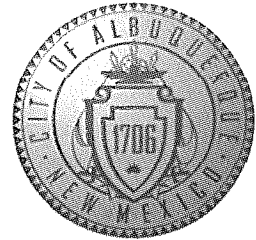


CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

April 14, 2022

Emily Brudenell
Scout Architecture + Design
2722 San Joaquin Ave. SE
Albuquerque, NM 87106

Re: Caterpillar Clubhouse
803 2nd St. SW
Traffic Circulation Layout
Architect's Stamp 04-01-22 (K14-D227)

Dear Ms. Emily,

Based upon the information provided in your submittal received 04-04-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

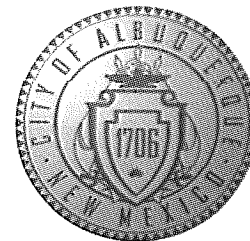
1. List the number of parking spaces required by the IDO as well as the proposed number of parking spaces including bicycle and motorcycle parking.
2. Provide Approved Plat showing the blanket access easement across all these lots for access.
3. ADA parking stall is not permitted on Public Right of Way Per City Engineer.
4. Handrail is not permitted on Public Right of Way Per City Engineer.
5. Call out COA std dwg for the Driveway off 2nd st.
6. Provide the dimension from the on street parking stall to the intersection of 2nd st. and Hazeldine Ave. show this dimension on site plan.
7. On-street parking spaces need to be 20' long.
8. Show the intersection sight distance for the driveway entrance off 2nd St. and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle
9. Show the clear sight triangle for the driveway entrance off Hazeldine Ave. and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle
10. Provide a copy of Fire Marshal Approval
11. Please provide a letter of response for all comments given.

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

4. The \$75 re-submittal fee.

For log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar.
Associate Engineer, Planning Dept.
Development Review Services

ma via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 3/2018)

Project Title: CATERPILLAR CLUBHOUSE Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOTS NUMBER ONE (1), TWO (2) AND THREE (3) AND LOT TWO (2) OF BLOCK LETTERED H OF ATLANTIC AND PACIFIC ADDITION

City Address: 803 2ND STREET SW ALBUQUERQUE NM 87102 UPC#101405719116332110

Applicant: EMILY BRUDENELL Contact: 505-818-7012

Address: 2722 SAN JOAQUIN AVE SE ALBUQUERQUE NM 87106

Phone#: 505-818-7012 **Fax#:** _____ **E-mail:** EMILY@SCOUTARCH.COM

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)

☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 04.01.22 **By:** EMILY BRUDENELL

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

CONSTRUCTION
DOCUMENTS

REVISION	DATE
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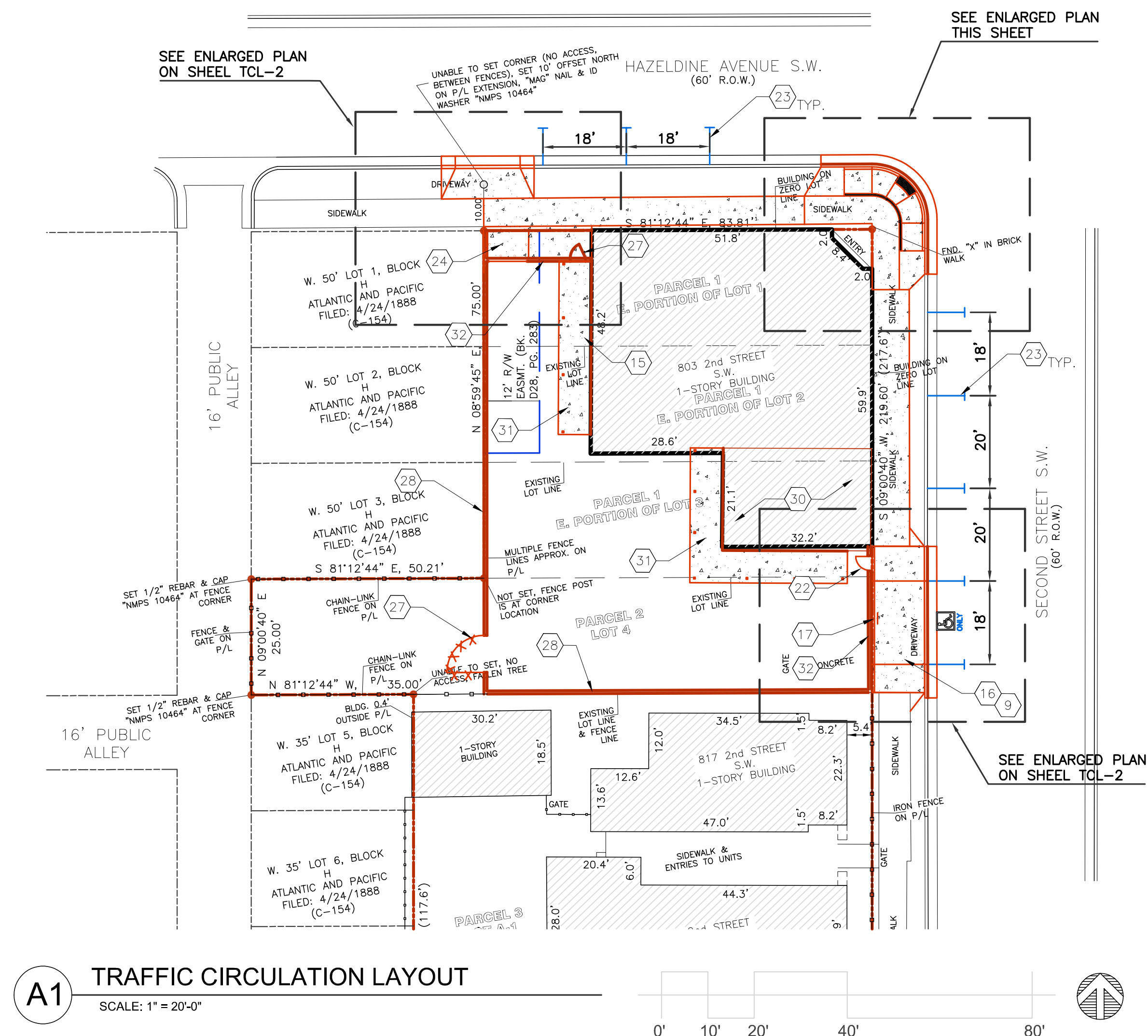
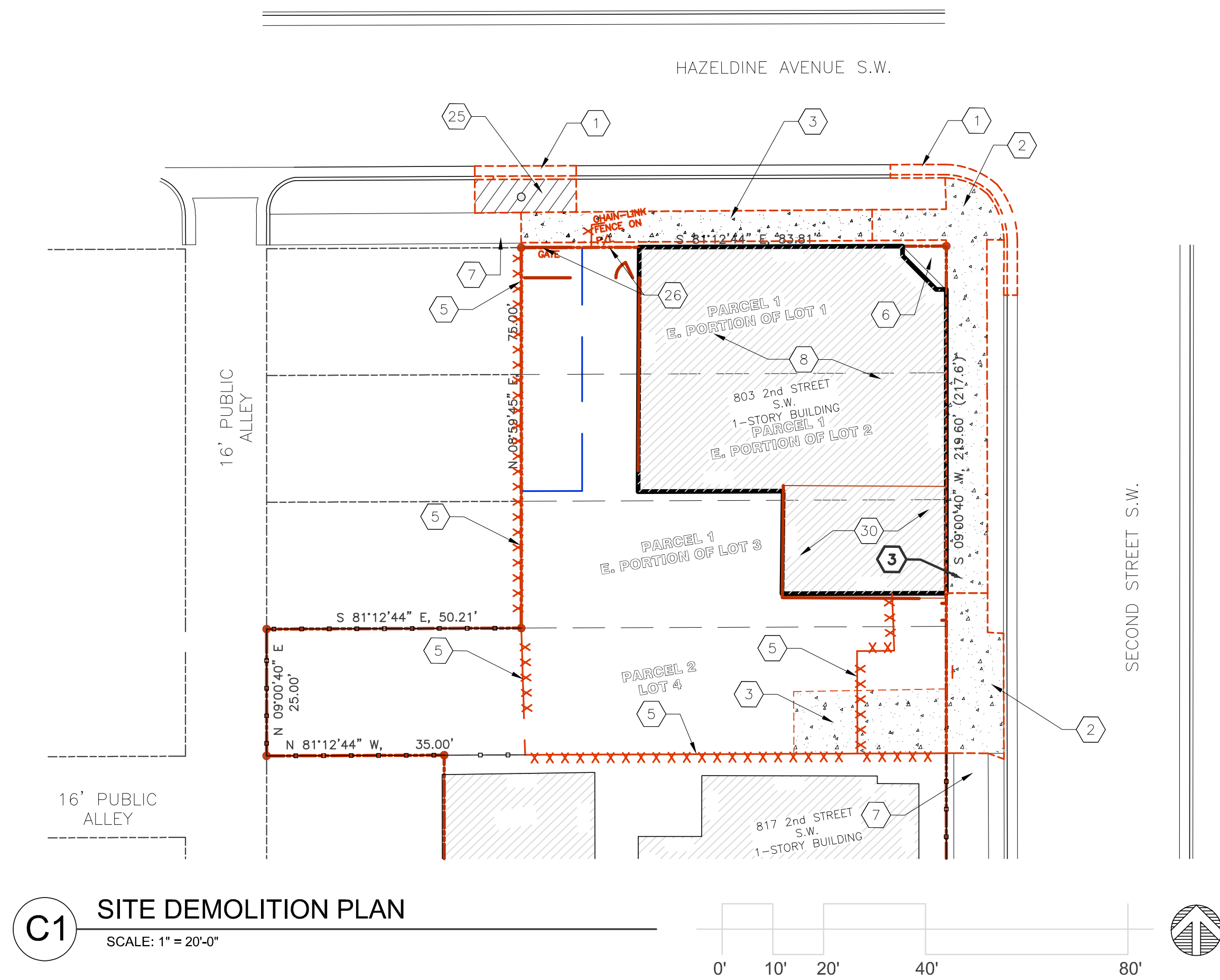
DATE 1.28.22

PROJECT NO. _____

TRAFFIC CIRCULATION LAYOUT

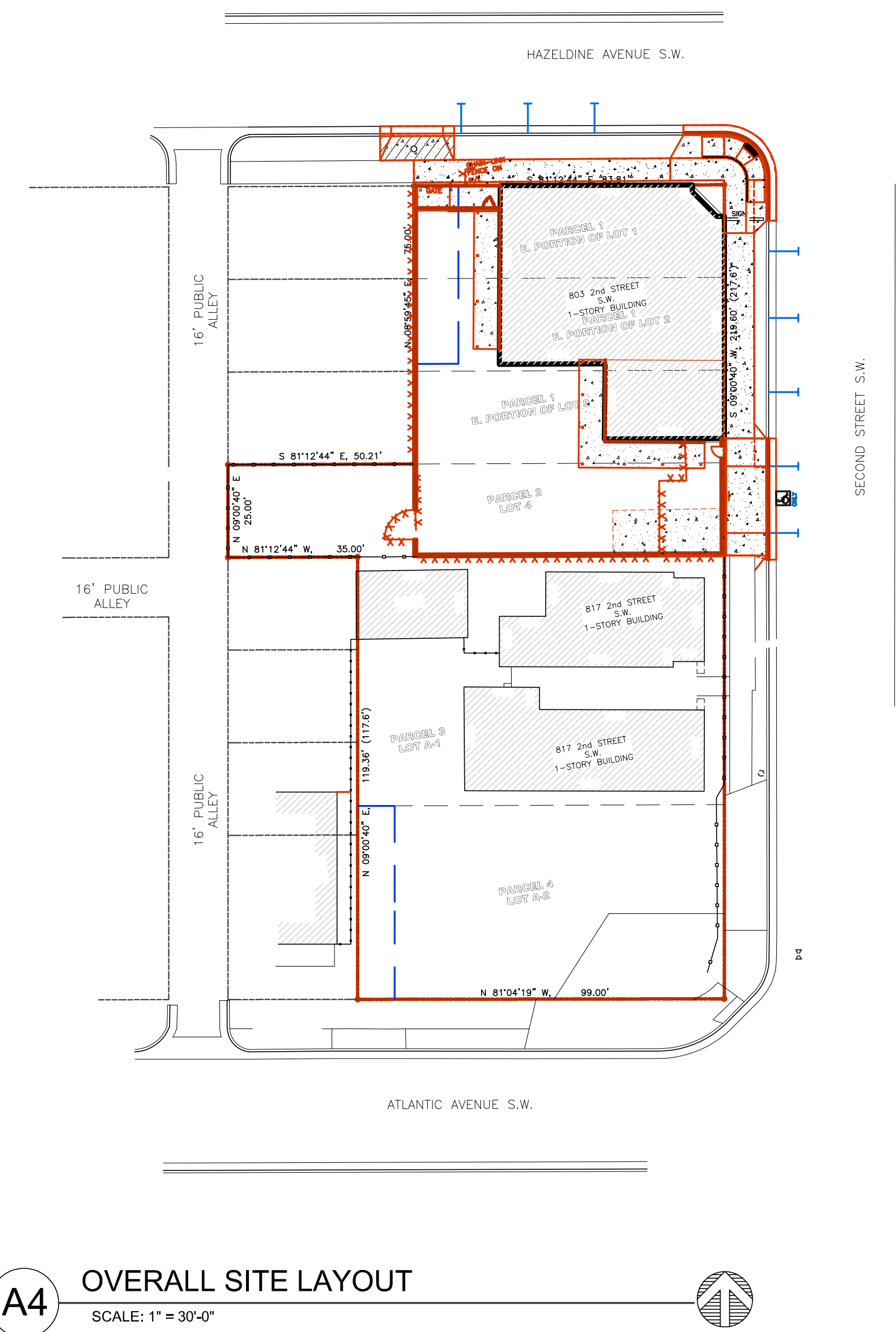
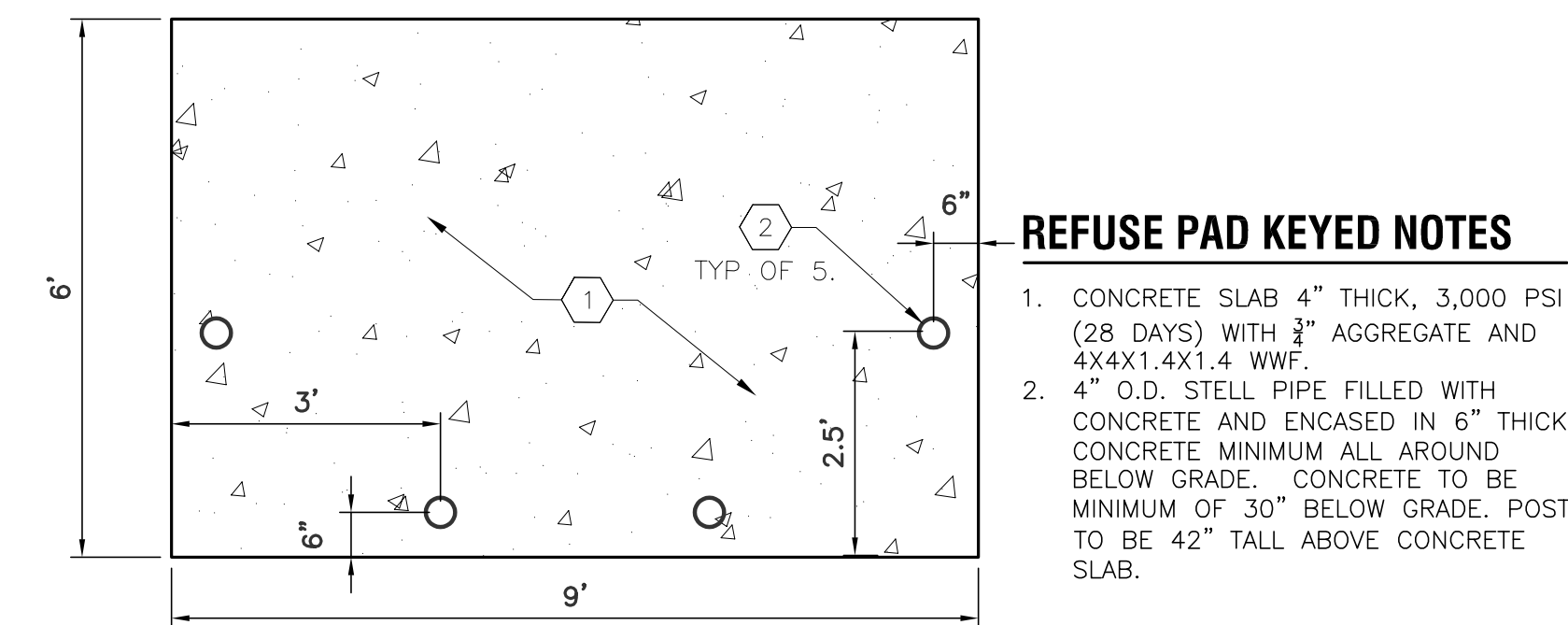
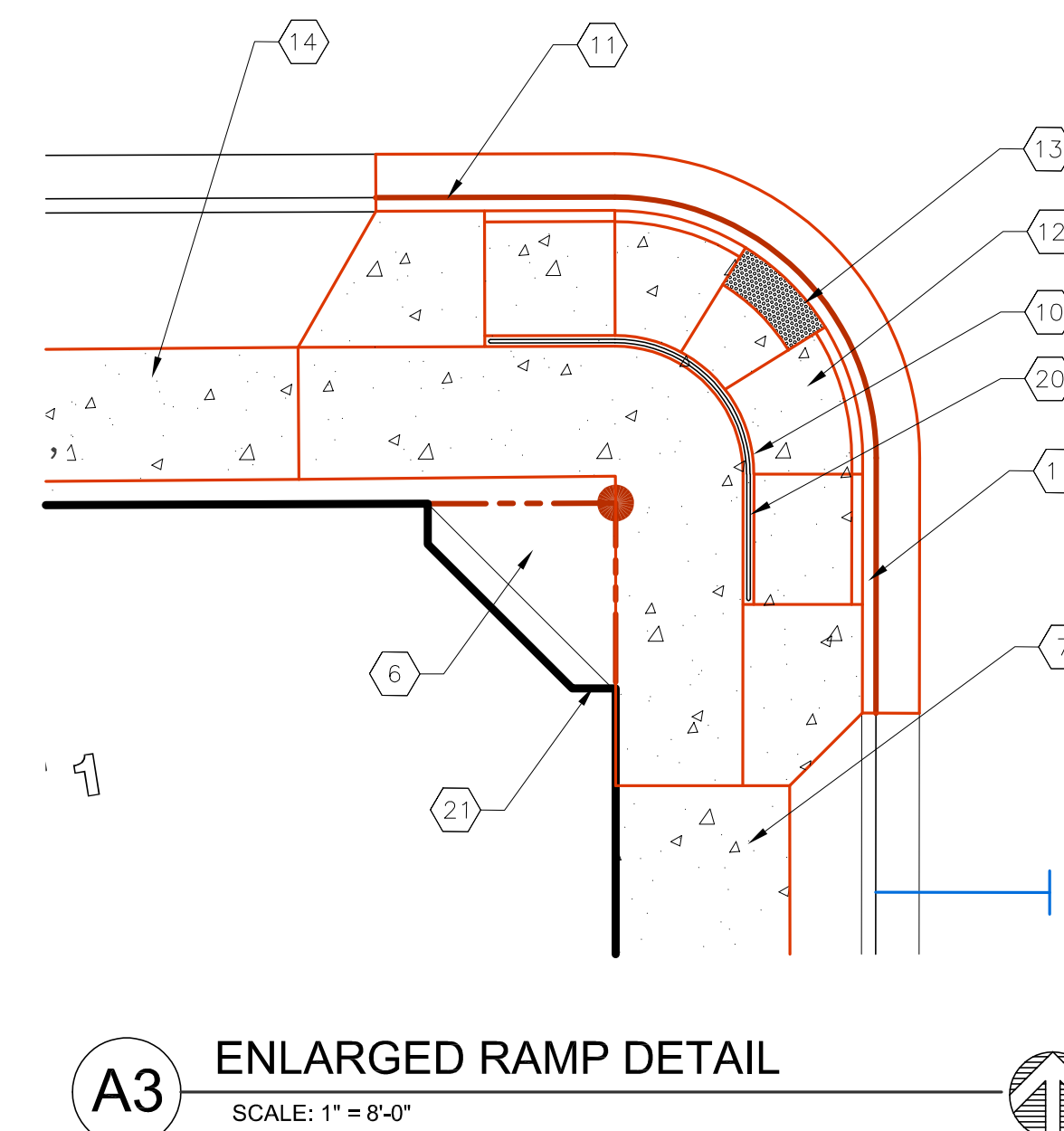
SHEET NO.

TCL-1



KEYED NOTES

1. REMOVE AND DISPOSE OF CURB AND GUTTER.
2. REMOVE AND DISPOSE OF CONCRETE CURB RAMP.
3. REMOVE AND DISPOSE OF CONCRETE SIDEWALK OR DRIVEWAY.
4. REMOVE AND DISPOSE OF PORTION OF CONCRETE DRIVEPAD.
5. REMOVE AND SALVAGE FENCE FABRIC. REMOVE AND DISPOSE OF FENCE POSTS AND FOUNDATIONS.
6. EXISTING BRICK PAVING TO REMAIN TO REMAIN.
7. EXISTING CONCRETE SIDEWALK TO REMAIN.
8. EXISTING BUILDING TO BE REMODELED. REFER TO ARCHITECTURAL PLANS.
9. CONCRETE DRIVEPAD PER COA STD DWGS 2425A AND 2425B. (ALSO USE AS PAVEMENT REQUIREMENTS WITHIN PARALLEL ADA RAMP BECAUSE VEHICLES COULD DRIVE ON UNLOADING ZONE AND RAMPS)
10. CONCRETE HEADER CURB, 6" TALL, PER COA STD DWG 2415A.
11. CONCRETE CURB ACCESS RAMP PER COA STD DWG 2415A.
12. CONCRETE CURB ACCESS RAMP PER COA STD DWGS 2440 AND 2441.
13. DETECTABLE WARNING SURFACE PER COA STD DWGS 2440 AND 2441.
14. CONCRETE SIDEWALK PER COA STD DWG 2430.
15. 4" THICK CONCRETE PAVEMENT WITH 4X4XW1.4XW1.4 WELDED WIRE FABRIC. MEDIUM BROOM FINISH. CONTROL JOINTS AT 6' MAX SPACING.
16. WIDE PARALLEL CURB ACCESS RAMP TO BE USED AS UNLOADING ZONE FOR TRAILER. CONSTRUCT PER COA STD DWG 2440 WITH HEADER CURB ALONG PROPERTY LINE. NO DETECTABLE WARNING SURFACE REQUIRED. CONCRETE TO BE THICKENED PER 2425A AS IT IS POSSIBLE TO HAVE VEHICLES DRIVING ON SIDEWALK AND RAMPS.
17. ADA RESERVED PARKING ENLARGED PLAN ON TCL-2.
18. ADA VAN ACCESSIBLE RESERVED SIGN MOUNTED PER DETAIL D3/TCL-2.
19. RESERVED PARKING SYMBOL PER DETAIL E1/TCL-2.
20. HANDRAIL ALONG HEADER CURB PER DETAIL C3/TCL-2.
21. FIRE DETECTOR KNOX BOX.
22. 6" TALL X 3' WIDE R PANEL PERSONNEL GATE. COLOR TO BE SELECTED BY ARCHITECT.
23. 4' WIDE WHITE PARKING STRIPE.
24. SWANSON 9'X6" REFUSE ENCLOSURE PAD PER DETAIL C4/TCL.
25. REMOVE AND DISPOSE TO EXISTING ASPHALT DRIVEWAY.
26. REMOVE AND DISPOSE OF EXISTING CHAIN LINK FENCE AND GATE.
27. **3' WIDE 6" TALL R PANEL PERSONNEL SWING GATE.**
28. 6" TALL CONCRETE MASONRY UNIT SCREEN WALL.
29. 12" TALL PAINTED LETTERS.
30. PORTION OF BUILDING TO BE REMOVED AND REPLACED DUE TO STRUCTURAL CONCERNS.
31. CONCRETE PATIO WITH 8"x8" TURN DOWN EDGE. SIDEWALK SIMILAR TO COA STD DWG 2430.
32. 3' TALL CONCRETE MASONRY UNIT SCREEN WALL WITH R PANEL EXTENSION UP TO 4' TALL.



Mr. Nilo Salgado-Fernandez

Transportation Department COA

This letter contains the responses to your letter dated February 17, 2022 on the Caterpillar Clubhouse located at 803 2nd Street SW. The responses follow the comment numbers provided in your letter.

1. A Zone Atlas Page will be added to the plan to provide the vicinity map.
2. We will coordinate with Zoning on the parking counts. Please note that we do not have any off-street parking provided and Sections 5-5(D)(1) and 5-5(E)(1) call for bicycle parking based on Off-Street parking provided.
3.
 - a. On the prior submittal, the driveway was designed to replace an existing driveway that was degraded. At this time, the access easement that was held by the adjacent property to allow access through the project site, has been vacated. The neighbor has a gate and access to a parking space on the west side of the existing driveway. We can either leave the old driveway there or replace it with our project. We could also widen the driveway to allow for a COA compliant width driveway along the project parcel street frontage.
 - b. Plans currently call for KN #9 that requires the concrete drive pad to be built per COA Std Dwgs 2425a and 2425B. Please refer to the enlargement on sheet TCL-2.
 - c. Handrails have been proposed because to meet ADA the curb access ramp needs to have sloping sections going west and south from the landing. Also the access door to the building is located very close to this corner and to prevent the public from accidentally stepping off the curb, we feel it would be best to include a simple railing.
 - d. On-street parking does meet the DPM that requires that end stalls be 18' long and intermediate stalls be 20' long, both 8' wide for parallel parking. Please see the dimensions on A1/TCL.
 - e. The sidewalks around the site are in poor shape. The plans call for public sidewalks along the project frontage to be removed and replaced per COA Std Dwg 2430. Please see plans and KN's #3 and #14. There was a KN #7 that was incorrect on the plan on the 2nd Street side. This has been corrected.
 - f. ADA Parking Stalls
 - i. The plans call for a drivepad to ensure that what seems to be sidewalk is built thick enough to allow for vehicular traffic without cracking over time. We are not proposing any on-site parking, just parallel. The sidewalk will be over 8' wide to allow for Van accessible ADA parking/unloading in this area.
 - ii. The drivepad is to be thick like 2425 A & B, but to have the sloping sidewalk connections like 2443. This particular location will be a combination of both.
 - iii. The header curb is to allow for the 6" grade difference between the bottom landing and the sidewalk that must meet up with grades at the entrance door into the facility. The access door to the building is located very close to this corner and to prevent public from accidentally stepping off the curb, we feel it would be best to include a simple railing.

- iv. A short taper on the sidewalk will be added to help guide the visually impaired in the section of ADA unloading zone on 2nd Street.
- 4. The unloading zone for the Van Accessible parking stall is the adjacent sidewalk. The sidewalk is shown over 8' wide to comply with Van accessibility requirements.
- 5. The Van Accessible parallel parking includes an unloading zone on the sidewalk. There is no striped area that would receive the "NO PARKING" letters.
- 6. Please note that we do not have any off-street parking provided and Section 5-5(D)(1) calls for motorcycle parking based on Off-Street parking provided. We have no off-street parking provided.
- 7. Bike rack not required, due to no off-street parking provided.
- 8. Bike rack not required, due to no off-street parking provided.
- 9. Bike rack not required, due to no off-street parking provided.
- 10. Bike rack not required, due to no off-street parking provided.
- 11. The building had only one main entrance. It is existing. The entrance is at the NE corner at Hazeldine and 2nd Street.
- 12. Access route for ADA is along the public sidewalk to the main entrance. The public sidewalk is 8' wide from the ADA parking to the main entrance.
- 13. Clear Sight applies when we have driveways into the project site.
- 14. Parking is held back over 30' at the Hazeldine/2nd intersection.
- 15. On the prior submittal, the driveway was designed to replace an existing driveway that was degraded. At this time, the access easement that was held by the adjacent property to allow access through the project site, has been vacated. The neighbor has a gate and access to a parking space on the west side of the existing driveway. We can either leave the old driveway there or replace it with our project. We could also widen the driveway to allow for a COA compliant width driveway along the project parcel street frontage.
- 16. All sidewalk is being replaced already.
- 17. This letter serves to satisfy comment #17.
- 18. We only have 6 parking spaces total. The project will not meet the minimum threshold for a TIS.

Please review the plans and responses and call me with any follow up questions.

Thanks

Emily Brudenell

SCOUT design

505.818.7012