

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 11, 2024

Genny Donart, P.E.
Isaacson & Arfman, Inc.
128 Monroe St. N.E.
Albuquerque, NM 87108

Re: Imperial Inn/ 701 Central Ave. NE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 08-24-22 (K14-D226)
Certification dated 01-10-24

Dear Ms. Donart,

Based upon the information provided in your submittal received 01-10-24, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File

TRAFFIC CERTIFICATION

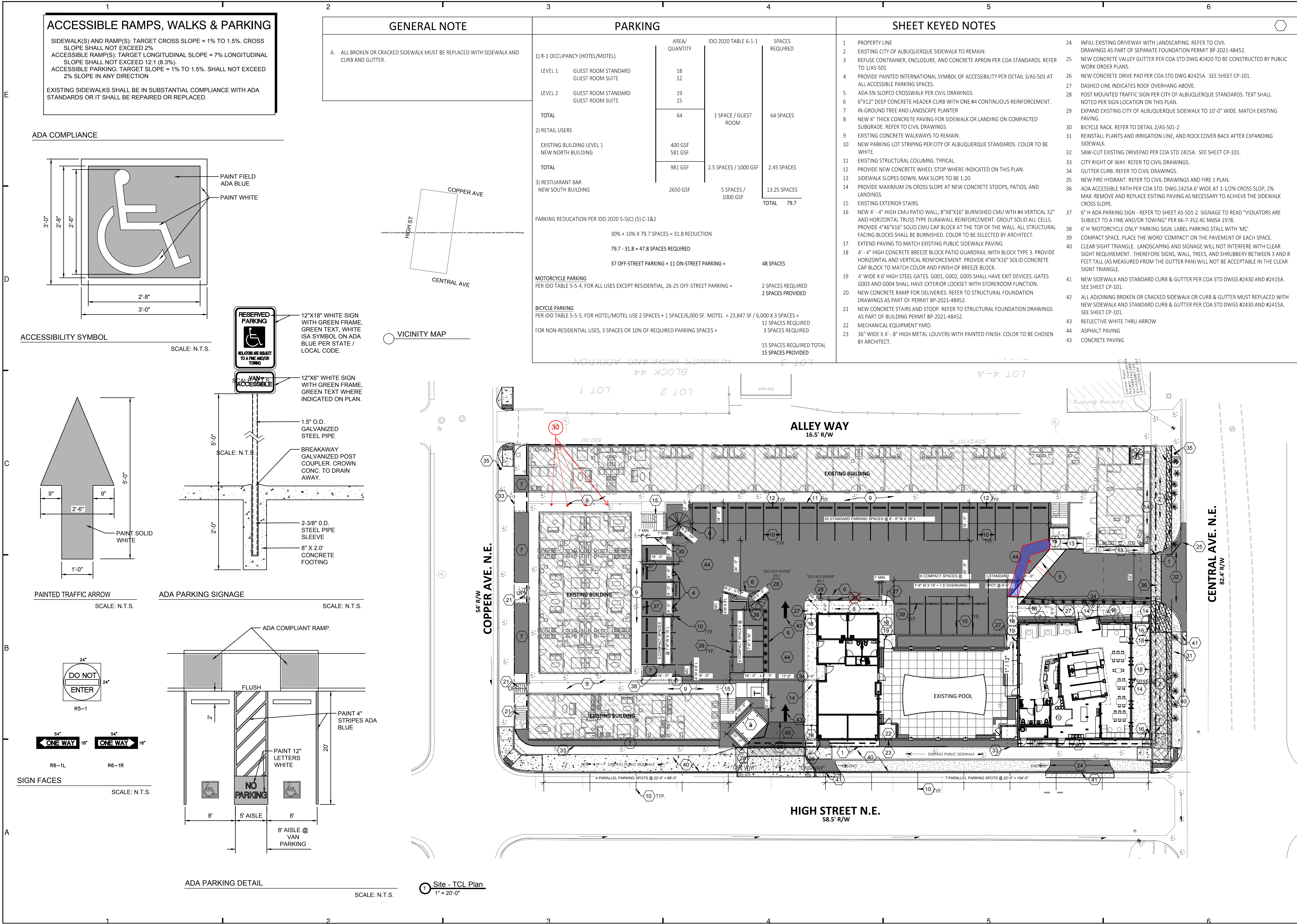
I, Fred C. Arfman, NMPE No. 7322 OF THE FIRM ISAACSON & ARFMNA, INC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE TCL APPROVED PLAN DATED 10/01/2021. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/22/23 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


Fred C. Arfman, PE

01/10/2024

Date



2415 PRINCETON DR. NE, SUITE E
ALBUQUERQUE, NM 87107
505.843.7587
www.designplusllc.com

DESIGN PLUS LLC

STATE OF NEW MEXICO
RUPAL S. ENGINEER
No. 3230
REGISTERED ARCHITECT

10/01/2021

SUPERSTRUCTURE SET
IMPERIAL INN
NEW ADDITION
701 CENTRAL AVE NE
ALBUQUERQUE, NM 87102

DATE: 06/21/22

REVISIONS

DRAWN BY: Author

CHECKED BY: Checker

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SHEET TITLE

TCL PLAN

AS-103-2

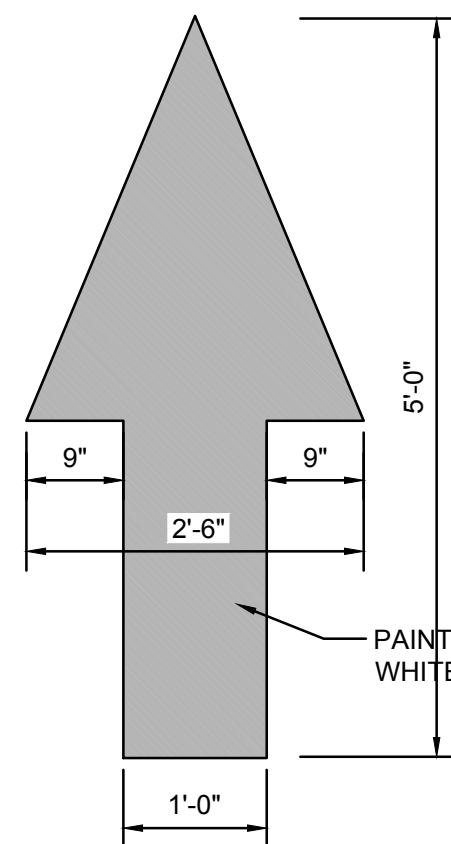
SIDEWALK(S) AND RAMP(S): TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%
ACCESSIBLE RAMP(S): TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12.1 (8.3%).
ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

EXISTING SIDEWALKS SHALL BE IN SUBSTANTIAL COMPLIANCE WITH ADA STANDARDS OR IT SHALL BE REPAIRED OR REPLACED.

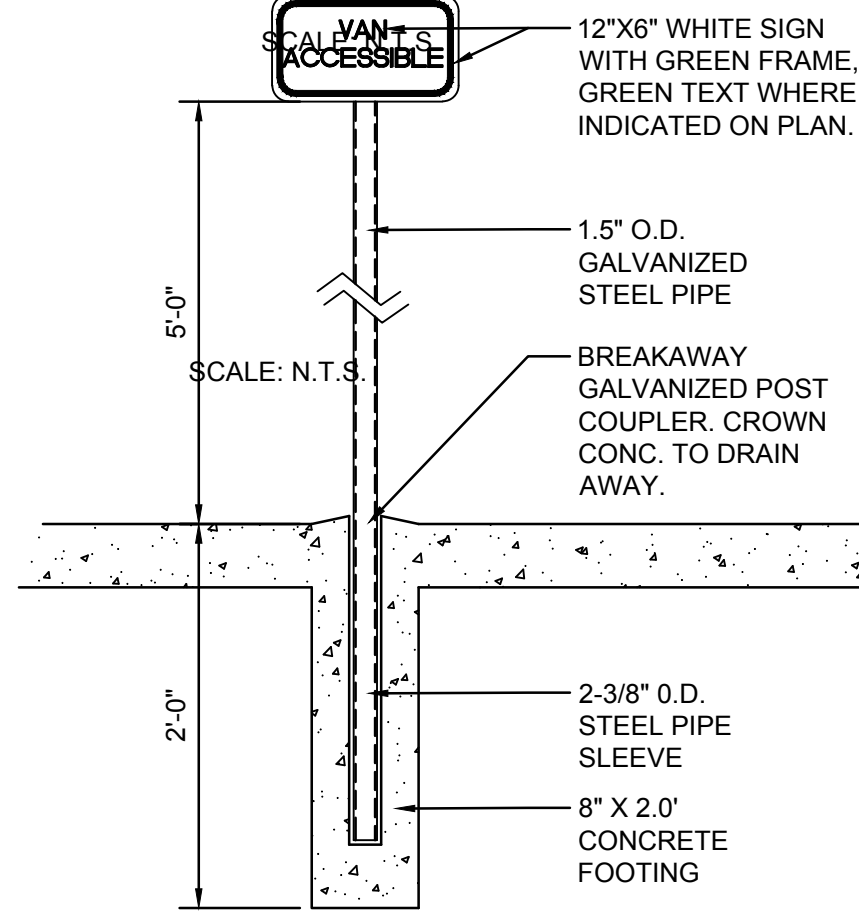
Diagram illustrating the dimensions and color requirements for a wheelchair symbol (ADA-compliant):

- Overall dimensions: 3'-0" (width) x 3'-0" (height).
- Symbol dimensions: 2'-8" (width) x 2'-8" (height).
- Inner square dimensions: 2'-6" (width) x 2'-6" (height).
- Color requirements:
 - PAINT FIELD: ADA BLUE
 - PAINT WHITE: The symbol itself.

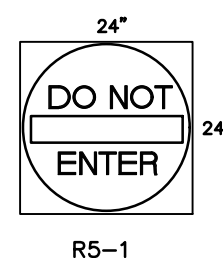
SCALE: N.T.S.



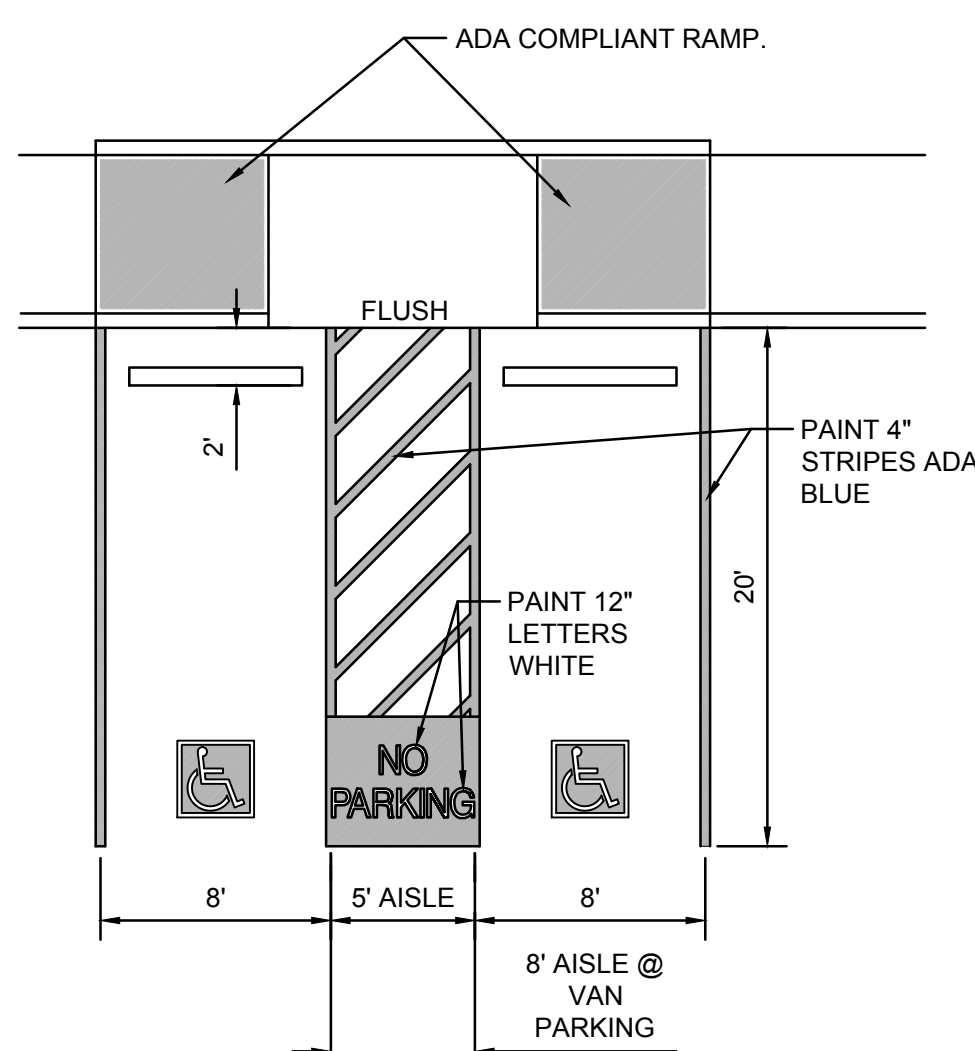
SCALE: N.T.S.



SCALE: N.T.S.

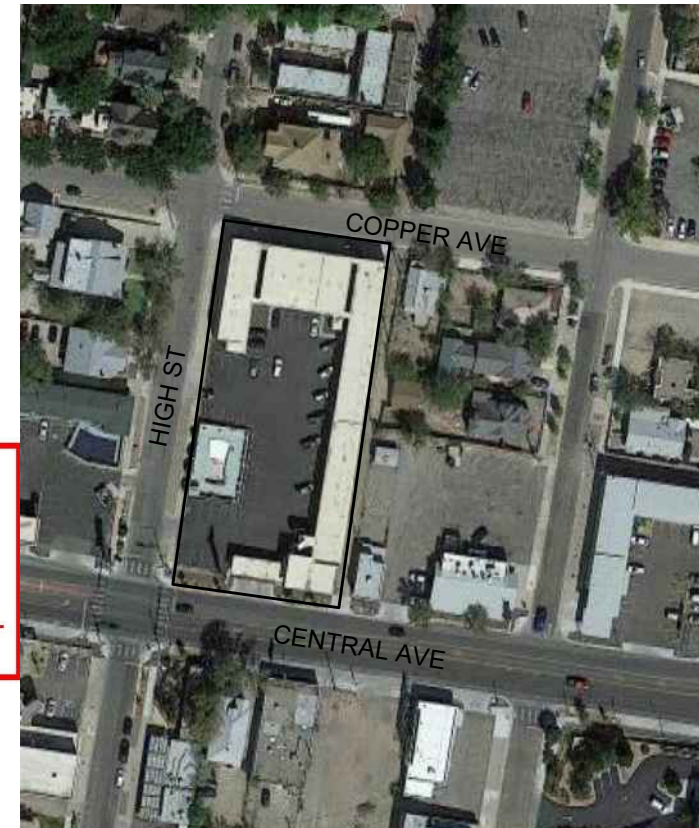


SCALE: N.T.S



SCALE: N.T.S.

A. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.



VICINITY MAP

1) R-1 OCCUPANCY (HOTEL/MOTEL)

| | | AREA/ QUANTITY | IDO 2020 TABLE 6-1-1 | SPACES REQUIRED |
|--------------------------------|---------------------|-------------------|-----------------------|--------------------|
| 1) R-1 OCCUPANCY (HOTEL/MOTEL) | | | | |
| LEVEL 1 | GUEST ROOM STANDARD | 18 | | |
| | GUEST ROOM SUITE | 12 | | |
| LEVEL 2 | GUEST ROOM STANDARD | 19 | | |
| | GUEST ROOM SUITE | 15 | | |
| TOTAL | | 64 | 1 SPACE / GUEST ROOM | 64 SPACES |
| 2) RETAIL USERS | | | | |
| EXISTING BUILDING LEVEL 1 | | 400 GSF | | |
| NEW NORTH BUILDING | | 581 GSF | | |
| TOTAL | | 981 GSF | 2.5 SPACES / 1000 GSF | 2.45 SPACES |
| 3) RESTUARANT BAR | | | | |
| NEW SOUTH BUILDING | | 2650 GSF | 5 SPACES / 1000 GSF | 13.25 SPACES |
| TOTAL | | | | 79.7 |

PARKING REDUCATION PER IDO 2020 5-5(C) (5) C-1&2

$$30\% + 10\% \times 79.7 \text{ SPACES} = 31.8 \text{ REDUCTION}$$

79.7 - 31.8 = 47.8 SPACES REQUIRED

37 OFF-STREET PARKING + 11 ON-STREET PARKING =

MOTORCYCLE PARKING

BICYCLE PARKING

PER IDO TABLE 3-5-5, FOR HOTEL/MOTEL USE 2 SPACES + 1 SPACE/8,000 SF. MOTEL = 23,847 SF / 8,000 X 3 SPACES = 12 SPACES REQUIRE

FOR NON-RESIDENTIAL USES, 3 SPACES OR 10% OF REQUIRED PARKING SPACES =

15 SPACES REQUIRED TOTAL
15 SPACES PROVIDED

- 1 PROPERTY LINE
- 2 EXISTING CITY OF ALBUQUERQUE SIDEWALK TO REMAIN.
- 3 REFUSE CONTAINER, ENCLOSURE, AND CONCRETE APRON PER COA STANDARDS. REFER TO 1/A5-501
- 4 PROVIDE PAINTED INTERNATIONAL SYMBOL OF ACCESSIBILITY PER DETAIL 3/A5-501 AT ALL ACCESSIBLE PARKING SPACES.
- 5 ADA 5% SLOPED CROSSWALK PER CIVIL DRAWINGS.
- 6 6"x12" DEEP CONCRETE HEADER CURB WITH ONE #4 CONTINUOUS REINFORCEMENT.
- 7 IN-GROUND TREE AND LANDSCAPE PLANTER
- 8 NEW 4" THICK CONCRETE PAVING FOR SIDEWALK OR LANDING ON COMPACTED SUBGRADE. REFER TO CIVIL DRAWINGS.
- 9 EXISTING CONCRETE WALKWAYS TO REMAIN.
- 10 NEW PARKING LOT STRIPING PER CITY OF ALBUQUERQUE STANDARDS. COLOR TO BE WHITE.
- 11 EXISTING STRUCTURAL COLUMNS. TYPICAL.
- 12 PROVIDE NEW CONCRETE WHEEL STOP WHERE INDICATED ON THIS PLAN.
- 13 SIDEWALK SLOPES DOWN, MAX SLOPE TO BE 1:20.
- 14 PROVIDE MAXIMUM 2% CROSS SLOPE AT NEW CONCRETE STOOPS, PATIOS, AND LANDINGS.
- 15 EXISTING EXTERIOR STAIRS.
- 16 NEW 4" x 4" HIGH CMU PATIO WALL; 8"x8"x16" BURNISHED CMU WITH #4 VERTICAL 32 AND HORIZONTAL TRUSS TYPE DURAWALL REINFORCEMENT. GROUT SOLID ALL CELLS. PROVIDE 4"x6"x16" SOLID CMU CAP BLOCK AT THE TOP OF THE WALL. ALL STRUCTURAL FACING BLOCKS SHALL BE BURNISHED. COLOR TO BE SELECTED BY ARCHITECT.
- 17 EXTEND PAVING TO MATCH EXISTING PUBLIC SIDEWALK PAVING.
- 18 4" x 4" HIGH CONCRETE BREEZE BLOCK PADGUARDWALL WITH BLOCK TYPE 3. PROVIDE HORIZONTAL AND VERTICAL REINFORCEMENT. PROVIDE 4"x6"x16" SOLID CONCRETE CAP BLOCK TO MATCH COLOR AND FINISH OF BREEZE BLOCK.
- 19 4" WIDE X 6" HIGH STEEL GATES. G001, G002, G005 SHALL HAVE EXIT DEVICES. GATES G003 AND G004 SHALL HAVE EXTERIOR LOCKSET WITH STOREROOM FUNCTION.
- 20 NEW CONCRETE RAMP FOR DELIVERIES. REFER TO STRUCTURAL FOUNDATION DRAWINGS AS PART OF PERMIT BP-2021-48452.
- 21 NEW CONCRETE STAIRS AND STOOP. REFER TO STRUCTURAL FOUNDATION DRAWINGS AS PART OF BUILDING PERMIT BP-2021-48452.
- 22 MECHANICAL EQUIPMENT YARD.
- 23 36" WIDE X 4" - 8" HIGH METAL LOUVERS WITH PAINTED FINISH. COLOR TO BE CHOSEN BY ARCHITECT.

24 INFLI EXISTING DRIVEWAY WITH LANDSCAPING. REFER TO CIVIL
DRAWINGS AS PART OF SEPARATE FOUNDATION PERMIT BP-2021-48452.

25 NEW CONCRETE VALLIN GUTTER PER COA STD DWG #2420 TO BE CONSTRUCTED BY PUBLIC
WORK ORDER PLAN.

26 NEW CONCRETE DRIVE PAD PER COA STD DWG #2425A. SEE SHEET CP-101.

27 DASHED LINE INDICATES ROOF OVERHANG ABOVE.

28 POST MOUNTED TRAFFIC SIGN PER CITY OF ALBUQUERQUE STANDARDS. TEXT SHALL
NOTED PER SIGN LOCATION ON THIS PLAN.

29 EXPAND EXISTING CITY OF ALBUQUERQUE SIDEWALK TO 10'-0" WIDE. MATCH EXISTING
PAVING.

30 BICYCLE RACK. REFER TO DETAIL 2/AS-501-2

31 REINSTALL PLANTS AND IRRIGATION LINE, AND ROCK COVER BACK AFTER EXPANDING
SIDEWALK.

32 SAW-CUT EXISTING DRIVEPAD PER COA STD DWG #2425A. SEE SHEET CP-101.

33 CITY RIGHT OF WAY. REFER TO CIVIL DRAWINGS.

34 GUTTER CURB. REFER TO CIVIL DRAWINGS.

35 NEW FIRE HYDRANT. REFER TO CIVIL DRAWINGS AND FIRE 1 PLAN.

36 ADA ACCESSIBLE PATH PER COA STD. DWG #2425A 6' WIDE AT 1-1/2% CROSS SLOP, 2%
MAX. REMOVE AND REPLACE EXISTING PAVING AS NECESSARY TO ACHIEVE THE SIDEWALK
CROSS SLOPE.

37 6" H+ ADA PARKING SIGN - REFER TO SHEET AS-501-2. SIGNAGE TO READ "VIOLATORS ARE
SUBJECT TO A FINE AND/OR TOWING" PER 66-7-352.4C NMSA 1978.

38 6' H+ MOTORCYCLE ONLY PARKING SIGN. LABEL PARKING SHALL WITH 'MC'.

39 COMPACT SPACE. PLACE THE WORD "COMPACT" ON THE PAVEMENT OF EACH SPACE.

40 CLEAR SIGN TRIANGLE. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR
SIGHT REQUIREMENT. THEREFORE SIGNS, WALL, TREES, AND SHRUBBERY BETWEEN 3 AND 10
FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR
SIGN TRIANGLE.

41 NEW SIDEWALK AND STANDARD CURB & GUTTER PER COA STD DWGS #2430 AND #2415A.
SEE SHEET CP-101.

42 ALL ADJOINING BROKEN OR CRACKED SIDEWALK OR CURB & GUTTER MUST BE REPLACED WITH
NEW SIDEWALK AND STANDARD CURB & GUTTER PER COA STD DWGS #2430 AND #2415A.
SEE SHEET CP-101.

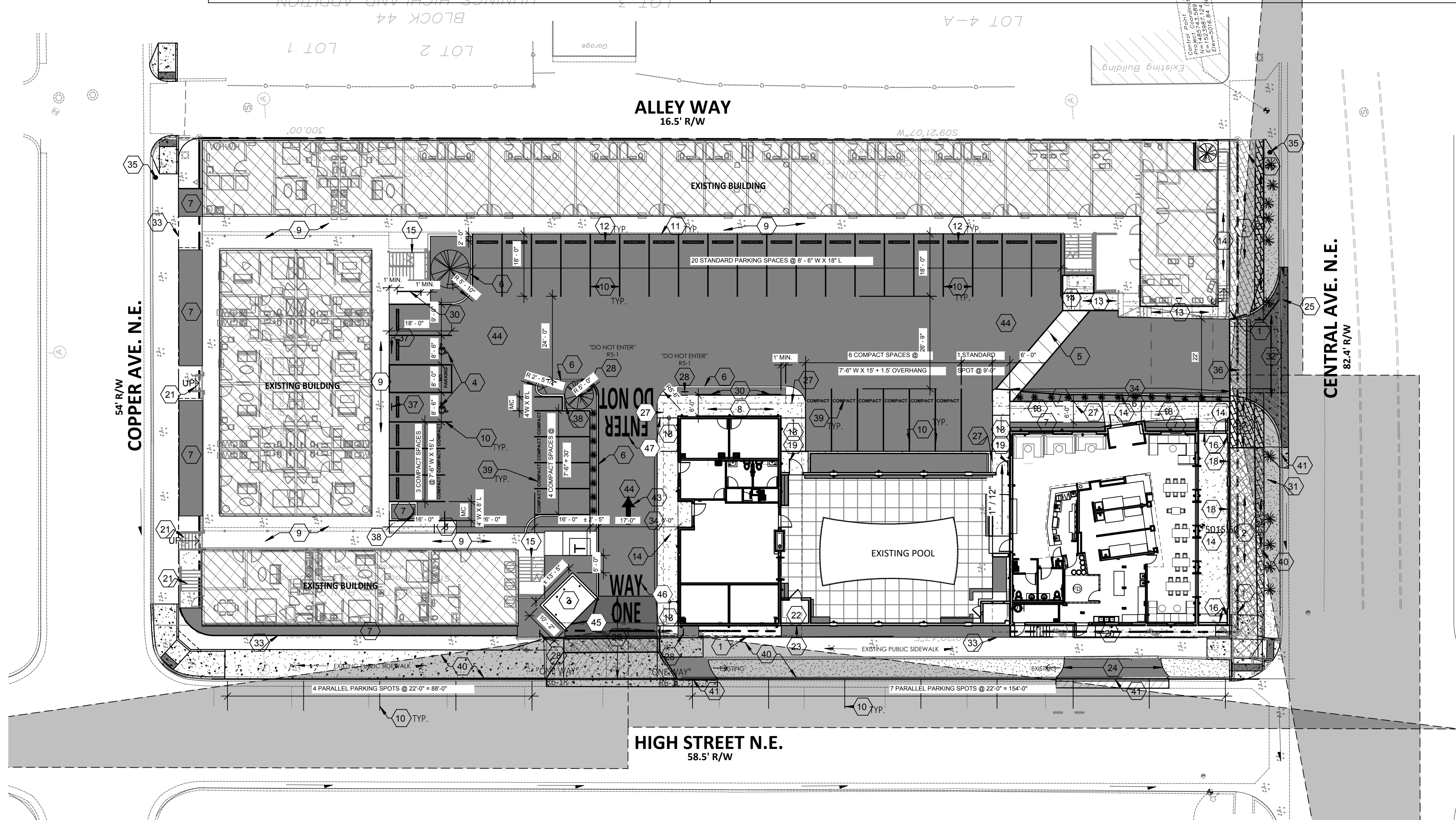
43 REFLECTIVE WHITE THRU ARROW

44 ASPHALT PAVING

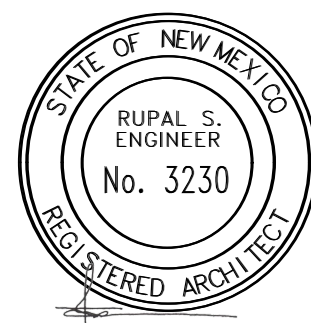
45 CONCRETE PAVING

46 "ONE WAY" PAVEMENT MARKING

47 "DO NOT ENTER" PAVEMENT MARKING



1 Site - TCL Plan
1" = 20'-0"



SUPERSTRUCTURE SET
IMPERIAL INN
NEW ADDITION
701 CENTRAL AVE NE
ALBUQUERQUE, NM 87102

DATE: 06/21/22

REVISIONS

DRAWN BY: Author

CHECKED BY: Checker

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SHEET TITLE

TCL PLAN

AS-103-2