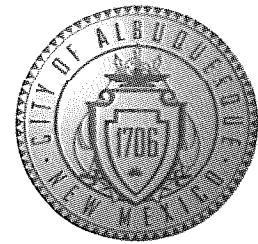


CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

May 6, 2022

Shannon VanDusen, RA
Scout Architecture + Design
2722 San Joaquin Ave. SE
Albuquerque, NM 87106

Re: Caterpillar Clubhouse
803 2nd St. SW
Traffic Circulation Layout
Architect's Stamp xx-xx-xx (K14-D227)

Dear Ms. Shannon,

Based upon the information provided in your submittal received 04-27-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
2. Please see attached revised ADA ramp at the corner of 2ND St. and Hazeldine Ave. Remove the blue flared sides and keep the green flared sides to avoid a tripping hazard. Please note that flared side are to have a slope of 10% max. Also, provide 5'X5' landing area with 2% max. slope, ramp dimensions, and sidewalk easement as needed.
3. Provide the 2nd St. driving Lane's width and Hazeldine Ave. Lane's width. To determine if there are adequate spaces for on-street parking.
4. Show on site plan 6' ADA pathway from ADA aisle (for the new ADA parking) to the building entrance.
5. Provide parking requirement calculation for Parcel 4 Lot A-2 showing that they have adequate parking spaces for shared parking spaces. And how there parking spaces are applicable.
6. Please relocate the ADA parking space to Lot 4 (IF APPLICABLE). Transportation is OKAY with ADA parking off Alleyway.
7. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
8. Due to relocation of Refuse Enclosure, provide a Solid Waste Approval.
9. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
10. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
11. Coordinate with Code Enforcement on shared parking agreement.

PO Box 1293

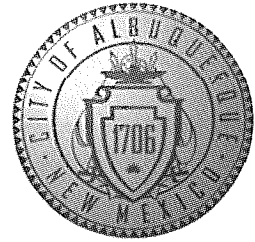
Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

12. Please provide a letter of response for all comments given.

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

For log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

PO Box 1293

Marwa Al-najjar.
Associate Engineer, Planning Dept.
Development Review Services

Albuquerque

NM 87103

ma via: email
C: CO Clerk, File

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 3/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

IS THIS A RESUBMITTAL?: ____ Yes ____ No

DEPARTMENT:

- ____ HYDROLOGY/ DRAINAGE
____ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

- ____ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR

____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)

____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ____ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY

____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL

____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



ARCHITECT/ ENGINEER

CATERPILLAR CLUBHOUSE

803 SECOND STREET SW
ALBUQUERQUE NM 87102

CONSTRUCTION
DOCUMENTS

REVISION	DATE
----------	------

DATE 1.28.22

PROJECT NO

TRAFFIC CIRCULATION LAYOUT

SHEET NO.

TCL-1

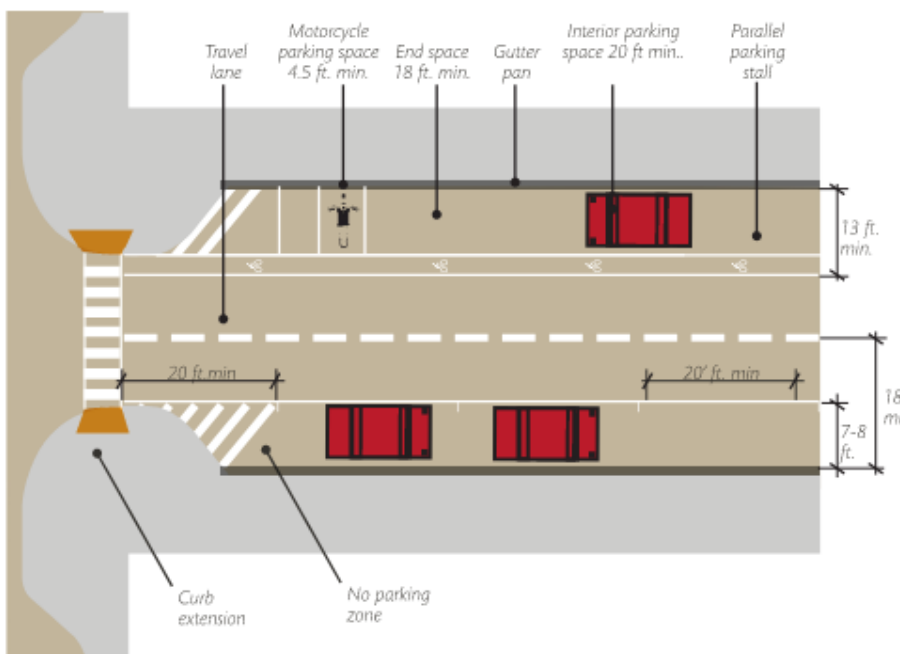


Diagram illustrating a two-lane street layout with dimensions and labels:

- Travel lane:** 13 ft wide.
- Motorcycle parking space:** 20 ft min.
- End space:** 18 ft min.
- Gutter pan:** Located between the end space and the trailer parking space.
- Trailer parking space:** 20 ft min.
- Passenger parking stall:** 13 ft min.
- Curb extension:** 7 ft wide.
- No parking zone:** 20 ft min.

1. The required width of on-street parallel parking stalls is 7 feet to 8.5 feet, with wider stalls recommended on commercial streets with higher levels of parking turnover and on streets with speeds greater than 25 MPH. (See [TABLE 7.4.61](#).)

Speed Limit	Stall Width
25 MPH	7 ft.
30-35 MPH	8 ft.

2. The gutter pan may be used as part of the stall width.
3. Where parallel on-street parking is adjacent to a bicycle lane (and there is insufficient space for reverse angle parking), the minimum combined width for the bicycle lane and the parallel parking stall is 13 feet (with a recommended 7 foot wide parallel parking stall and a 6 foot wide bicycle lane).
4. The combined width of a parallel on-street parking stall and the adjacent travel lane should be a minimum of 18 feet.
5. A 1.5 foot shy zone space or offset shall be provided between the curb edge and any vertical elements in the landscape/buffer zone.
6. Individual stalls may be marked to indicate the parking capacity. The minimum stall length is 20 feet for interior spaces and 18 feet for end spaces. (See [FIGURE 7.4.8B](#))
7. Per [MUTCD](#), there shall be a 20-foot long space between the crosswalk or pedestrian crossing and the nearest on-street parking space. A curb extension may be used within that 20 foot area.

TABULATED PARKING COUNTS

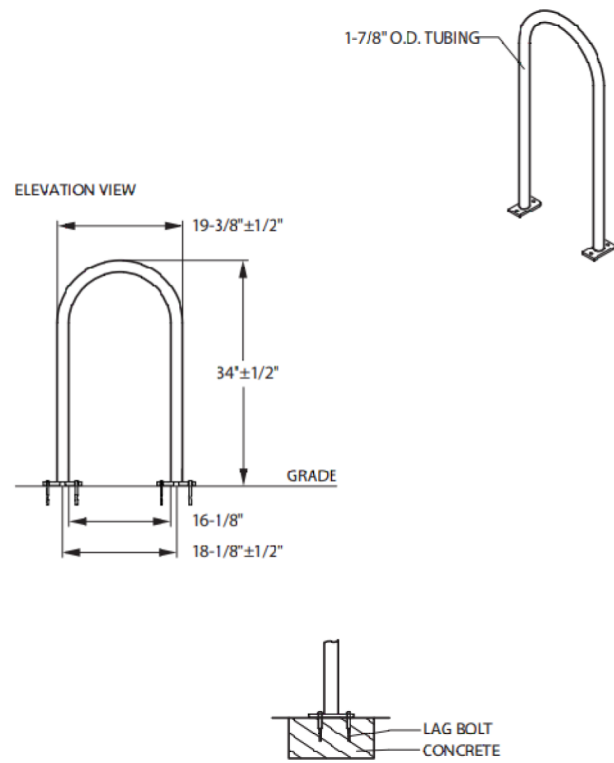
PROPOSED DAY CARE IS 3,594 SQUARE FEET.

PER TABLE 5-5-1 (IDO MINIMUM PARKING
REQUIREMENTS)
DAY CARE IN MAIN STREET REQUIRES 1 SPACE PER 600
S.F. GFA.
SITE IS WITHIN THE 4TH STREET MAIN STREET OVERLAY.

THIS REQUIRES 6 PARKING SPACES (INCLUDING 1 ADA).
PROVIDED PARKING IS 5 ON-STREET PARKING SPACES
ADJACENT TO THE PROJECT SITE AND 1 UNDER A SHARED
PARKING AGREEMENT.

1 MOTORCYCLE SPACE IS REQUIRED PER TABLE 5-5-4.
1 SPACE PROVIDED.

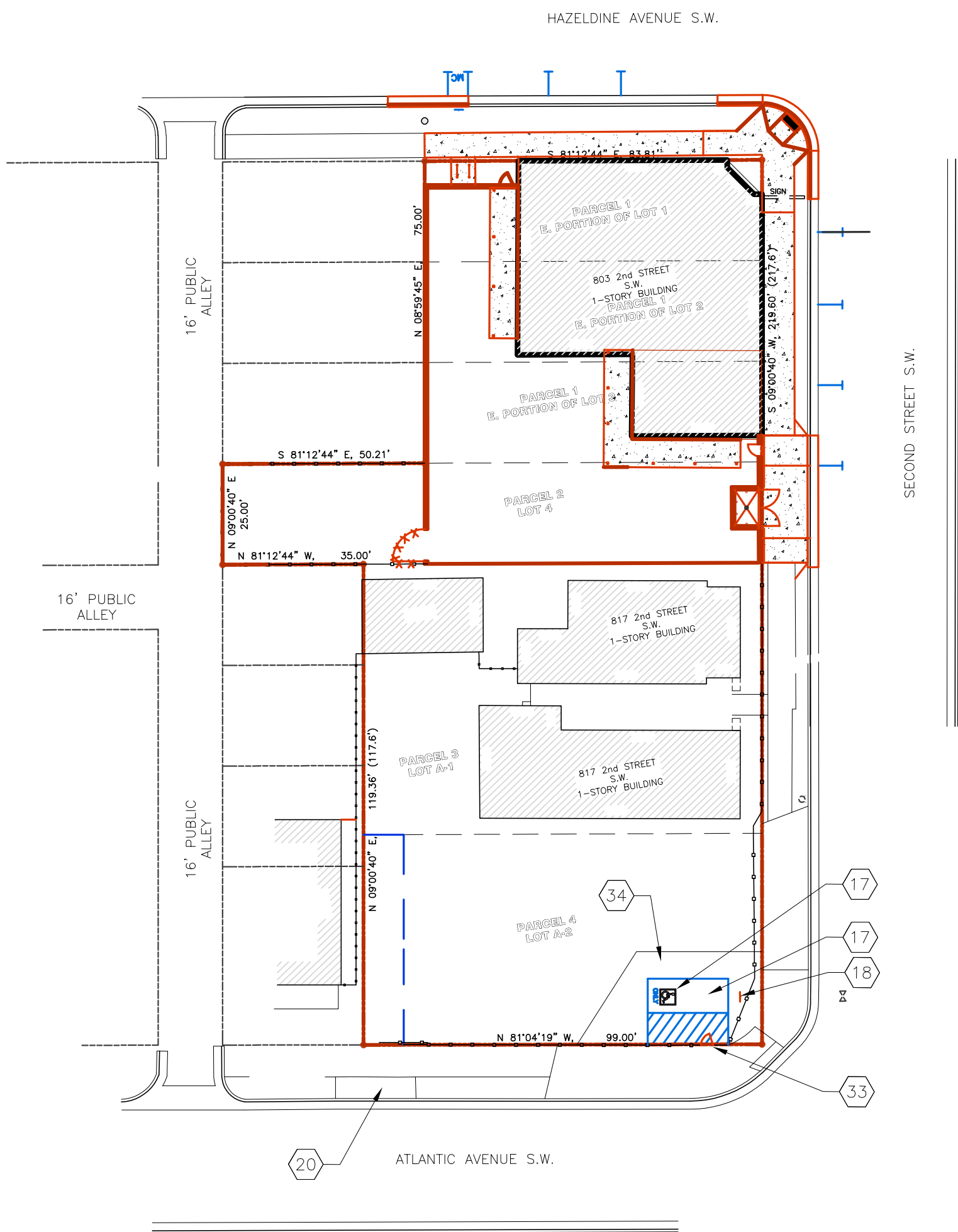
BICYCLE PARKING PER IDO TABLE 5-5-5
MINIMUM REQUIRED 3 SPACES
PROVIDED 2 RACKS *4 BICYCLE SPACES



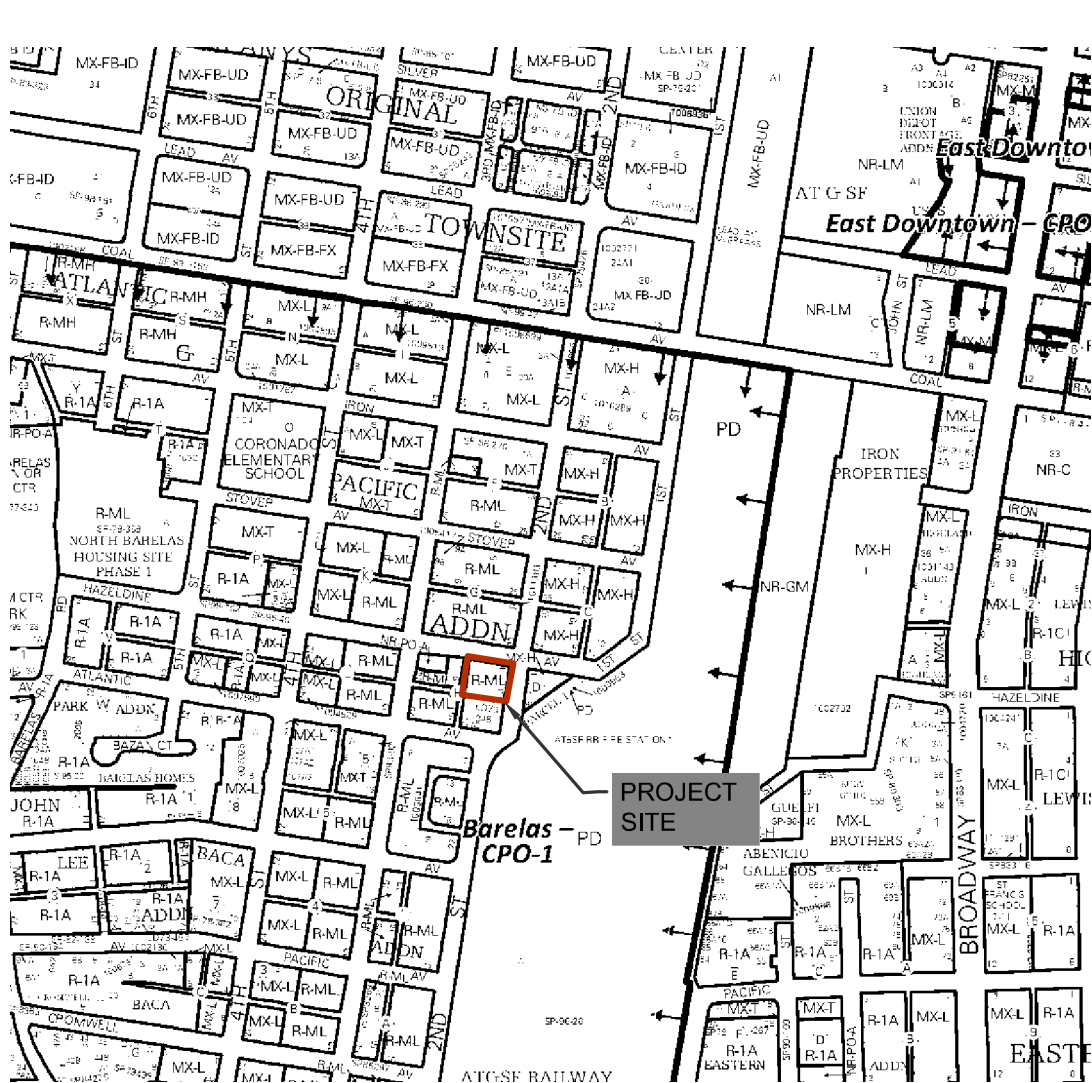
BELSON MODEL # U190-SF-P (OR APPROVED EQUAL)

E5 BICYCLE RACK
NOT TO SCALE

NOT TO SCALE



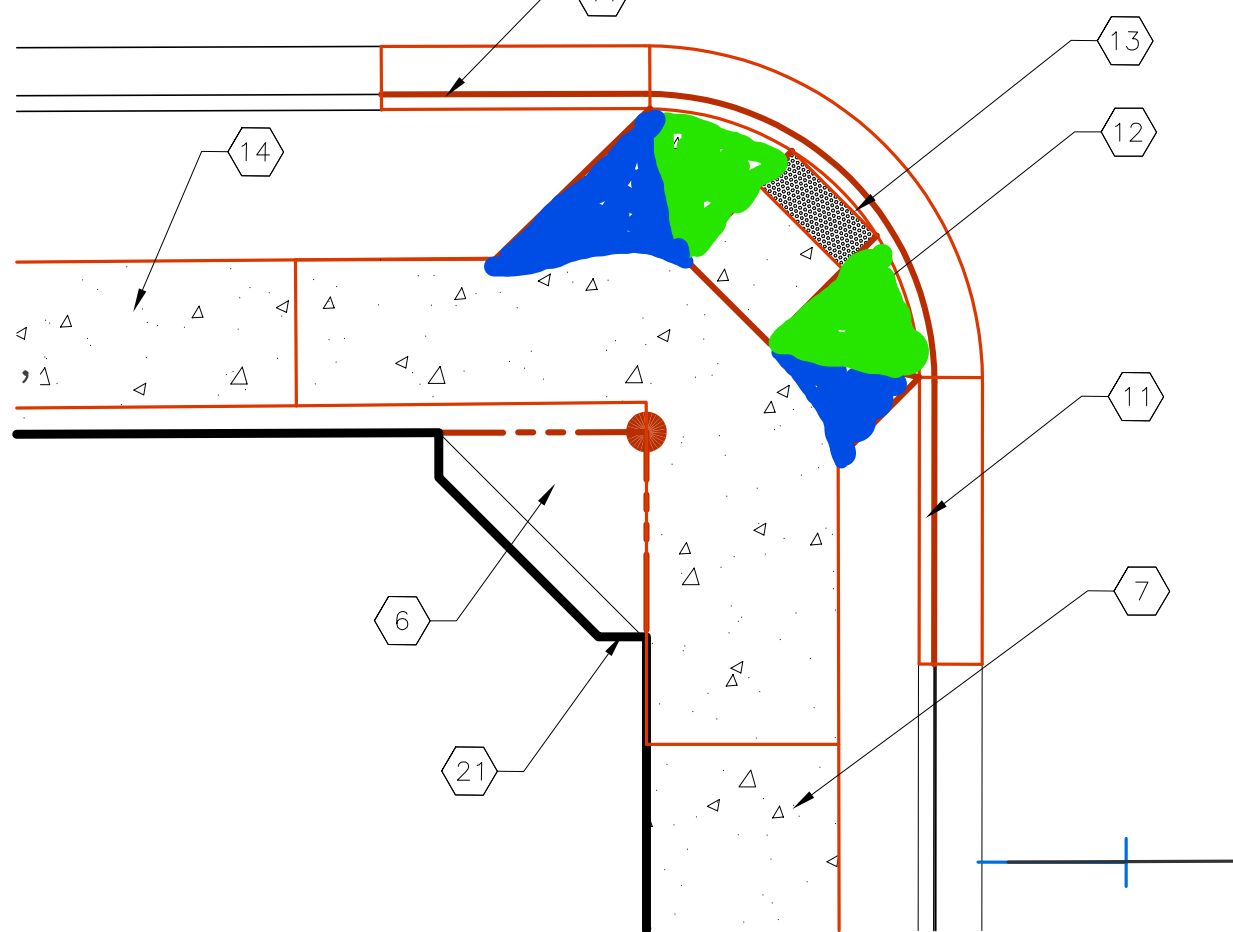
A4 OVERALL SITE LAYOUT
SCALE: 1" = 30'-0"



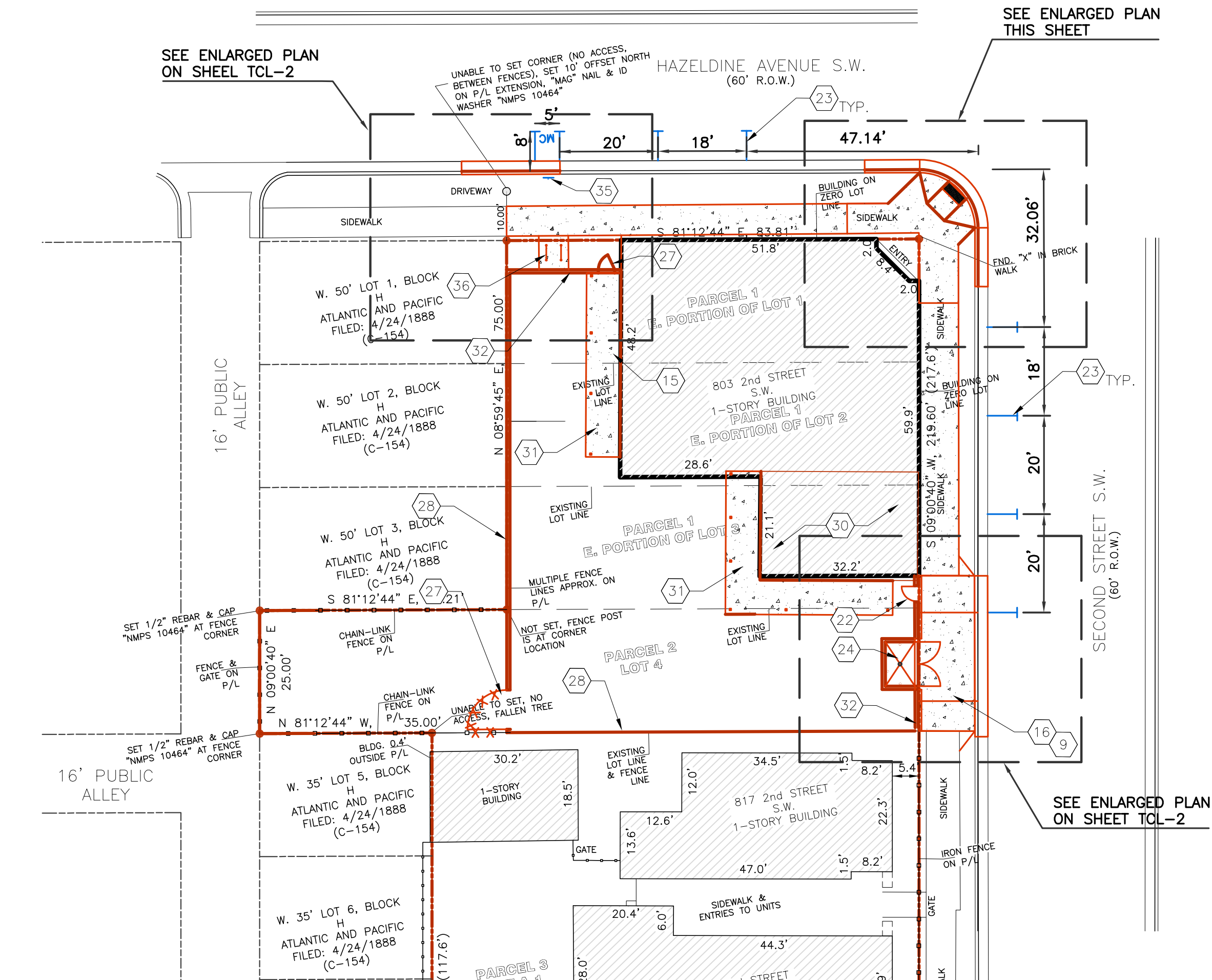
D3 ZONE ATLAS PAGE
NOT TO SCALE

KEYED NOTES

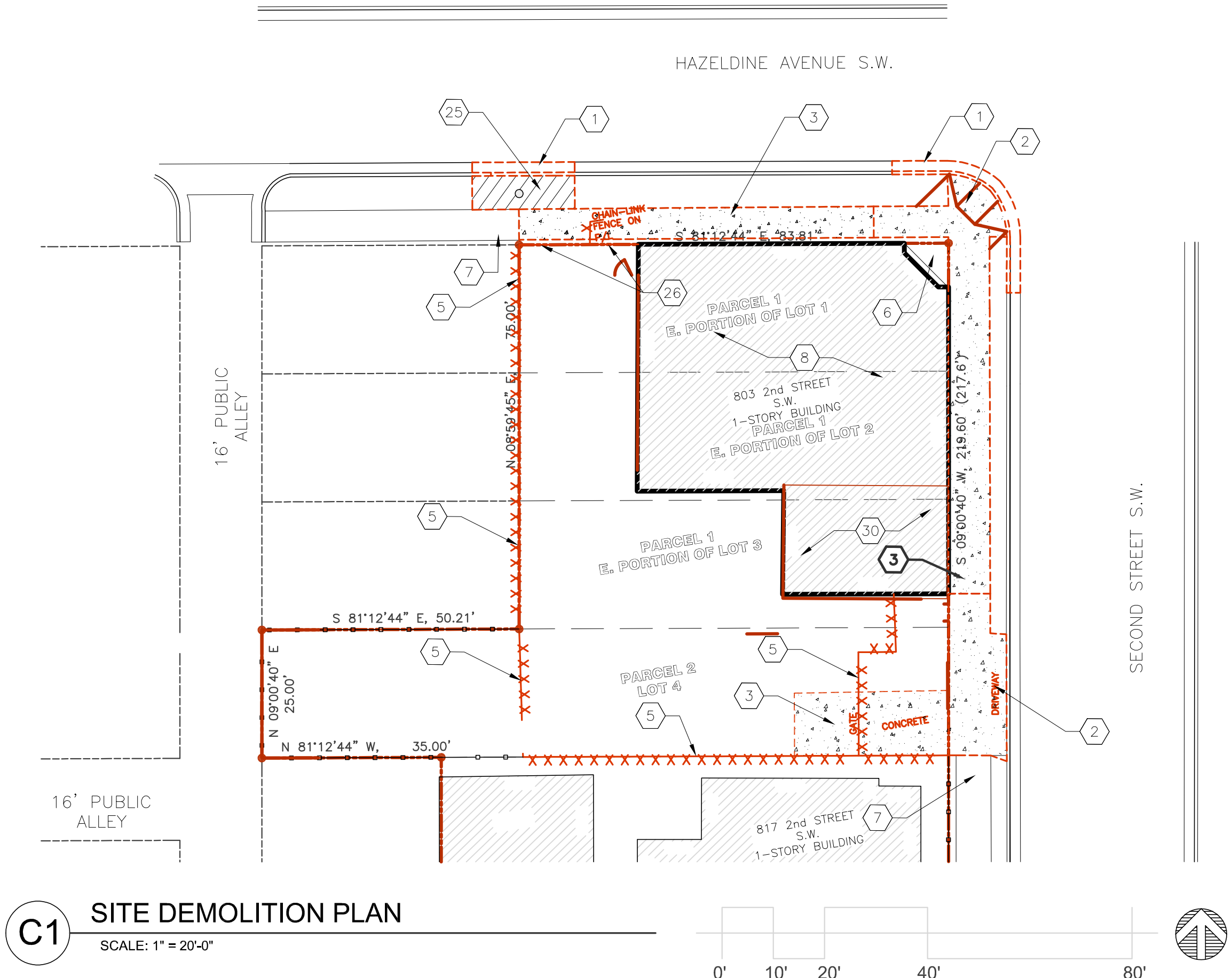
2. REMOVE AND DISPOSE OF CURB AND GUTTER.
3. REMOVE AND DISPOSE OF CONCRETE CURB RAMP.
4. REMOVE AND DISPOSE OF CONCRETE SIDEWALK OR DRIVEWAY.
5. REMOVE AND DISPOSE OF PORTION OF CONCRETE DRIVEPAD.
6. REMOVE AND SALVAGE FENCE FABRIC. REMOVE AND DISPOSE OF FENCE POSTS AND FOUNDATIONS.
7. EXISTING BRICK PAVERS AT ENTRANCE TO REMAIN.
8. EXISTING CONCRETE SIDEWALK TO REMAIN.
9. EXISTING BUILDING TO BE REMODELED. REFER TO ARCHITECTURAL PLANS.
10. CONCRETE DRIVEPAD PER COA STD DWGS 2425A AND 2425B. (ALSO USED AS PAVEMENT REQUIREMENTS WITHIN PARALLEL ADA RAMP BECAUSE VEHICLES CAN TURN ON UNLOADING SIDE OF RAMP.)
11. CONCRETE HEADER CURB, 6" TALL, PER COA STD DWG 2415A.
12. STANDARD CURB AND GUTTER PER COA STD DWG 2415A.
13. CONCRETE CURB ACCESS RAMP PER COA STD DWGS 2440 AND 2446.
14. DETECTABLE WARNING SURFACE PER COA STD DWGS 2440 AND 2441.
15. CONCRETE SIDEWALK PER COA STD DWG 2430.
16. 4" THICK CONCRETE PAVEMENT WITH 4X4X1/4X1/4 WELDED WIRE FABRIC. MEDIAN FORM FINISH. CONTRA JOINTS AT 6' MAX SPACING.
17. WIDE PARALLEL CURB ACCESS RAMP TO BE USED ON UNLOADING ZONE FOR ADA PARKING. CONSTRUCT PER COA STD DWG 2443, WITH HEADER CURB ALONG PROPERTY LINE. NO DETECTABLE WARNING SURFACE REQUIRED. CONCRETE TO BE THICKENED PER 2425A AS IT IS POSSIBLE TO HAVE VEHICLES DRIVING ON SIDEWALK AND RAMPS.
18. ADA RESERVED PARKING ENLARGED PLAN ON TCL-2.
19. ADA VAN ACCESSIBLE RESERVED SIGN MOUNTED PER DETAIL D3/TCL-2.
20. RESERVED PARKING SYMBOL PER DETAIL E1/TCL-2.
21. EXISTING CONCRETE DRIVEWAY TO REMAIN.
22. FIRE DEPARTMENT KNOX BOX.
23. 6" TALL x 3' WIDE R PANEL PERSONNEL GATE. COLOR TO BE SELECTED BY ARCHITECT.
24. 3' WIDE WHITE PARKING STRIPE SHOWN FOR PARKING TABULATION ONLY, NO STRIPING REQUIRED IN PUBLIC ROW.
25. CONSTRUCTION REFUSE ENCLOSURE PAD PER DETAIL C2/TCL-2.
26. REMOVE AND DISPOSE TO EXISTING ASPHALT DRIVEWAY.
27. REMOVE AND DISPOSE OF EXISTING CHAIN LINK FENCE AND GATE.
28. 3' WIDE 6" TALL R PANEL PERSONNEL SWING GATE.
29. 6" TALL CONCRETE MASONRY UNIT SCREEN WALL.
30. 12" TALL PAINTED LETTERS.
31. PORTION OF BUILDING TO BE REMOVED AND REPLACED DUE TO STRUCTURAL CONCERNS.
32. 3' TALL PATIO WITH 8"X8" TURN DOWN EDGE. SIDEWALK SIMILAR TO COA STD DWG 2430.
33. 3' TALL CONCRETE MASONRY UNIT SCREEN WALL WITH R PANEL EXTENSION UP TO 6' TALL.
34. NEW 3' WIDE (CLEAR OPENING) WROUGHT IRON GATE INSTALLING INTO EXISTING FENCING. MATCH EXISTING WROUGHT IRON HEIGHT, PICKET SIZE AND SPACING.
35. EXISTING CONCRETE PAD WILL BE USED FOR NEW VAN ACCESSIBLE ADA STALL INCLUDING PARKING BLOCK, RESERVED PARKING SYMBOL, AND SIGNAGE.
36. WIDE UNLOADING ZONE ON SOUTH SIDE. PROVIDE STRIPING TO INDICATED NO PARKING ON UNLOADING SIDE OF ADA STALL.
37. MOTORCYCLE PARKING SPACE 5'X8' WITH WHITE 12" TALL "MC" LETTER ON THE PAVEMENT AND "MOTOR-CYCLE PARKING ONLY" SIGN PER DETAILS A2TCL-2 AND B2/TCL-2.
38. TWO BICYCLE RACKS ON 4" THICK CONCRETE PAD PER DETAIL E5/TCL-1.



A3 ENLARGED RAMP DETAIL
SCALE: 1" = 8'-0"



A1 TRAFFIC CIRCULATION LAYOUT
SCALE: 1" = 20'-0"



C1 SITE DEMOLITION PLAN
SCALE: 1" = 20'-0"

SHARED PARKING AGREEMENT

This Shared Use Agreement for Parking Facilities, entered into this 22nd day of April, 2022, between Homewise, Inc., hereinafter called lessor and Homewise, Inc., hereinafter called lessee.

In consideration of the covenants herein, lessor agrees to share with lessee certain parking facilities, as is situated in the City of Albuquerque, County of Bernalillo and State of New Mexico, hereinafter called the facilities, shown on Attachment A.

The facilities shall be shared commencing with the day that Homewise, Inc. receives the Certificate of Occupancy for the Daycare for \$1/year. The lessee agrees to pay at 500 Second St SW, Albuquerque, NM 87102 to lessor by the 15th of January of each year.

Lessor hereby represents that it holds legal title to the facilities.

The parties agree:

1. USE OF FACILITIES

Lessee shall have exclusive use of one (1) ADA accessible parking space highlighted in Attachment A. The use of this designated parking space shall be 24 hours a day, seven days a week.

2. SIGNAGE

Lessee may provide signage, meeting with the written approval of lessor, designating usage allowances and restrictions.

3. COOPERATION

Lessor and lessee agree to cooperate to the best of their abilities to mutually use the facilities without disrupting the other party. The parties agree to meet on occasion to work out any problems that may arise to the shared use.

4. INSURANCE

At their own expense, lessor and lessee agree to maintain liability insurance for the facilities as is standard for their own business usage.

5. INDEMNIFICATION

Lessee shall indemnify, protect, defend, and hold harmless the Shared Parking, lessor and its members, managers, employees, agents, contractors, partners, and lenders from and against any and all claims, actions, demands, suits, proceedings, orders, liens, judgments, penalties, attorneys' and consultants' fees, expenses, and/or liabilities (collectively, "Claims") arising out of, involving, or in connection with the use and/or occupancy of the Shared Parking.

6. TERMINATION

If lessor transfers ownership, or if part of all of the facilities are condemned, or access to the facilities is changed or limited, lessee may, in its sole discretion terminate this agreement without further liability by giving lessor not less than 60 days prior written notice.

SHARED PARKING AGREEMENT

Upon termination of this agreement, lessee agrees to remove all signage and repair damage due to excessive use or abuse. Lessor agrees to give lessee the right of first refusal on subsequent renewal of this agreement.

LESSOR:

HOMEWISE, INC.
a New Mexico limited liability company

By: 

Name: DANIEL J. SURIN

Title: SR. Dir. RAD

LESSEE:

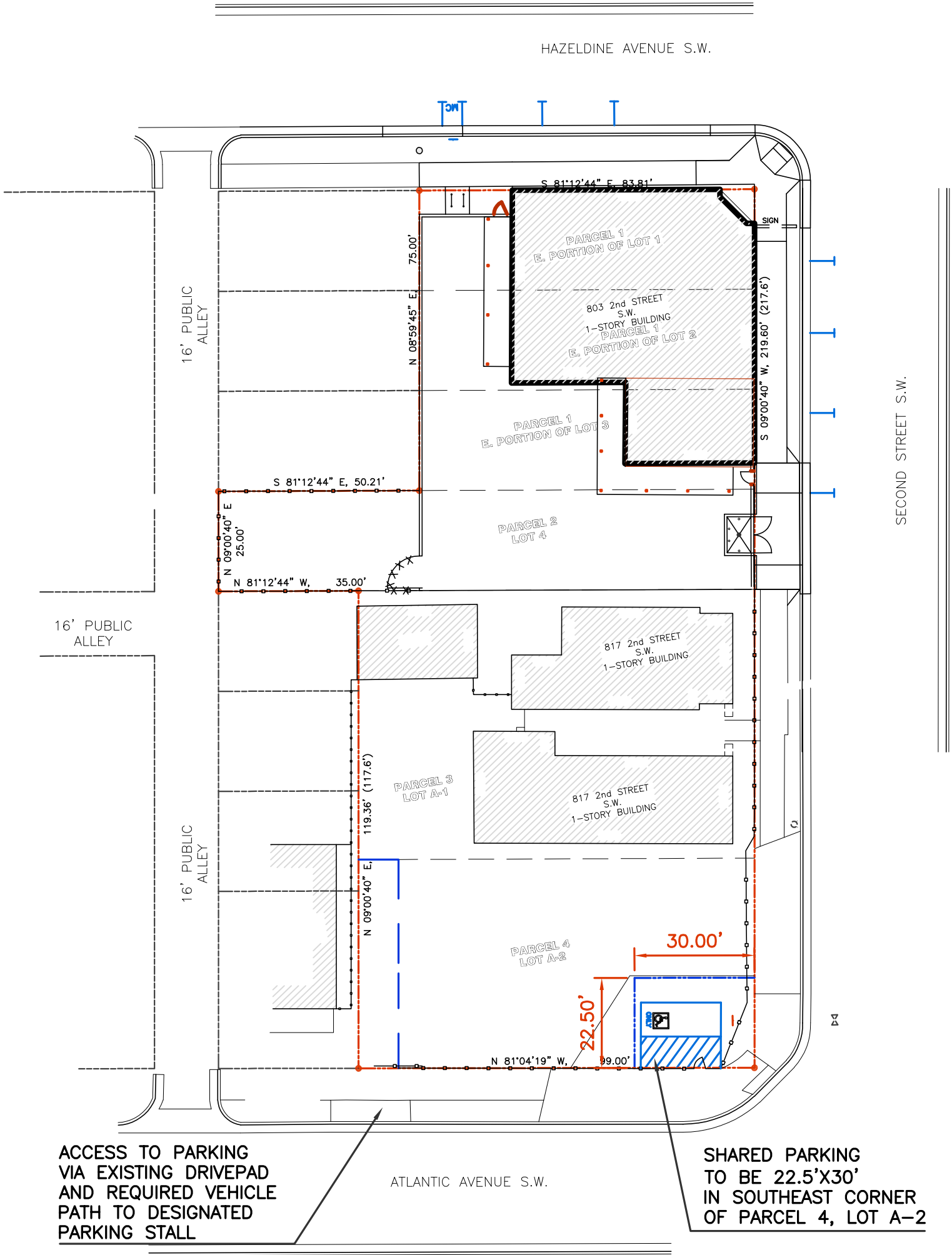
HOMEWISE, INC.,
a New Mexico non-profit corporation

By: 

Name: DANIEL J. SURIN

Title: SR. Dir. RAD

ATTACHMENT A



SHARED PARKING PLAN

SCALE: 1" = 30'-0"



- NOTES:
- 1. ACCESS PATH WITHIN PARCEL 4, LOT A-2 TO REMAIN OPEN DURING BUSINESS HOURS OR DAYCARE.
 - 2. PERSONNEL GATE THROUGH EXISTING FENCE TO BE INSTALLED BY LESSEE.

RECIPROCAL EASEMENTS FOR COMMON ACCESS

This Easement Agreement is entered into between Homewise, Inc. owner of Lots numbered One (1), Two (2), Three (3), and 4 (4) of Atlantic and Pacific Addition, City of Albuquerque, County of Bernalillo, State of New Mexico and Homewise, Inc. owner of Lots numbered One (1), Two (2), Three (3), and Four (4) of Atlantic and Pacific Addition, City of Albuquerque, County of Bernalillo, State of New Mexico.

The parties have an interest in adjoining real estate situated in the City of Albuquerque, County of Bernalillo, State of New Mexico and described as follows:

A tract of land situated in the City of Albuquerque, New Mexico, being comprised of the Easterly fraction of Lots numbered One (1), Two (2), Three (3) and Lot numbered Four (4) of Block lettered "H", of Atlantic and Pacific Addition to the City of Albuquerque, New Mexico, as shown and designated on the plat of said Addition filed in the office of the Probate Clerk and Ex-officio Recorder of Bernalillo County, New Mexico, on the 24th day of April, 1888, which said tract is more particularly described as follows: BEGINNING at the Northeast corner No. 1 of the tract herein set forth, being the identical Northeast corner of said Lot numbered One (1) and being further described as a point marking the intersection of the Westerly right of way line of South Second Street with the Southerly right of way line of West Hazeldine Avenue, and running thence Southerly along the Westerly right of way line of said South Second Street with distance of 100 feet to the Southeast corner No. 2 of the tract herein set forth being the identical Southeast corner of said Lot numbered Four (4); thence Westerly along the Southerly boundary of said Lot numbered Four (4) a distance of 133.81 feet to the Southwest corner No. 3 of the tract herein being the identical Southwest corner of said Lot numbered Four (4); thence Northerly along the Westerly boundary of said Lot numbered Four (4) a distance of 25 feet to the Northwest corner No. 4 of the tract herein being the identical Northwest corner of said Lot numbered Four (4); thence Easterly along the Northerly boundary of said Lot numbered Four (4) a distance of 50 feet to the Southwest corner No. 5, a point 50 feet Easterly from, measured at right angle to, the Easterly right of way line of the public alley running in a Northerly and Southerly direction through said Block lettered "H"; thence Northerly and along a line 50 feet Easterly from, measured at right angle to, said last named public alley right of way line a distance of 75 feet to the Northwest corner No. 6 of the tract herein set forth, a point on the Southerly right of way line of West Hazeldine Avenue; thence Easterly along said line of West Hazeldine Avenue a distance of 83.81 feet to the place of beginning.

The parties desire to create a common access easement between the above-described adjoining lots providing access to said lots owned by them for the benefit of each of them; and therefore agree as follows.

An easement for a common access is granted by Lots One (1), Two (2), Three (3), and Four (4) of owned by Homewise, Inc., over each lot described above, in favor of Lots One (1), Two (2), Three (3), and Four (4) of owned by Homewise, Inc. for the purpose of creating a common access for the benefit of all parties of the above described lots.

This easement is superior and paramount to the rights of any of the parties hereto in the respective servient estates so created, and the parties further agree that it is a covenant that shall run with the land.

The maintenance of the easement areas are the responsibility of the respective property owners.

In witness whereof, the parties hereto have executed this agreement as follows:

ACKNOWLEDGED:

Date 4/22, 20 22

[Signature]

Owner (Owner of Lot 1)

WITNESSED:

**STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)**

On this 22 day of April, 2022, before me personally appeared Daniel Slavin, and to me known to be the person described in and who executed the foregoing instrument, and acknowledged that he (or they) executed the same as his (or their) free act and deed.

[Signature]
Notary 1st Party

My Commission Expires

June 4, 2022:

STATE OF NEW MEXICO
NOTARY PUBLIC
NATALY CORRALES
COMMISSION # 1122357
COMMISSION EXPIRES 06/04/2022

ACKNOWLEDGED:

Date 4/22, 20 22

[Signature]

Owner (Owner of Lot 2)

WITNESSED:

**STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)**

On this 22 day of April, 2022, before me personally appeared Daniel Slavin, and to me known to be the person described in and who executed the foregoing instrument, and acknowledged that he (or they) executed the same as his (or their) free act and deed.

[Signature]
Notary 2nd Party

My Commission Expires

June 4, 2022:

ACKNOWLEDGED:

Date 4/22, 20 22

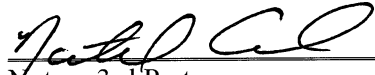
[Signature]

STATE OF NEW MEXICO
NOTARY PUBLIC
NATALY CORRALES
COMMISSION # 1122357
COMMISSION EXPIRES 06/04/2022

Owner (Owner of Lot 3)

WITNESSED:
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

On this 22 day of April, 2022, before me personally appeared Daniel Slavin, and to me known to be the person described in and who executed the foregoing instrument, and acknowledged that he (or they) executed the same as his (or their) free act and deed.


Notary 3rd Party

My Commission Expires

June 4, 2022 :

STATE OF NEW MEXICO
NOTARY PUBLIC
NATALY CORRALES
COMMISSION # 1122357
COMMISSION EXPIRES 06/04/2022

ACKNOWLEDGED:

Date 4/22, 2022



Owner (Owner of Lot 4)

WITNESSED:
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

On this 22 day of April, 2022, before me personally appeared Daniel Slavin, and to me known to be the person described in and who executed the foregoing instrument, and acknowledged that he (or they) executed the same as his (or their) free act and deed.


Notary 4th Party

My Commission Expires

June 4, 2022 :

STATE OF NEW MEXICO
NOTARY PUBLIC
NATALY CORRALES
COMMISSION # 1122357
COMMISSION EXPIRES 06/04/2022

RELEASE OF RIGHT-OF-WAY EASEMENT

Grantor, Jerry Rascon, is the present owner of the Right-of-Way Easement and, for consideration paid, Grantor releases, relinquishes, surrenders, and quitclaims to Homewise, Inc., a New Mexico nonprofit corporation, the present owner of the surface lands, described below, all of Grantor's rights, title and interests in the following Right-of-Way Easement:

The East 12 feet of the West 62 feet of Lot numbered One (1) and the East 12 feet of the West 62 feet of the North 23 feet of Lot 2 in said Block "H",

on the following lands:

A tract of land situate in the City of Albuquerque, New Mexico, being and comprising the Easterly fraction of Lots numbered One (1), Two (2), and Three (3) of Block lettered "H", of Atlantic and Pacific Addition to the City of Albuquerque, New Mexico, as shown and designated on the plat of said Addition filed in the office of the Probate Clerk and Ex-officio Recorder of Bernalillo County, New Mexico, on the 24th day of April, 1888, which said tract is more particularly described as follows:

BEGINNING at the Northeast corner No. 1 of the tract herein set forth, being the identical Northeast corner of said Lot numbered One (1) and being further described as a point marking the intersection of the westerly right of way line of South Second Street with the Southerly right of way line of West Hazeldine Avenue, and running thence Southerly along the Westerly right of way line of said South Second street with a distance of 75 feet to the Southeast corner No.2 of the tract herein set forth being the identical Southeast corner of said Lot numbered Three (3); thence Westerly along the Southerly boundary of said Lot numbered Three (3) a distance of 83.79 feet to the Southwest corner No. 3 of the tract herein set forth, a point 50 feet Easterly from, measured at right angle to, the Easterly way line of the public alley running in a Northerly and Southerly direction through said Block lettered "H"; thence Northerly and along a line 50 feet Easterly from, measured at right to, said last named public alley right of way line a distance of 75 feet to the Northwest corner No. 4 of the tract herein set forth, a point on the Southerly right of way line of West Hazeldine Avenue; thence Easterly along said line of West Hazeldine Avenue a distance of 83.81 feet to the place of beginning.

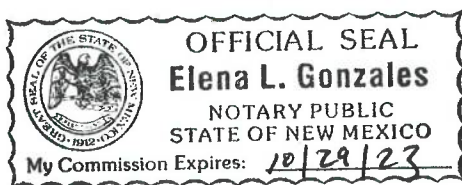
This Release is signed by Grantor as of the date of the acknowledgement below, but is effective for all purposes as of the Effective Date stated below.

Effective Date: 2/15, ²⁰²²~~2021~~ (EA) QAR.

Jerry J. Rascon
GRANTOR


STATE OF New Mexico)
COUNTY OF Bernalillo)

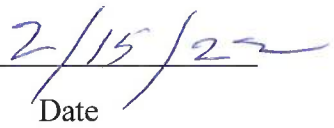
This instrument was acknowledged before me on 15th day of February, ²⁰²²~~2021~~ (EA) QAR, by Jerry Rascon, Grantor.



Elena L. Gonzales
Notary Public
My Commission Expires:

Receipt for \$100 dollars and zero cents cash consideration for Release of Easement located at
803 2nd St SW Albuquerque, NM 87102.


Jerry Rascon


Date

Receipt For \$100.⁰⁰ CASH consideration
for release of Easment located @ 803 2nd St SW
Albuquerque, NM 87102.

Jerry Reason