K14-D226)**

Dear Mr. Rupal,

The TCL submittal received 09-06-2022 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

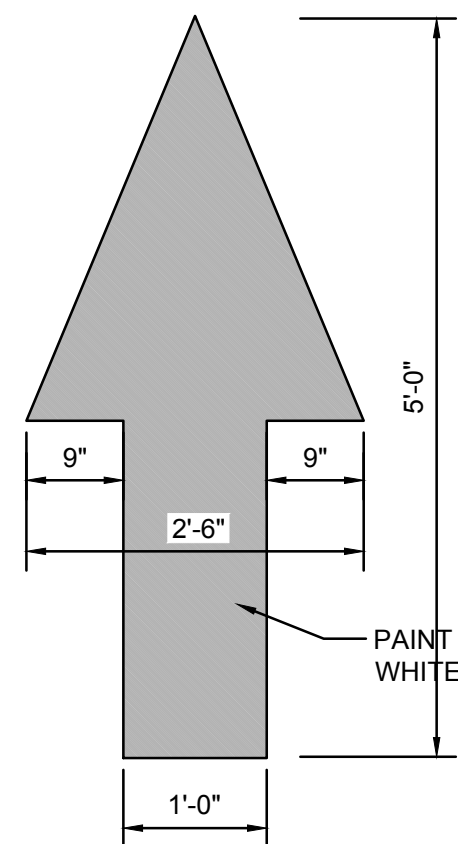
SIDEWALK(S) AND RAMP(S): TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%
ACCESSIBLE RAMP(S): TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12.1 (8.3%).
ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

EXISTING SIDEWALKS SHALL BE IN SUBSTANTIAL COMPLIANCE WITH ADA STANDARDS OR IT SHALL BE REPAIRED OR REPLACED.

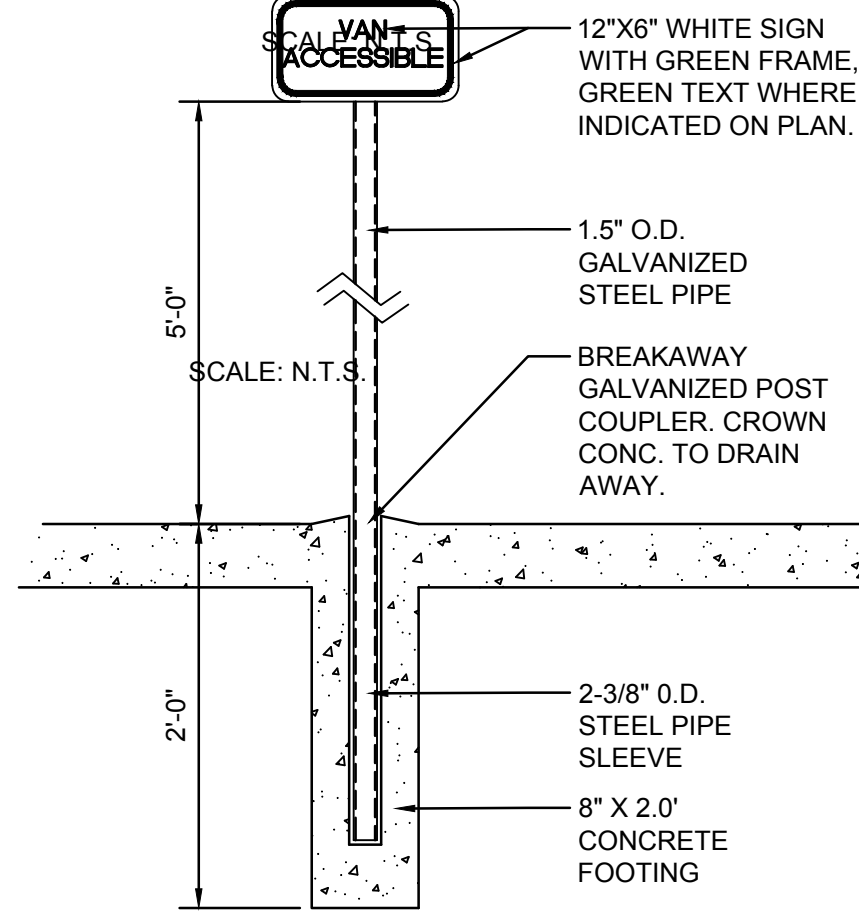
Diagram illustrating the dimensions and color requirements for a wheelchair symbol (ADA-compliant):

- Overall dimensions: 3'-0" (width) x 3'-0" (height).
- Symbol dimensions: 2'-8" (width) x 2'-8" (height).
- Inner square dimensions: 2'-6" (width) x 2'-6" (height).
- Color requirements:
 - PAINT FIELD: ADA BLUE
 - PAINT WHITE: The symbol itself.

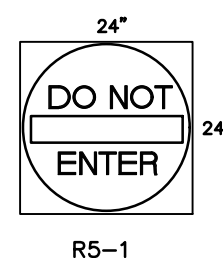
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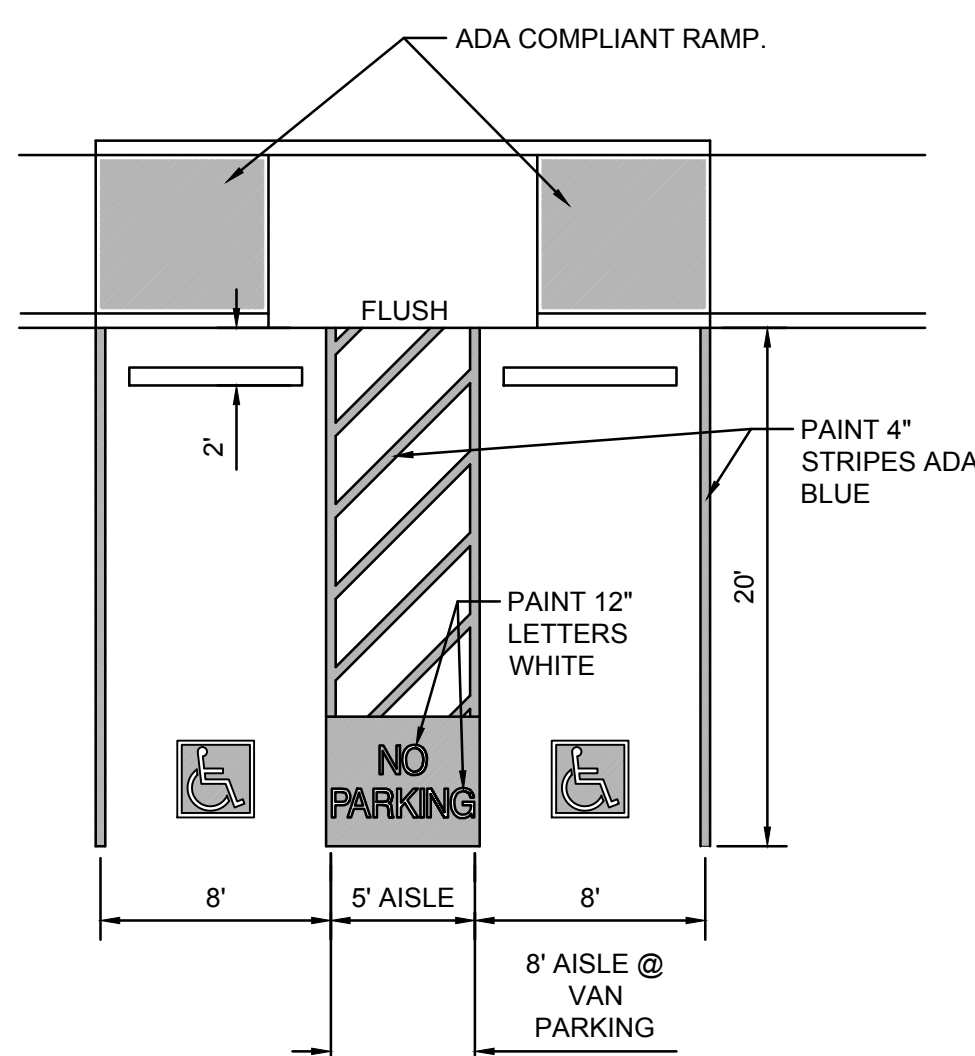
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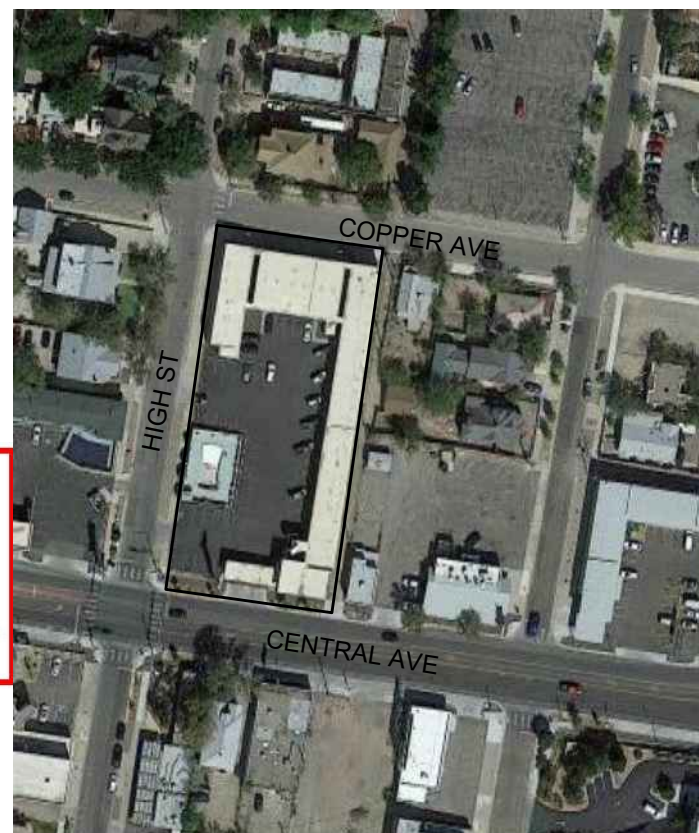


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SCALE: N.T.S.

A. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.



VICINITY MAP

1) R-1 OCCUPANCY (HOTEL/MOTEL)

		AREA/ QUANTITY	IDO 2020 TABLE 6-1-1	SPACES REQUIRED
1) R-1 OCCUPANCY (HOTEL/MOTEL)				
LEVEL 1	GUEST ROOM STANDARD	18		
	GUEST ROOM SUITE	12		
LEVEL 2	GUEST ROOM STANDARD	19		
	GUEST ROOM SUITE	15		
TOTAL		64	1 SPACE / GUEST ROOM	64 SPACES
2) RETAIL USERS				
EXISTING BUILDING LEVEL 1		400 GSF		
NEW NORTH BUILDING		581 GSF		
TOTAL		981 GSF	2.5 SPACES / 1000 GSF	2.45 SPACES
3) RESTUARANT BAR				
NEW SOUTH BUILDING		2650 GSF	5 SPACES / 1000 GSF	13.25 SPACES
				TOTAL 79.7

PARKING REDUCATION PER IDO 2020 5-5(C) (5) C-1&2

30% + 10% X 79.7 SPACES = 31.8 REDUCTION

79.7 - 31.8 = 47.8 SPACES REQUIRED

37 OFF-STREET PARKING + 11 ON-STREET PARKING =

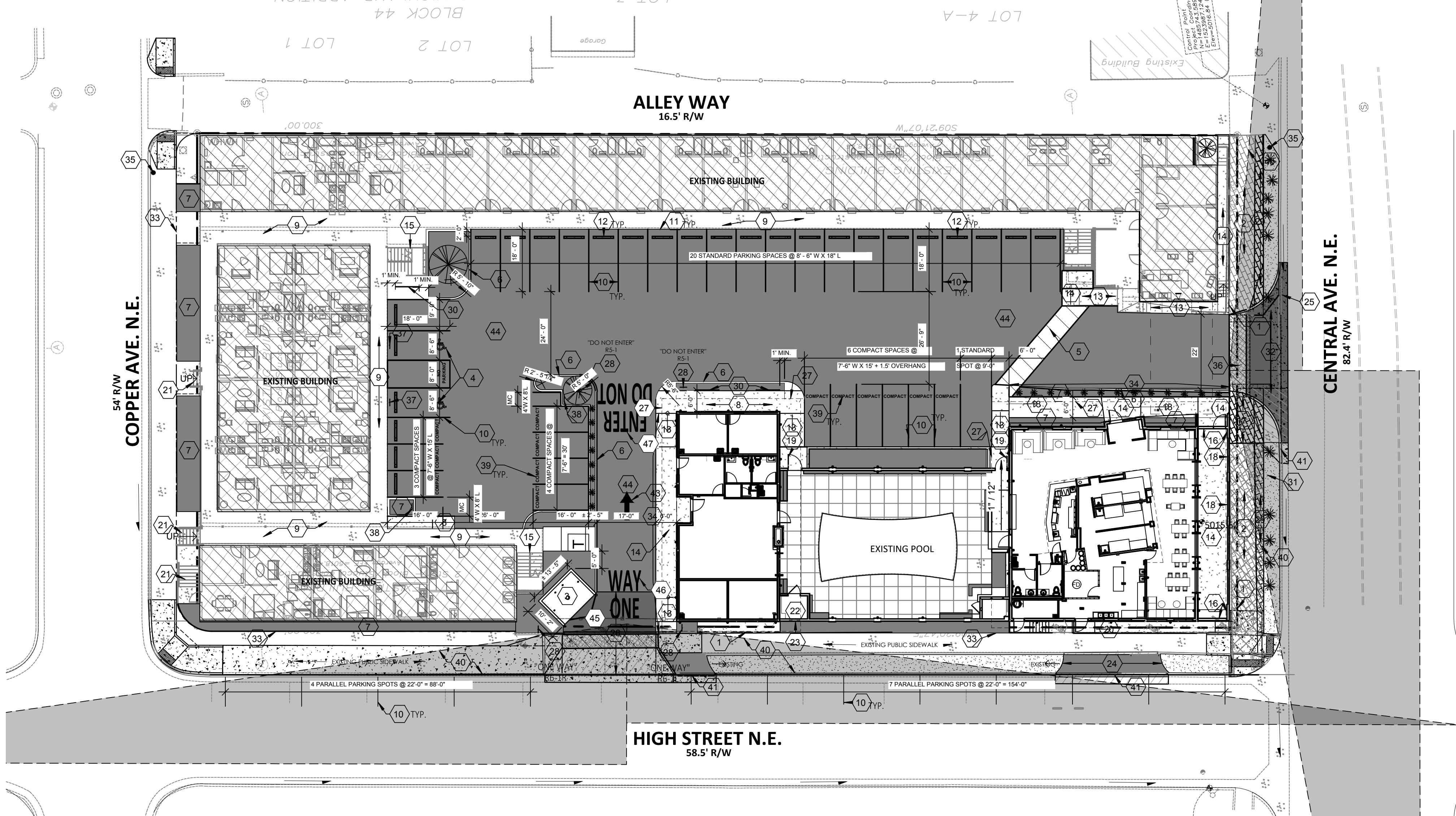
MOTORCYCLE PARKING

BICYCLE PARKING

12 SPACES REQUIRED

FOR NON-RESIDENTIAL USES, 3 SPACES OR 10% OF REQUIRED PARKING SPACES -

15 SPACES REQUIRED TOTAL
15 SPACES PROVIDED



HIGH STREET N.E.
58.5' R/W

1 Site - TCL Plan
1" = 20'-0"

- 1 PROPERTY LINE
- 2 EXISTING CITY OF ALBUQUERQUE SIDEWALK TO REMAIN.
- 3 REFUSE CONTAINER, ENCLOSURE, AND CONCRETE APRON PER COA STANDARDS. REFER TO 1/A5-501
- 4 PROVIDE PAINTED INTERNATIONAL SYMBOL OF ACCESSIBILITY PER DETAIL 3/A5-501 AT ALL ACCESSIBLE PARKING SPACES.
- 5 ADA 5% SLOPED CROSSWALK PER CIVIL DRAWINGS.
- 6 6"X12" DEEP CONCRETE HEURB CURB WITH ONE #4 CONTINUOUS REINFORCEMENT.
- 7 IN-GROUND TREE AND LANDSCAPE PLANTER
- 8 NEW 4" THICK CONCRETE PAVING FOR SIDEWALK OR LANDING ON COMPACTED SUBGRADE. REFER TO CIVIL DRAWINGS.
- 9 EXISTING CONCRETE WALKWAYS TO REMAIN.
- 10 NEW PARKING LOT STRIPING PER CITY OF ALBUQUERQUE STANDARDS. COLOR TO BE WHITE.
- 11 EXISTING STRUCTURAL COLUMNS. TYPICAL.
- 12 PROVIDE NEW CONCRETE WHEEL STOP WHERE INDICATED ON THIS PLAN.
- 13 SIDEWALK SLOPES DOWN, MAX SLOPE TO BE 1:20.
- 14 PROVIDE MAXIMUM 2% CROSS SLOPE TO NEW CONCRETE STOOPS, PATIOS, AND LANDINGS.
- 15 EXISTING EXTERIOR STAIRS.
- 16 NEW 4" - 4" HIGH CMU PATIO WALL; 8"X8"X16" BURNISHED CMU WITH #4 VERTICAL 32 AND HORIZONTAL TRUSS TYPE DURAWALL REINFORCEMENT. GROUT SOLID ALL CELLS. PROVIDE 4"X6"X36" SOLID CMU CAP BLOCK AT THE TOP OF THE WALL. ALL STRUCTURAL FACING BLOCKS SHALL BE BURNISHED. COLOR TO BE SELECTED BY ARCHITECT.
- 17 EXTEND PAVING TO MATCH EXISTING PUBLIC SIDEWALK PAVING.
- 18 4" - 4" HIGH CONCRETE BREEZE BLOCK PATIO GUARDRAIL WITH BLOCK TYPE 3. PROVIDE HORIZONTAL AND VERTICAL REINFORCEMENT. PROVIDE 4"X6"X16" SOLID CONCRETE CAP BLOCK TO MATCH COLOR AND FINISH OF BREEZE BLOCK.
- 19 4" WIDE X 6" HIGH STEEL GATES. G001, G002, G005 SHALL HAVE EXIT DEVICES. GATES G003 AND G004 SHALL HAVE EXTERIOR LOCKSET WITH STOREROOM FUNCTION.
- 20 NEW CONCRETE RAMP FOR DELIVERIES. REFER TO STRUCTURAL FOUNDATION DRAWINGS AS PART OF PERMIT B-2021-48452.
- 21 NEW CONCRETE STAIRS AND STOOP. REFER TO STRUCTURAL FOUNDATION DRAWINGS AS PART OF BUILDING PERMIT B-2021-48452.
- 22 MECHANICAL EQUIPMENT YARD.
- 23 36" WIDE X 4" - 8" HIGH METAL LOUVERS WITH PAINTED FINISH. COLOR TO BE CHOSEN BY ARCHITECT.

24 INFILL EXISTING DRIVEWAY WITH LANDSCAPING. REFER TO CIVIL
DRAWINGS AS PART OF SEPARATE FOUNDATION PERMIT BP-2021-48452.

25 NEW CONCRETE VALLEY GUTTER PER COA STD DWG #2420 TO BE CONSTRUCTED BY PUBLIC
WORK ORDER PLANS.

26 NEW CONCRETE DRIVE PAD PER COA STD DWG #2425A. SEE SHEET CP-101.

27 DASHED LINE INDICATES ROOF OVERHANG ABOVE.

28 POST MOUNTED TRAFFIC SIGN PER CITY OF ALBUQUERQUE STANDARDS. TEXT SHALL
NOTED PER SIGN LOCATION ON THIS PLAN.

29 EXPAND EXISTING CITY OF ALBUQUERQUE SIDEWALK TO 10'-0" WIDE. MATCH EXISTING
PAVING.

30 BICYCLE RACK. REFER TO DETAIL 2/AS-501-2

31 REINSTALL PLANTS AND IRRIGATION LINE, AND ROCK COVER BACK AFTER EXPANDING
SIDEWALK.

32 SAW-CUT EXISTING DRIVEPAD PER COA STD 2425A. SEE SHEET CP-101.

33 CITY RIGHT OF WAY. REFER TO CIVIL DRAWINGS.

34 GUTTER CURB. REFER TO CIVIL DRAWINGS.

35 NEW FIRE HYDRANT. REFER TO CIVIL DRAWINGS AND FIRE 1 PLAN.

36 ADA ACCESSIBLE PATH PER COA STD. DWG 2425A 6' WIDE AT 1:1/2% CROSS SLOP. 2%
MAX. REMOVE AND REPLACE EXISTING PAVING AS NECESSARY TO ACHIEVE THE SIDEWALK
CROSS SLOP.

37 6' H ADA PARKING SIGN - REFER TO AS-501-2. SIGNAGE TO READ "VIOLATORS ARE
SUBJECT TO A FINE AND/OR TOWING" PER 66-7-352.4C NMSA 1978.

38 6' H "MOTORCYCLE ONLY" PARKING SIGN. LABEL PARKING STALL WITH 'MC'.

39 COMPACT SPACE. PLACE THE WORD "COMPACT" ON THE PAVEMENT OF EACH SPACE.

40 CLEAR SIGN TRIANGLE. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR
SIGN REQUIREMENT. THEREFORE SIGNS, WALL, TREES, AND SHRUBBERY BETWEEN 3 AND 10
FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR
SIGN TRIANGLE.

41 NEW SIDEWALK AND STANDARD CURB & GUTTER PER COA STD DWGS #2430 AND #2415A.
SEE SHEET CP-101.

42 ALL ADJOINING BROKEN OR CRACKED SIDEWALK OR CURB & GUTTER MUST BE REPLACED WITH
NEW SIDEWALK AND STANDARD CURB & GUTTER PER COA STD DWGS #2430 AND #2415A.
SEE SHEET CP-101.

43 REFLECTIVE WHITE THRU ARROW

44 ASPHALT PAVING

45 CONCRETE PAVING

46 "ONE WAY" PAVEMENT MARKING

47 "DO NOT ENTER" PAVEMENT MARKING

DATE: 06/21/22

REVISIONS

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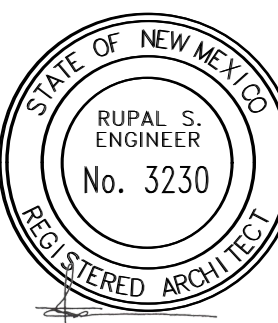
SHEET TITLE

TCL PLAN

AS-103-2

003.043.7307
www.designplusabq.com

DESIGN PLUS LLC



08/24/2022