

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

October 14, 2019

Glenn Broughton, P.E.
Bohannon Huston, Inc.
7500 Jefferson St NE
Albuquerque, NM 87109

**RE: Presbyterian Hospital Expansion
1100 Central SE et al.
Conceptual Grading and Drainage Plan
Engineer's Stamp Date: 10/3/19
Hydrology File: K15D005**

Dear Mr. Broughton:

PO Box 1293

Based on the submittal received on 10/3/19, the Grading and Drainage Plan cannot be approved until the following corrections are made:

Albuquerque

Prior to Site Plan for Building Permit:

NM 87103

www.cabq.gov

1. The grading plan needs to cover the full extent of the work. The north edge of the Patient Tower area is clipped. It may be easier just to make the Patient Tower area a separate viewport from the Energy Plant.
2. Provide hydraulic calculations for the channel and sidewalk culvert discharging to Oak. The sidewalk culvert(s) should be included on the Infrastructure List (or build by SO-19, if no other infrastructure is identified by the DRB). Also, the work here will require a NMDOT permit.
3. Provide hydraulic calculations for the channel and sidewalk culvert discharging to Lead. A second sidewalk culvert is likely required here to pass the Q_{100} of 6.1cfs and should be included on the Infrastructure List (or build by SO-19, if no other infrastructure is identified by the DRB).
4. Provide existing contours, showing how the proposed grading will tie-in at property line. This is provided on the parking garage viewport, but not the other two areas.
5. Provide sections through all external boundaries with proposed walls showing the proposed walls and their footers; identify retaining vs. garden vs. stem wall, show property/ROW lines, and existing and proposed grades. In accordance with DPM Ch.22, section 5 part B, grading and wall construction near the property line may not endanger adjacent property or constrain its use.

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- a. Any private encroachment into the public ROW will require a revocable permit.
 - b. Any private encroachment into a public easement will require an encroachment agreement.
 - c. Any private encroachment into neighboring private property will require written and signed permission from both property owners.
6. What is the odd U-shaped hatched area on the Energy Plant viewport? Is it relevant to the grading and drainage or can it be removed?

Prior to Building Permit (For Information):

7. Remove all “Conceptual” markings.
8. Identify the addresses (and Building Permit #, if known) of each viewport and label on the plan. This will smooth the process for obtaining Certificate of Occupancy.
9. Identify the area where fee-in lieu was already paid during the “make ready” phase and ensure no overlap occurs in calculating the redeveloped impervious area for this project.
10. Payment in Lieu (Amount = TBD) of onsite management of the stormwater quality volume (SWQV) must be made. Provide SWQV calculations.
11. Provide hydraulic calculations for the proposed storm drain system (Patient Tower area), calculated along the Energy Grade Line; include both the HGL and EGLs in the table.
12. Provide the design for the lift station. Include pump curves, a section showing elevations of pump-on, pump-off, max WSE, etc..., contributing area hydrology. Where is the emergency overland path, or the extents of the ponding if the pump fails?
13. Flow depth (and EGL) on Silver, in front of the garage entrance, needs to be calculated. Demonstrate that the EGL is less than the proposed waterblock height. Otherwise a standard 0.87' waterblock is required.
14. As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.
15. Additional comments may be provided at Building Permit, based on the outcome of the above remarks and level of detail shown on plans.

Prior to Certificate of Occupancy (For Information):

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

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16. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required.
17. City acceptance and close-out of the public Work Order will be required, unless a financial guarantee has been posted.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,



Dana M. Peterson
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: _____ Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Applicant: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

Check all that Apply:

DEPARTMENT:

_____ HYDROLOGY/ DRAINAGE
_____ TRAFFIC/ TRANSPORTATION

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

_____ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY

TYPE OF SUBMITTAL:

_____ ENGINEER/ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
_____ GRADING PLAN
_____ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL

_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DATE SUBMITTED: _____ By: _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

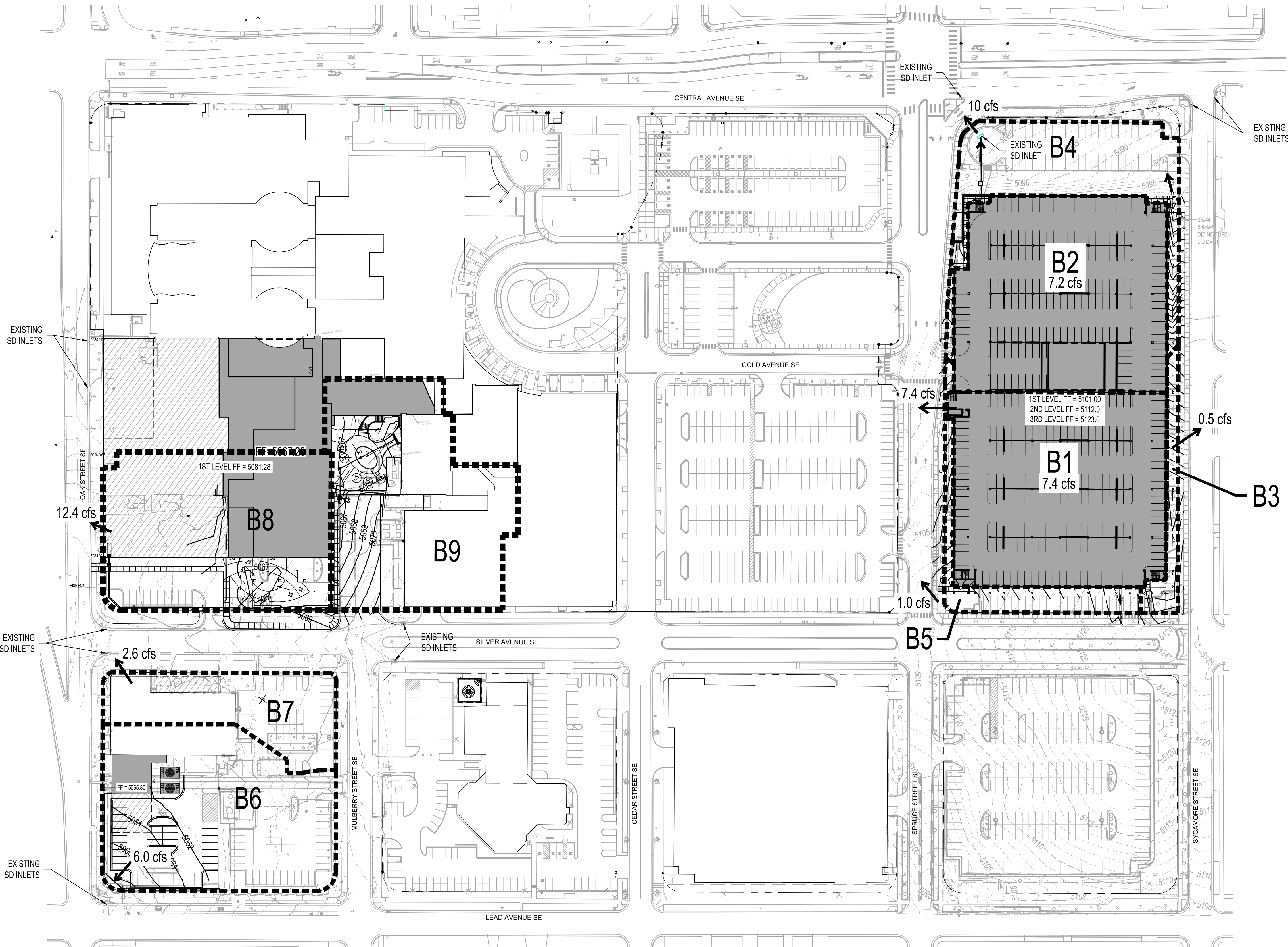


Bohannon  **Huston**
www.bhinc.com 800.877.5332

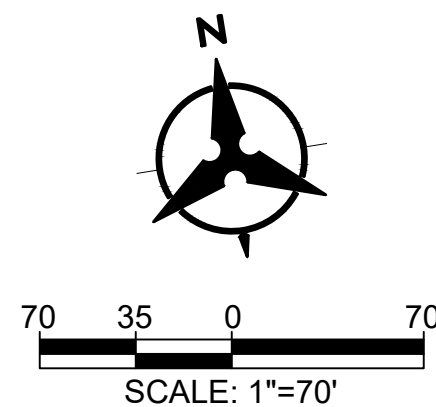
PHS Hospital Expansion: Site Plan for Building Permit - DRB											
Proposed Developed Conditions Basin Data Table											
This table is based on the DPM Section 22.2, Zone: 2											
Basin ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100yr) (cfs/ac.)	Q(100yr) (CFS)	V(100yr) (inches)	V _(100yr-6hr) (CF)	V _(100yr-24hr) (CF)
CURRENT ONSITE BASINS											
B1	68311	1.57	0.0%	0.0%	0.0%	100.0%	4.7	7.4	2.12	12068	14345
B2	66758	1.53	0.0%	0.0%	0.0%	100.0%	4.7	7.2	2.12	11794	14019
B3	6335	0.15	0.0%	0.0%	96.0%	4.0%	3.2	0.5	1.17	617	626
B4	32445	0.74	0.0%	0.0%	37.0%	63.0%	4.1	3.1	1.75	4742	5423
B5	11212	0.26	0.0%	0.0%	88.0%	12.0%	3.3	0.9	1.25	1167	1212
B6	58554	1.34	0.0%	0.0%	17.0%	83.0%	4.4	6.0	1.95	9523	11143
B7	25110	0.58	0.0%	0.0%	9.0%	91.0%	4.6	2.6	2.03	4250	5011
B8	58908	1.35	0.0%	0.0%	12.0%	88.0%	4.5	6.1	2.00	9824	11552
B9	60278	1.38	0.0%	0.0%	9.0%	91.0%	4.6	6.3	2.03	10202	12030

LEGEND

----- DRAINAGE BASIN BOUNDARY



A2 PROPOSED DRAINAGE MANAGEMENT PLAN
1" = 70'-0"



505.761.9700 / DPSDESIGN.ORG

SEAL



GLENN S. BROUGHTON
NEW MEXICO
14171
10-3-19
REGISTERED PROFESSIONAL ENGINEER

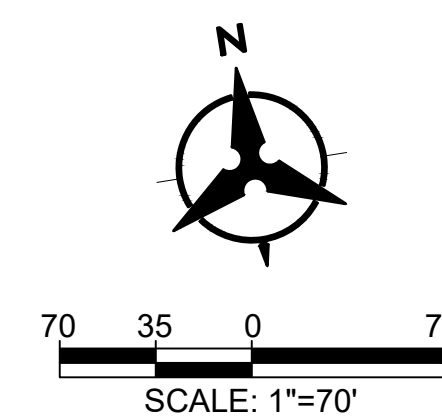
PROJECT

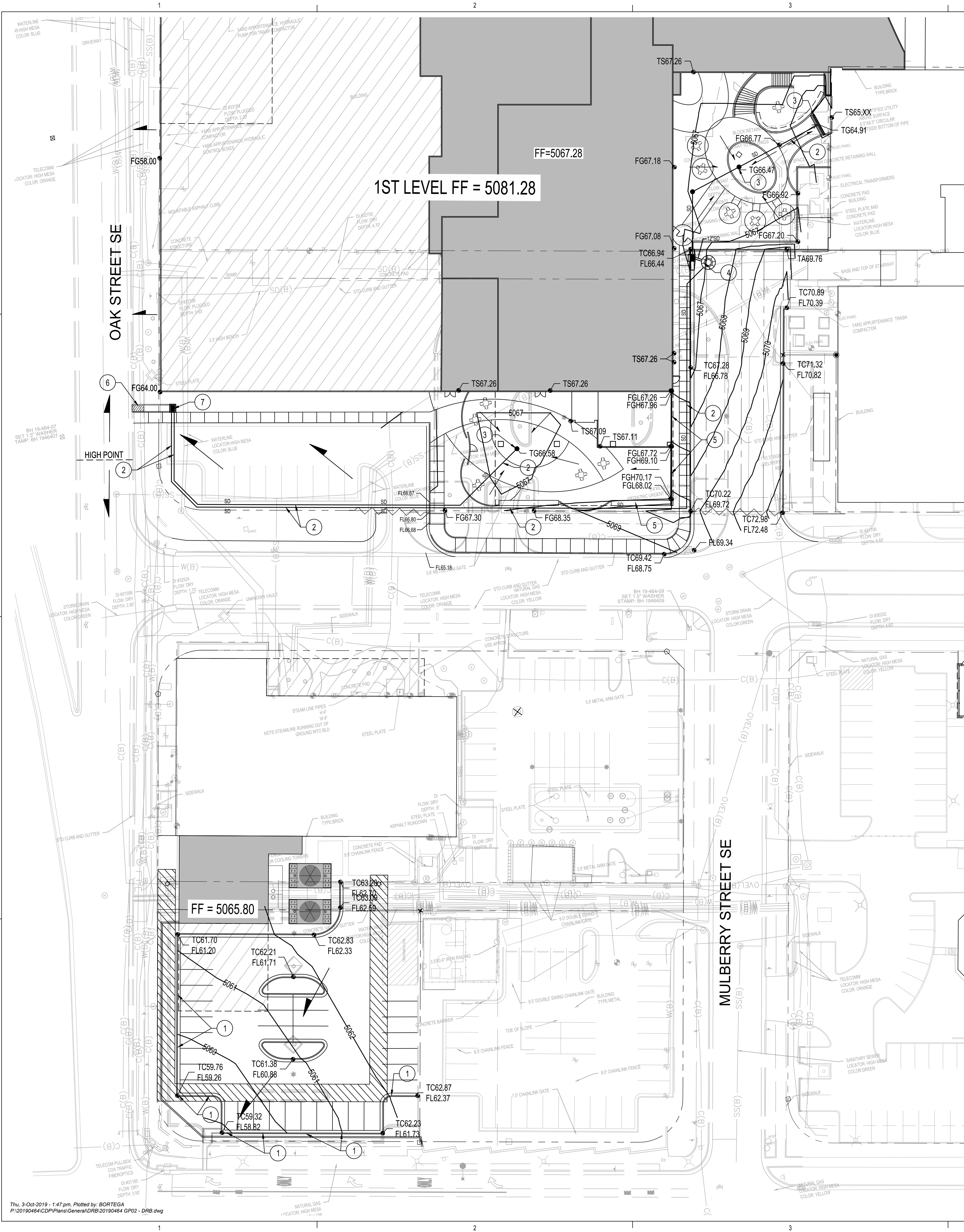
1100 Central Ave SE
Albuquerque, NM 87106

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DRAINAGE PLAN

C-101





GENERAL NOTES

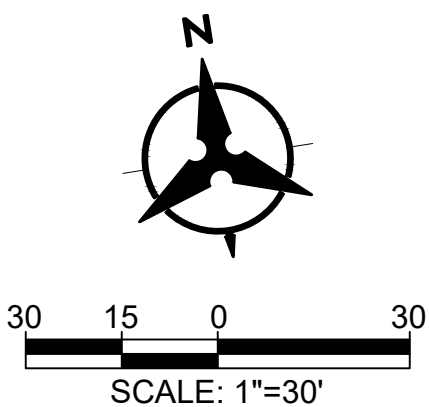
- 1. CURB CUTS SHOWN ON THE PLAN HAVE BEEN LOCATED TO DIRECT SITE RUNOFF TO LANDSCAPE WATER HARVESTING AREAS. THE LOCATIONS WILL BE REFINED AS THE DESIGN DEVELOPS.

KEYED NOTES

- 1. CURB CUT.
- 2. STORM DRAIN.
- 3. AREA DRAIN.
- 4. STORM DRAIN LIFT STATION.
- 5. RETAINING WALL.
- 6. SIDEWALK CULVERT.
- 7. PUMP DISCHARGE.

GRADING LEGEND

- 2.0% DIRECTION OF FLOW
- 23.00 PROPOSED SPOT ELEVATION
- 5100 PROPOSED INDEX CONTOUR
- 5101 PROPOSED INTERMEDIATE CONTOUR
- WATER BLOCK



DEKKER
PERICH
SABATINI

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109

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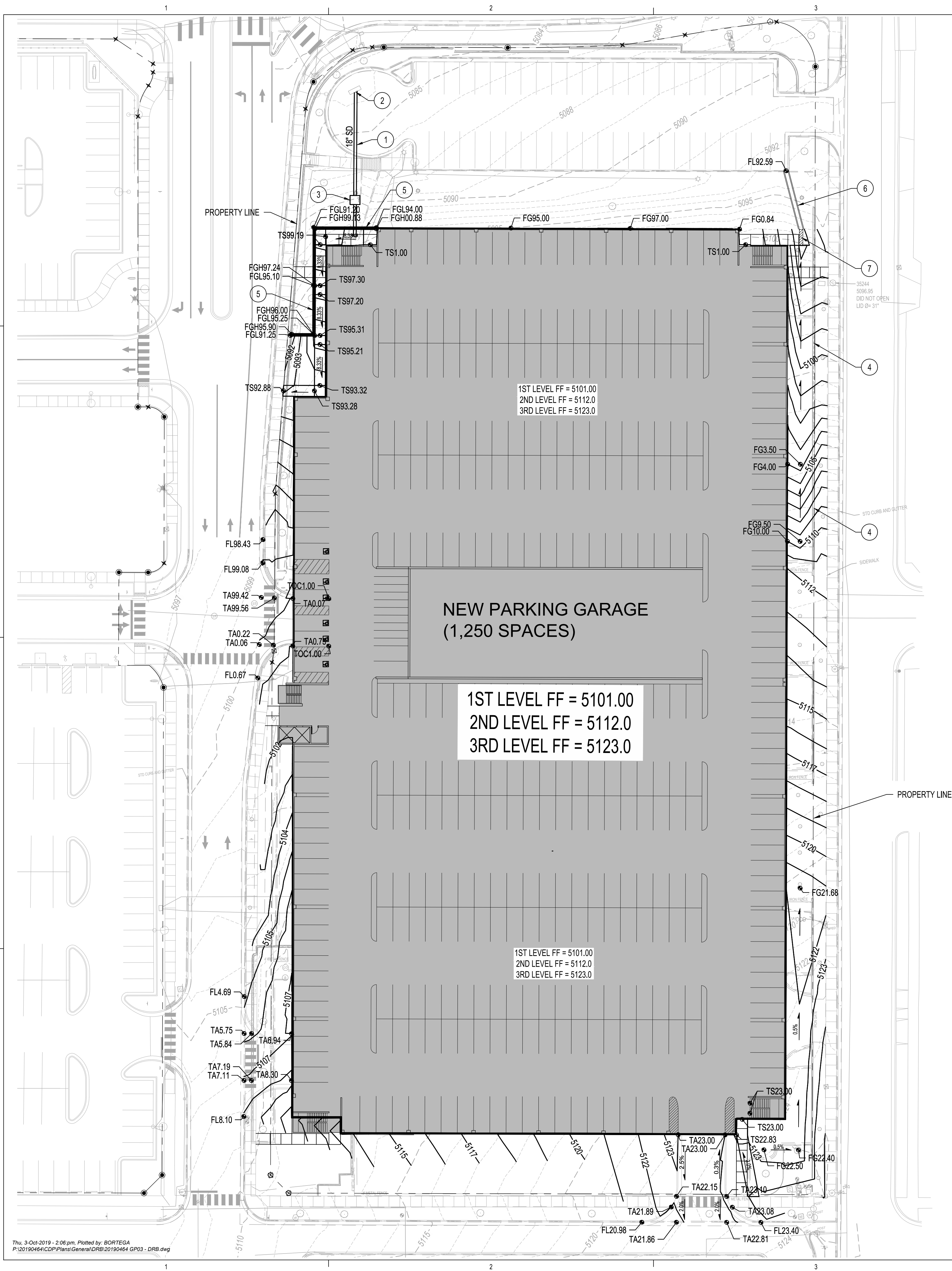


PRESBYTERIAN HOSPITAL
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
1100 Central Ave SE
Albuquerque, NM 87106

REVISIONS	
△	
△	
△	
△	

DRAWN BY	BO
REVIEWED BY	GSB
DATE	10/03/2019
PROJECT NO.	19-0010.001
DRAWING NAME	

CONCEPTUAL
GRADING AND
DRAINAGE PLAN
AREA A



KEYED NOTES

1. NEW STORM DRAIN PIPE.
2. CONNECT TO EXISTING PRIVATE STORM DRAIN INLET.
3. SAND / OIL INTERCEPTOR.
4. EXISTING RETAINING WALL TO BE REMOVED.
5. NEW RETAINING WALL.
6. NEW CONCRETE RIBBON CHANNEL.
7. NEW 24" WIDE SIDEWALK CULVERT.

GRADING LEGEND

- | | | |
|--|-------|-------------------------------|
| | 2.0% | DIRECTION OF FLOW |
| | 23.00 | PROPOSED SPOT ELEVATION |
| | 5100 | PROPOSED INDEX CONTOUR |
| | 5101 | PROPOSED INTERMEDIATE CONTOUR |

