

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 21, 2023

Shannon VanDusen, R.A
Scout Design
2722 San Joaquin Ave. SE
Albuquerque, NM 87016

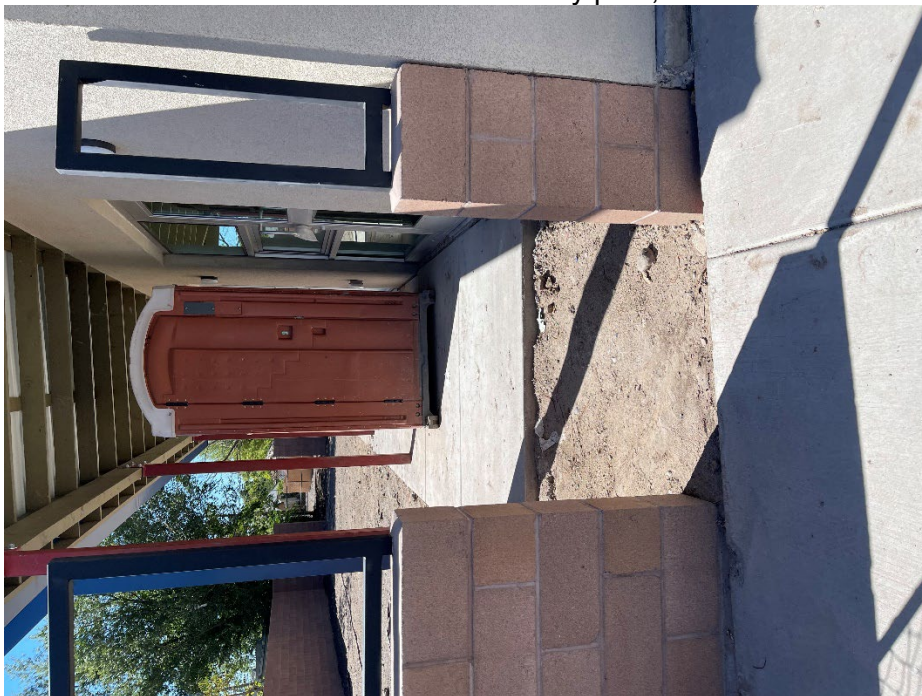
Re: Caterpillar Clubhouse Daycare
803 2nd St. SW
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 04-11-22 (K14-D227)
Certification dated 09-06-23

Dear Ms. Shannon,

Based upon the information provided in your submittal received 09-15-23, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Per approved TCL letter, please provide the Shared Parking agreement.
- Please finish the construction of the walkway path, the Personnel Gate must be installed.



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Once these corrections are complete, email pictures to malnajira@cabq.gov for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

Ma via: email

PO Box 1293

C: CO Clerk, File

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



September 6, 2023

Shannon VanDusen
SCOUT design
505.414.6212

RE: Traffic Certification Letter for Caterpillar Clubhouse Daycare

I, __Shannon Parks_____, NMPE OR NMRA NUMBER __005140_____, OF THE FIRM __SCOUT design_____, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED __01/03/20_____. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY __Emily Brudenell____ OF THE FIRM __SCOUT design_____. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON __9/01/23____ AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR _Certificate of Occupancy____.

Please see attached redline plan, as built conditions in blue.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

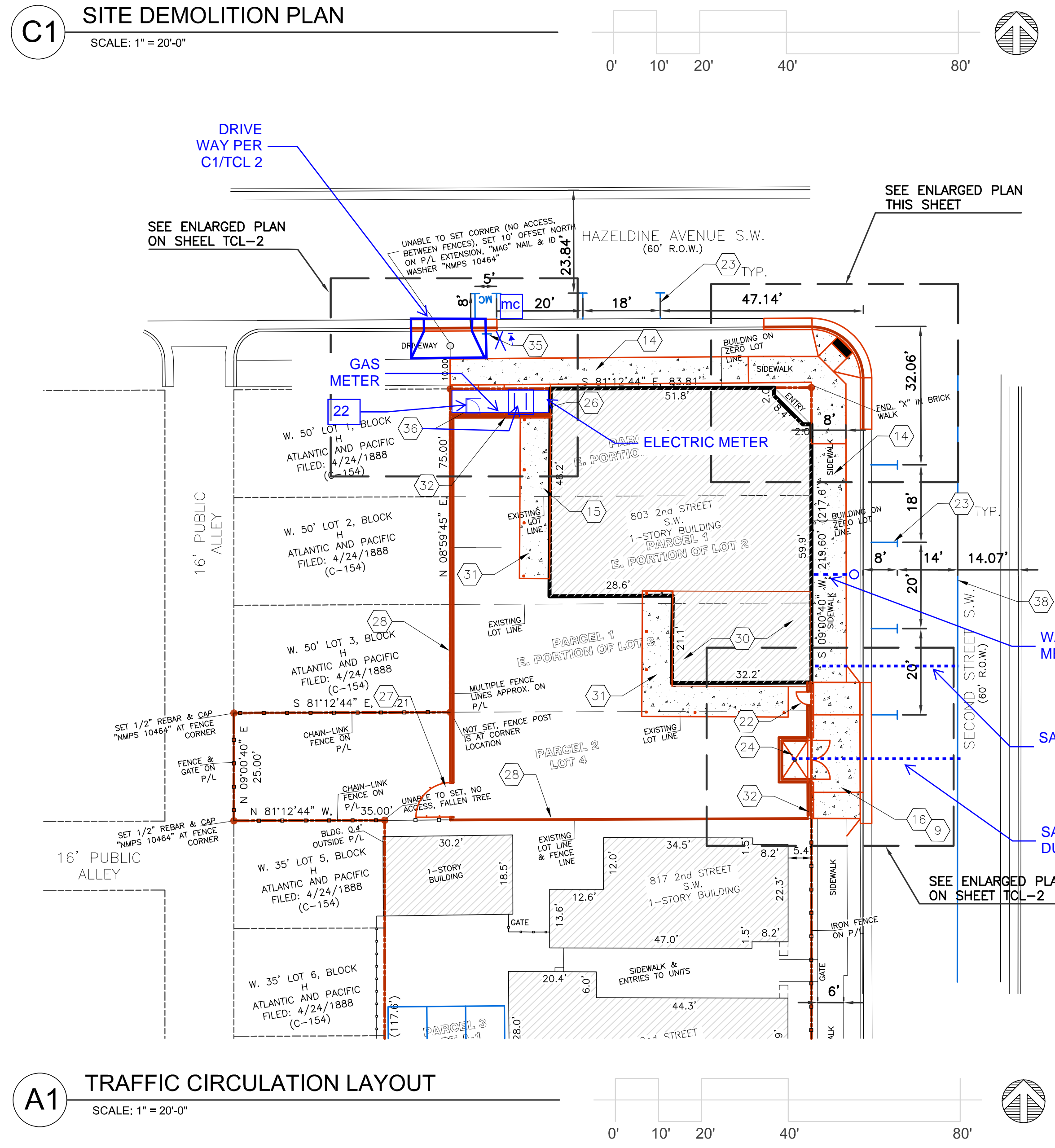
A handwritten signature in blue ink that reads 'Shannon VanDusen'.

Signature of Engineer or Architect

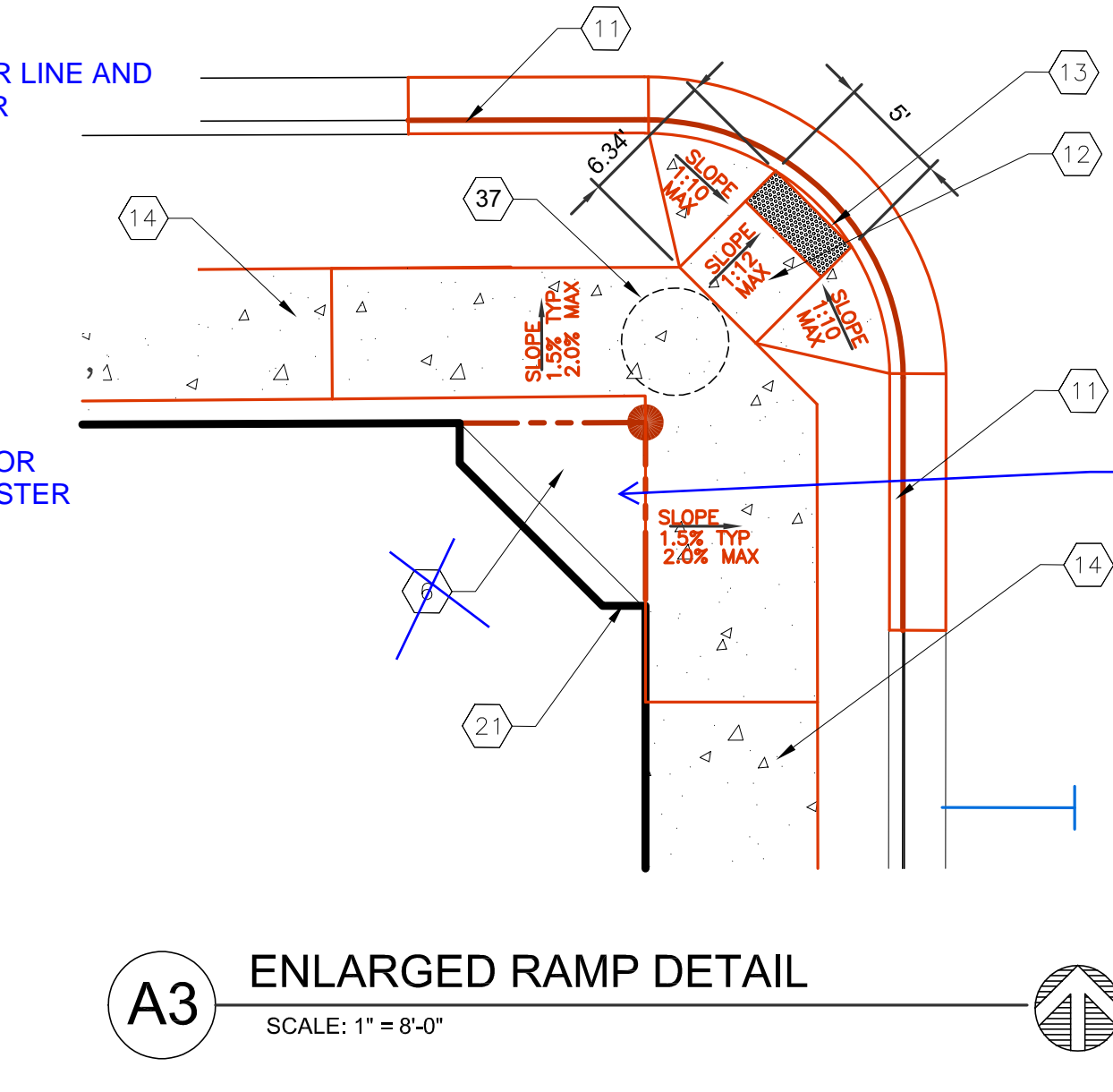
__09.06.23____ Date



21-Sep-21 16:56:45



- D3 ZONE ATLAS PAGE**
NOT TO SCALE
- KEYED NOTES**
1. REMOVE AND DISPOSE OF CURB AND GUTTER.
 2. REMOVE AND DISPOSE OF CONCRETE CURB RAMP.
 3. REMOVE AND DISPOSE OF CONCRETE SIDEWALK OR DRIVEWAY.
 4. REMOVE AND DISPOSE OF PORTION OF CONCRETE DRIVEPAD.
 5. REMOVE AND SALVAGE FENCE FABRIC. REMOVE AND DISPOSE OF FENCE POSTS AND FOUNDATIONS.
 6. EXISTING BRICK PAVERS AT ENTRANCE TO REMAIN.
 7. EXISTING CONCRETE SIDEWALK TO REMAIN.
 8. EXISTING BUILDING TO BE REMODELED. REFER TO ARCHITECTURAL PLANS.
 9. CONCRETE DRIVEPAD PER COA STD DWGS 2425A AND 2425B SHAPED LIKE A PARALLEL CURB ACCESS RAMP PER 2443.
 10. CONCRETE HEADER CURB, 6" TALL, PER COA STD DWG 2415A.
 11. STANDARD CURB AND GUTTER PER COA STD DWG 2415A.
 12. CONCRETE CURB ACCESS RAMP PER COA STD DWGS 2440 AND 2446, SIDE WINGS TO BE 1:10 MAX SLOPE.
 13. DETECTABLE WARNING SURFACE PER COA STD DWGS 2440 AND 2441.
 14. CONCRETE SIDEWALK PER COA STD DWG 2430.
 15. 4" THICK CONCRETE PAVEMENT WITH 4X4XW1.4XW1.4 WELDED WIRE FABRIC. MEDIUM BROOM FINISH. CONTROL JOINTS AT 6' MAX SPACING.
 16. DRIVEPAD TO BE USED REFUSE COLLECTING ROLLING PATH. CONSTRUCT PER COA STD DWG 2443 WITH THICKENED PAVEMENT PER 2524A, WITH HEADER CURB ALONG PROPERTY LINE EXCEPT ALONG REFUSE ENCLOSURE.
 17. ADA RESERVED PARKING SPACE.
 18. ADA VAN ACCESSIBLE RESERVED SIGN MOUNTED PER DETAIL D3/TCL-2.
 19. RESERVED PARKING SYMBOL PER DETAIL E1/TCL-2.
 20. EXISTING CONCRETE DRIVEWAY TO REMAIN.
 21. FIRE DEPARTMENT KNOX BOX.
 22. 6' TALL x 3' WIDE R PANEL PERSONNEL GATE. COLOR TO BE SELECTED BY ARCHITECT.
 23. 4" WIDE WHITE PARKING STRIPE SHOWN FOR PARKING TABULATION ONLY, NO STRIPING REQUIRED IN PUBLIC ROW.
 24. SWANSON 9'X6" REFUSE ENCLOSURE PAD PER DETAIL C2/TCL-2.
 25. REMOVE AND DISPOSE TO EXISTING ASPHALT DRIVEWAY.
 26. REMOVE AND DISPOSE OF EXISTING CHAIN LINK FENCE AND GATE.
 27. 3' WIDE 6' TALL R PANEL PERSONNEL SWING GATE.
 28. 6' TALL CONCRETE MASONRY UNIT SCREEN WALL.
 29. 12" TALL PAINTED LETTERS.
 30. PORTION OF BUILDING TO BE REMOVED AND REPLACED DUE TO STRUCTURAL CONCERNS.
 31. CONCRETE PATIO WITH 8'X8" TURN DOWN EDGE. SIDEWALK SIMILAR TO COA STD DWG 2430.
 32. 3' TALL CONCRETE MASONRY UNIT SCREEN WALL WITH R PANEL EXTENSION UP TO 6' TALL.
 33. NEW 3' WIDE (CLEAR OPENING) WROUGHT IRON GATE INSTALLING INTO EXISTING FENCING. MATCH EXISTING WROUGHT IRON HEIGHT, PICKET SIZE AND SPACING.
 34. EXISTING CONCRETE PAD WILL BE USED FOR NEW VAN ACCESSIBLE ADA STALL, INCLUDING PARKING BLOCK, RESERVED PARKING SYMBOL, AND SIGNAGE. PROVIDE 8' WIDE UNLOADING ZONE ON SOUTH SIDE. PROVIDE STRIPING TO INDICATED NO PARKING ON UNLOADING SIDE OF ADA STALL.
 35. MOTORCYCLE PARKING SPACE 5'X8' WITH WHITE 12" TALL "MC" LETTER ON THE PAVEMENT AND "MOTOR-CYCLE PARKING ONLY" SIGN PER DETAILS A2/TCL-2 AND B2/TCL-2.
 36. TWO BICYCLE RACKS ON 4" THICK CONCRETE PAD PER DETAIL E5/TCL-1.
 37. 5' TURNING POINT FOR ADA PATH. TURNING SPACE SHALL HAVE A MAX 2% SLOPE IN ALL DIRECTIONS. ALL LOCATED WITHIN EXISTING ROW.
 38. EXISTING CENTERLINE STRIPING

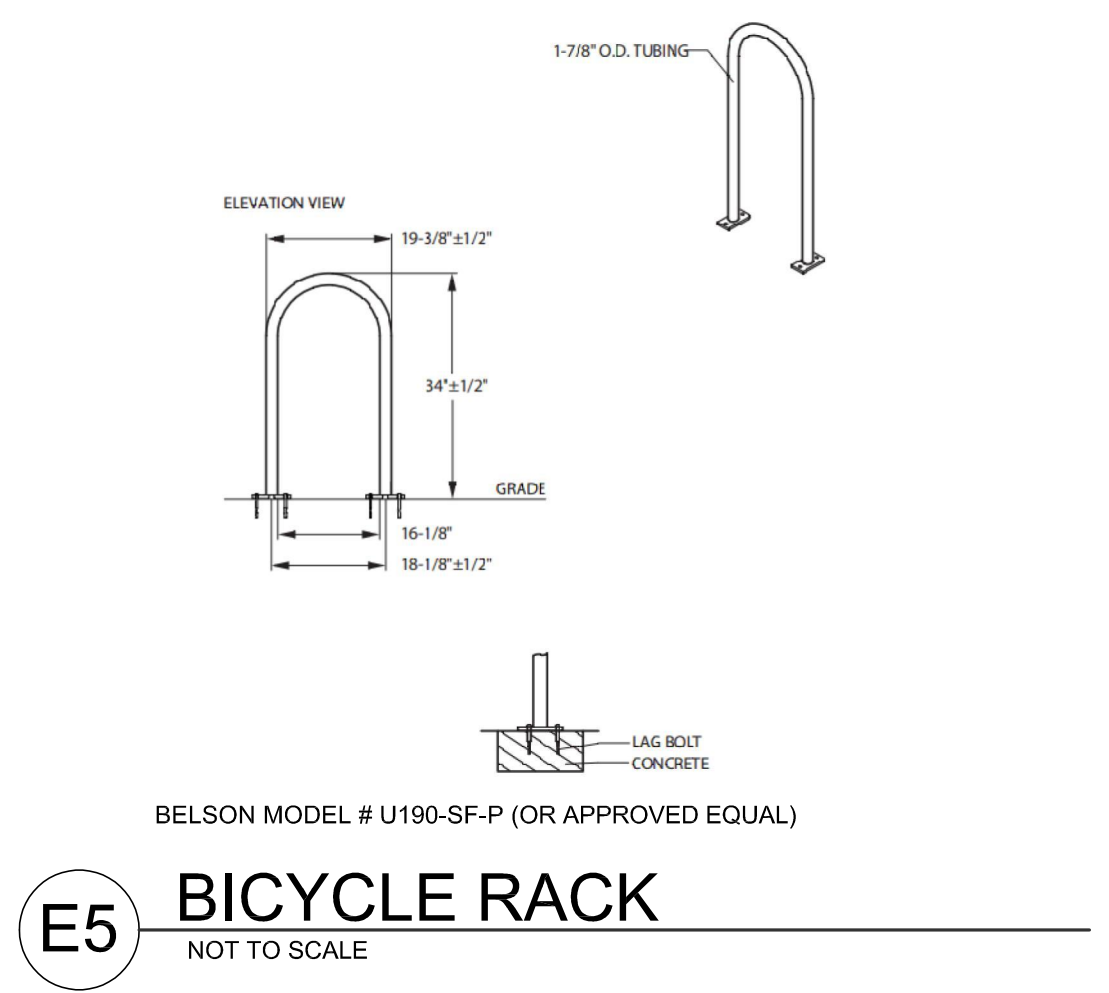
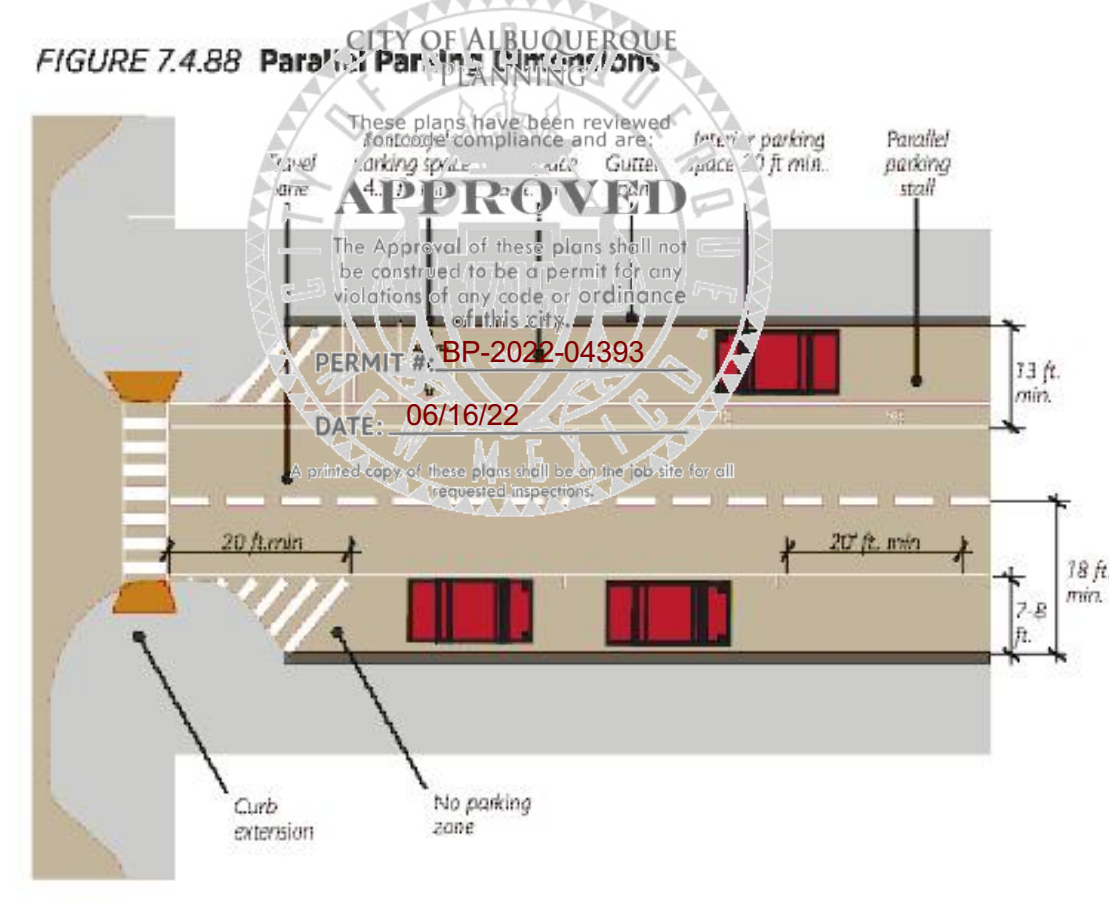
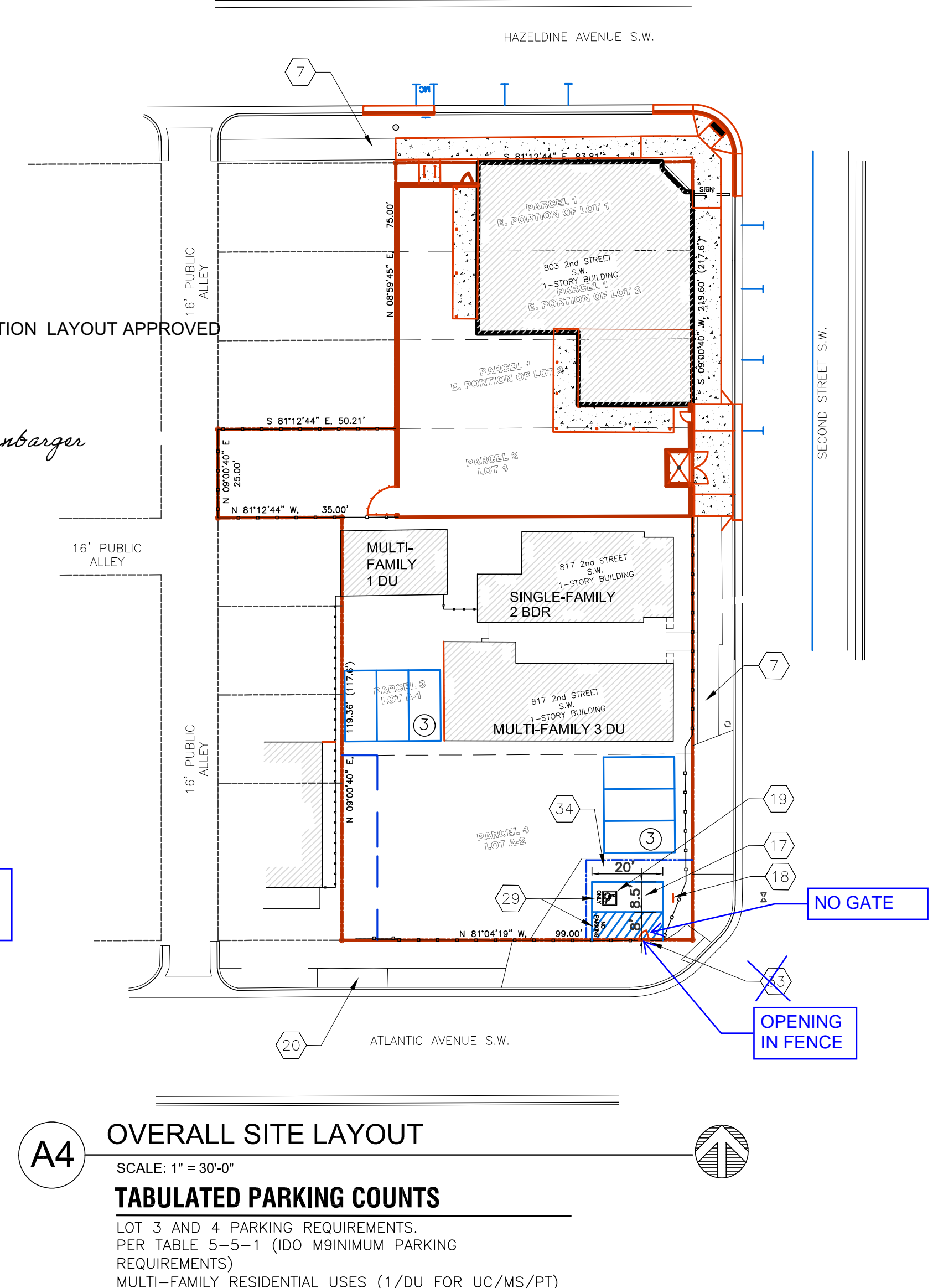


- 7-4(H)(2)(iii) Parallel Parking Design Guidance**
1. The required width of on-street parallel parking stalls is 7 feet to 8.5 feet, with wider stalls recommended on commercial streets with higher levels of parking turnover and on streets with speeds greater than 25 MPH. (See [TABLE 7.4.6\(1\)](#))
 2. The gutter pan may be used as part of the stall width.
 3. Where parallel on-street parking is adjacent to a bicycle lane (and there is insufficient space for reverse angle parking), the minimum combined width for the bicycle lane and the parallel parking stall is 13 feet (with a recommended 7 foot wide parallel parking stall and a 6 foot wide bicycle lane).
 4. The combined width of a parallel on-street parking stall and the adjacent travel lane should be a minimum of 18 feet.
 5. A 1.5 foot shy zone space or offset shall be provided between the curb edge and any vertical elements in the landscape/buffer zone.
 6. Individual stalls may be marked to increase the parking capacity. The minimum stall length is 20 feet for interior spaces and 18 feet for end spaces. (See [FIGURE 7.4.8B](#))
 7. Per [MUTCD](#), there shall be a 20-foot long space between the crosswalk or pedestrian crossing and the nearest on-street parking space. A curb extension may be used within that 20 foot area.

- TABULATED PARKING COUNTS**
- PROPOSED DAY CARE IS 3,594 SQUARE FEET.
- PER TABLE 5-5-1 (IDO M9INIMUM PARKING REQUIREMENTS)
DAY CARE IN MAIN STREET REQUIRES 1 SPACE PER 600 S.F. GFA.
SITE IS WITHIN THE 4TH STREET MAIN STREET OVERLAY.
- THIS REQUIRES 6 PARKING SPACES (INCLUDING 1 ADA).
PROVIDED PARKING IS 5 ON-STREET PARKING SPACES ADJACENT TO THE PROJECT SITE AND 1 UNDER A SHARED PARKING AGREEMENT.
- 1 MOTORCYCLE SPACE IS REQUIRED PER TABLE 5-5-4.
1 SPACE PROVIDED.
- BICYCLE PARKING PER IDO TABLE 5-5-5
MINIMUM REQUIRED 3 SPACES
PROVIDED 2 RACKS *4 BICYCLE SPACES
- GENERAL NOTES:**
- ALL BROKEN OR CRACKED SIDEWALKS OR CURB AND GUTTER ALONG THE PROJECT PARCEL FRONTAGE, TO BE REMOVED AND REPLACED PER CITY SIDEWALK DETAIL 2430 OF STANDARD CURB AND GUTTER PER DETAIL 2415A.

TRAFFIC CIRCULATION LAYOUT APPROVED
06/10/2022

Jeanne Wolfenbarger



scout
ARCHITECTURE + DESIGN

ARCHITECT/ENGINEER

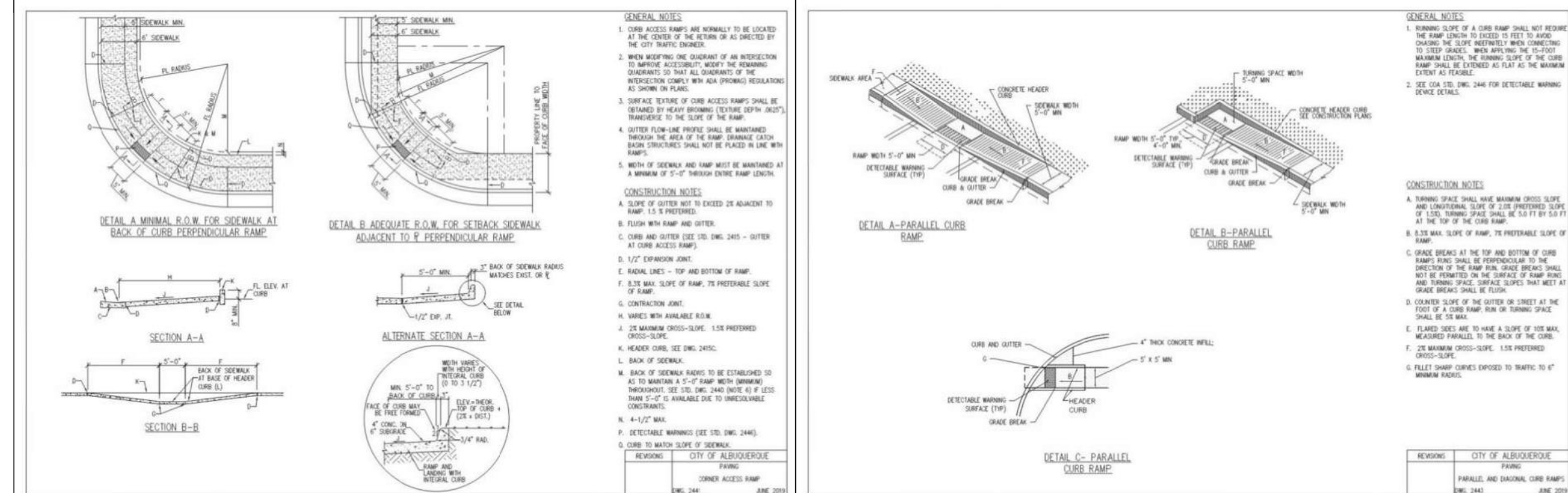
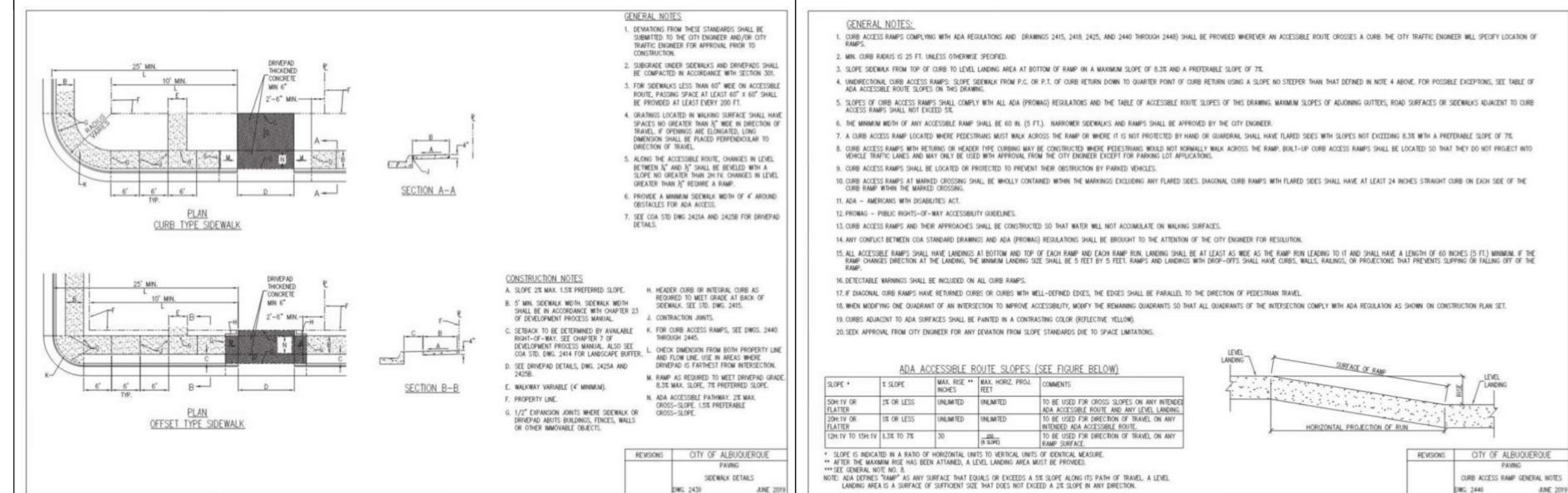
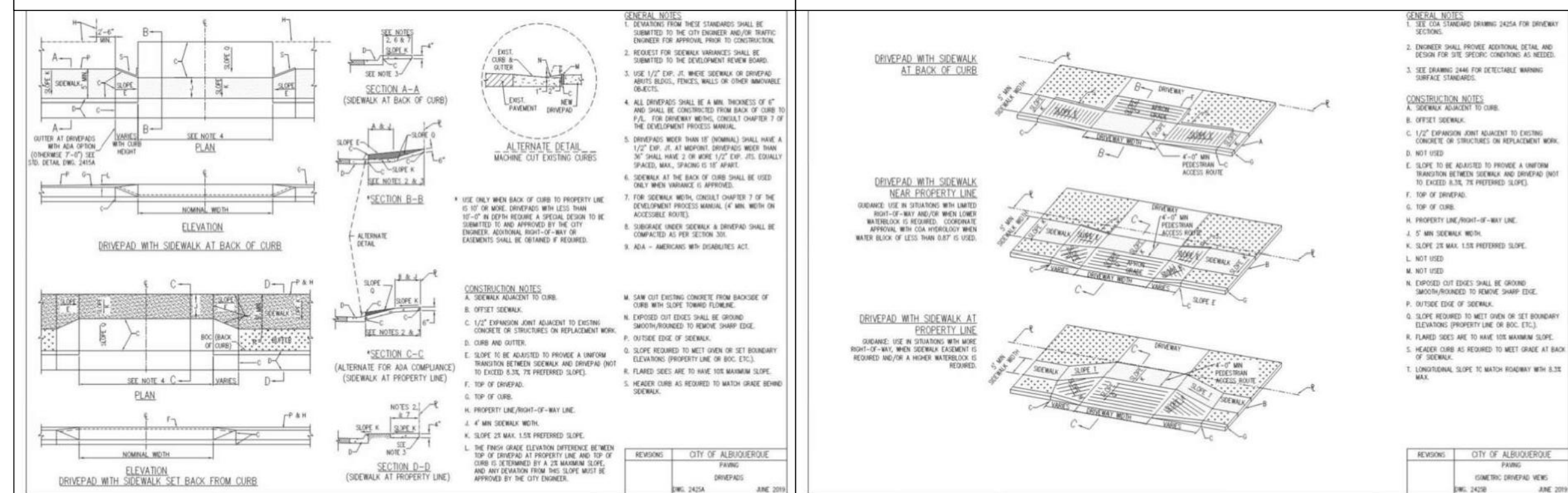
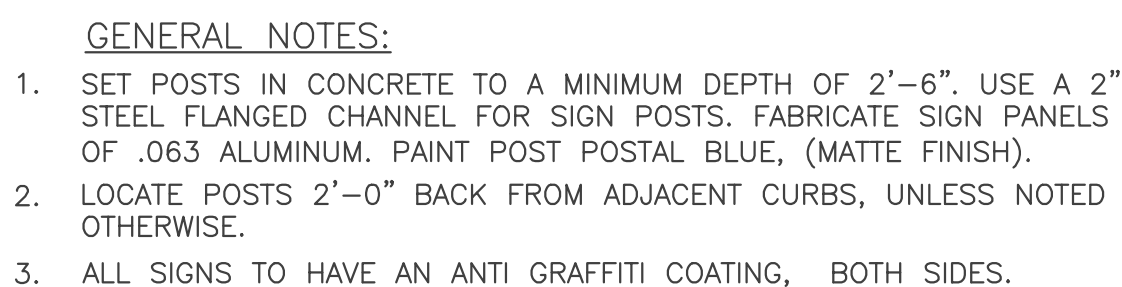
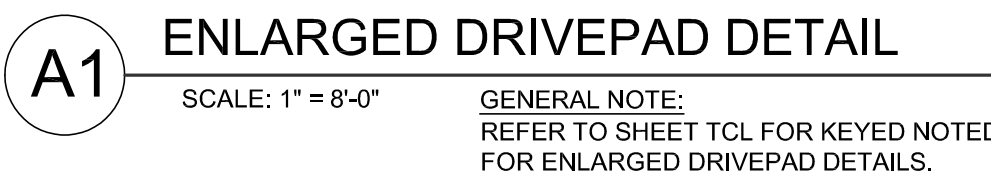
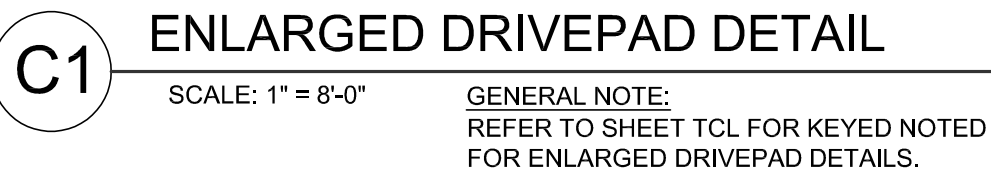
STATE OF NEW MEXICO
SHANNON VANDUSEN
NO. 005140
09.11.22
REGISTERED ARCHITECT

CATERPILLAR CLUBHOUSE
803 SECOND STREET SW
ALBUQUERQUE NM 87102

CONSTRUCTION DOCUMENTS

REVISION	DATE

DATE 5.6.22
PROJECT NO. -
TRAFFIC CIRCULATION LAYOUT
SHEET NO.
TCL-1



ARCHITECT/ ENGINEER



CATERPILLAR CLUBHOUSE

803 SECOND STREET SW
ALBUQUERQUE NM 87102

CONSTRUCTION
DOCUMENTS

REVISION	DATE
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DATE 1.28.22

PROJECT NC

TRAFFIC CIRCULATION LAYOUT DETAILS

SHEET NO.

TCL-2