

LEGEND	
	PROPERTY LINE
	EXISTING CONTOURS
	EXISTING SPOT ELEVATION TO-TO OF CURB, FL-FLOWLINE, EOM-BACK OF SIDEWALK, TO-TO OF ASPHALT, ON-SIDEWALK, CONC-CONCRETE, TO-HIGH FLOOR, TO-THRESH GRADE, TO-TO OF GRADE
	EXISTING ELECTRICAL POLE
	PROPOSED SPOT ELEVATION TO-TO OF CURB, FL-FLOWLINE, EOM-BACK OF SIDEWALK, TO-TO OF ASPHALT, ON-SIDEWALK, CONC-CONCRETE, TO-HIGH FLOOR, TO-THRESH GRADE, TO-TO OF GRADE
	PROPOSED INDEX CONTOURS
	PROPOSED INTER CONTOURS
	PROPOSED CURB & GUTTER
	EASEMENT
	EXISTING TREE
	PROPOSED LIGHTING
	PROPOSED STORM DRAIN LINE
	PROPOSED STORM DRAIN INLET
	EXISTING STORM DRAIN MANHOLE
	REMOVE AND REPLACE EXISTING ASPHALT CONCRETE PAVEMENT
	WATER BLOCK

KEYED NOTES

- PROVIDE 18" CURB OPENING
- PROVIDE 18" CURB AND RETAINING WALL OPENING
- RETAINING WALL, SEE DETAIL THIS SHEET
- CONCRETE SPLASH PAD AND RUNDOWN, SEE DETAIL THIS SHEET
- MATCH EXISTING CURB BOTH HORIZONTALLY AND VERTICALLY
- MATCH EXISTING PAVEMENT
- MATCH LINE, SEE CENTRAL AVENUE PUBLIC INFRASTRUCTURE PLANS FOR CONTINUATION
- RE-EXIST POST INDICATOR VALVE.
- ADDITIONAL PAVEMENT TO BE REMOVED FOR PORTLAND CEMENT CONCRETE PAVEMENT ALTERNATE.
- TRANSITION TO FULL HEIGHT CURB.
- 7" FIRE LINE SECTION PROFILE, THIS SHEET.
- INSTALL 4-WAY SWANSEE FIRE DEPARTMENT CONNECTION.

DEMOLITION KEYED NOTES

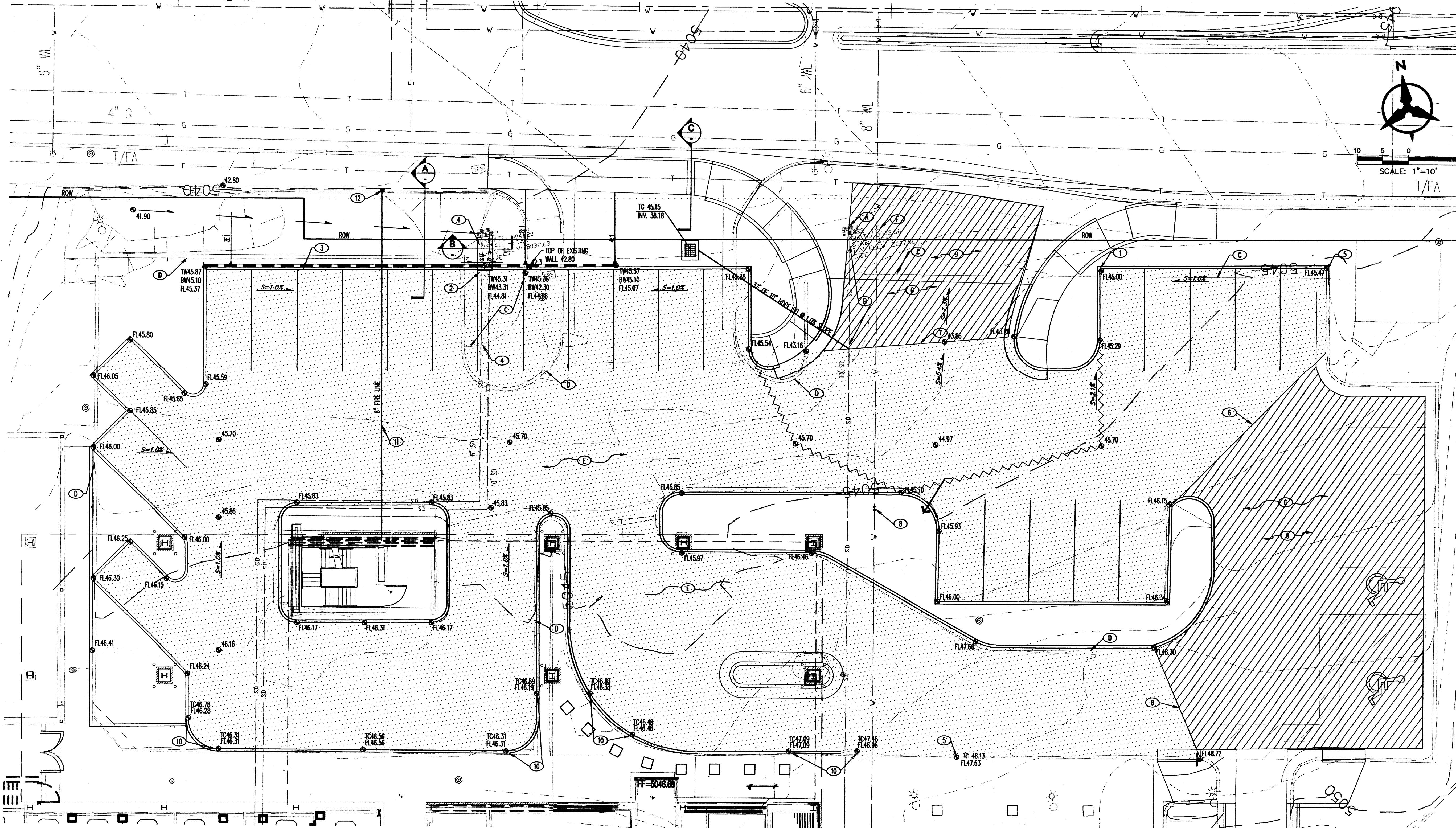
- REMOVE EXISTING STORM DRAIN INLET.
- REMOVE EXISTING 10" STORM DRAIN PIPE
- REMOVE EXISTING CONCRETE RETAINING WALL
- REMOVE EXISTING CURB AND GUTTER
- REMOVE EXISTING ASPHALT PAVEMENT
- EXISTING POST INDICATOR VALVE TO BE REMOVED AND RESET
- EXISTING PAVEMENT TO REMAIN

ELEVATION EQUATION

ADD 12.70' TO THE ELEVATIONS ON THIS PLAN TO MATCH PRESBYTERIAN HOSPITAL SITE ELEVATIONS.

DRAINAGE MANAGEMENT PLAN

- INTRODUCTION**
THE PURPOSE OF THIS SUBMITTAL IS TO PRESENT A FINAL GRADING AND DRAINAGE PLAN FOR THE PRESBYTERIAN HEALTH CARE EMERGENCY ROOM DROP OFF. THIS SUBMITTAL IS MADE IN ORDER TO SUPPORT PAVING PERMIT APPROVAL.
- SITE LOCATION AND EXISTING CONDITIONS**
THE PROJECT SITE IS LOCATED ON THE SOUTHWEST CORNER OF CENTRAL AND CEDAR. THE SITE IS CURRENTLY PAVED WITH SOME LANDSCAPE AREAS. THE SITE CURRENTLY DRAINS NORTH INTO CENTRAL. THE TOTAL PEAK DISCHARGE FROM THE SITE IN THE 100 YEAR STORM IS APPROXIMATELY 2.81 CFS. SITE SLOPES ARE 4% TO 5%. THE SITE IS LOCATED WITHIN ZONE ATLAS 10-15, AND HYDROLOGIC ZONE 2.
- PROPOSED HYDROLOGIC CONDITIONS**
THE PROPOSED PROJECT IS TO CONSIST OF RECONSTRUCTING THE EXISTING PARKING AND TURN AROUND AREA. THE GRADE OF THE EXISTING PARKING AREA WILL BE RAISED APPROXIMATELY 1.5' ADJACENT TO THE BUILDING IN ORDER TO COMPLY WITH THE FIRE PROTECTION REQUIREMENTS FOR HIGH RISE STRUCTURES. LIMITS OF PAVED AND LANDSCAPE AREAS ARE TO REMAIN THE SAME IN THE EXISTING AND PROPOSED CONDITIONS. THE SITE HAS BEEN ANALYZED AS A SINGLE DRAINAGE BASIN FOR PROPOSED CONDITIONS. THIS BASIN IS 81% IMPERVIOUS, 8% LAND TREATMENT C AND 11% LAND TREATMENT B. THIS BASIN WILL HAVE A PEAK DISCHARGE OF 2.81 CFS.
- THE TOTAL DISCHARGE TO ADJACENT PUBLIC STREETS UNDER PROPOSED CONDITIONS IS THE SAME AS EXISTING.**
- OFF SITE CONSIDERATIONS**
THERE ARE NO UPSTREAM OFF SITE FLOWS WHICH WILL IMPACT THIS SITE. IN ADDITION, THE SITE WILL NOT HAVE ANY DETRIMENTAL IMPACT ON DOWNSTREAM DRAINAGE INFRASTRUCTURE SINCE PROPOSED CONDITIONS DISCHARGE IS THE SAME AS EXISTING.
- CONCLUSION**
THE IMPROVEMENTS PROPOSED WITH THIS FINAL GRADING AND DRAINAGE PLAN ARE CAPABLE OF SAFELY PASSING THE 100 YEAR STORM AND MEET THE CITY REQUIREMENTS WITH THIS SUBMITTAL, WE ARE SEEKING CITY HYDROLOGY APPROVAL FOR PAVING PERMIT.

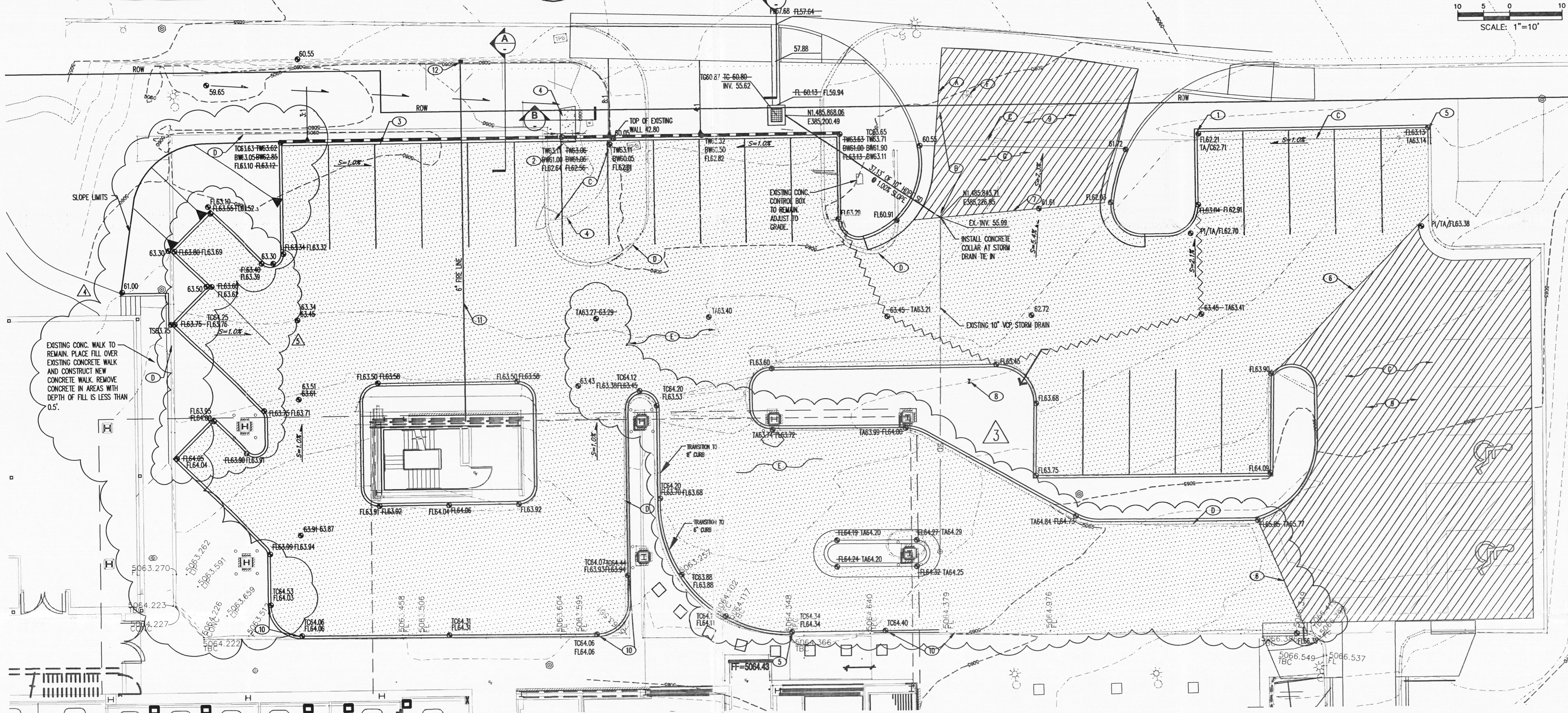


DRAINAGE CERTIFICATION

I, GLENN BROUGHTON, NMPE 14171, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 04-08-03. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY J.J. BORDENAVE, NMPE & LS 5110, OF THE FIRM BASELINE FIELD SERVICES. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 07-25-03 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Glenn Broughton
GLENN BROUGHTON, NMPE 14171
DATE 7/7/03
GLENN S. BROUGHTON
REGISTERED PROFESSIONAL ENGINEER
14171



KEYED NOTES

- PROVIDE 16" CURB OPENING
- PROVIDE 16" CURB AND RETAINING WALL OPENING
- RETAINING WALL, SEE DETAIL THIS SHEET
- CONCRETE SPLASH PAD AND RANDOM, SEE DETAIL THIS SHEET
- MATCH EXISTING CURB BOTH HORIZONTALLY AND VERTICALLY
- MATCH EXISTING PAVEMENT
- MATCH LINE, SEE CENTRAL AVENUE PUBLIC INFRASTRUCTURE PLANS FOR CONTINUATION
- RESET EXISTING POST INDICATOR VALVE
- ADDITIONAL PAVEMENT TO BE REMOVED FOR PORTLAND CEMENT CONCRETE PAVEMENT ALTERNATE.
- TRANSITION TO FULL HEIGHT CURB
- 6" FIRE LINE SECTION PROFILE, THIS SHEET
- INSTALL 4-WAY SIAMSESE FIRE DEPARTMENT CONNECTION

DRAINAGE MANAGEMENT PLAN

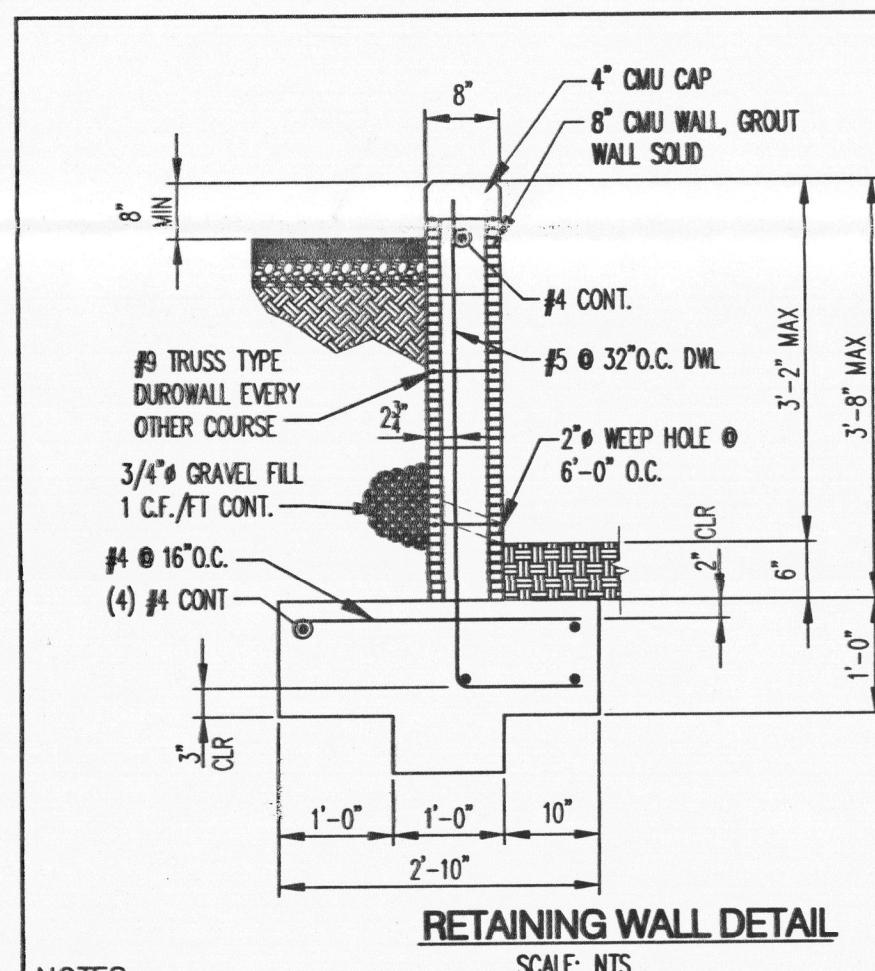
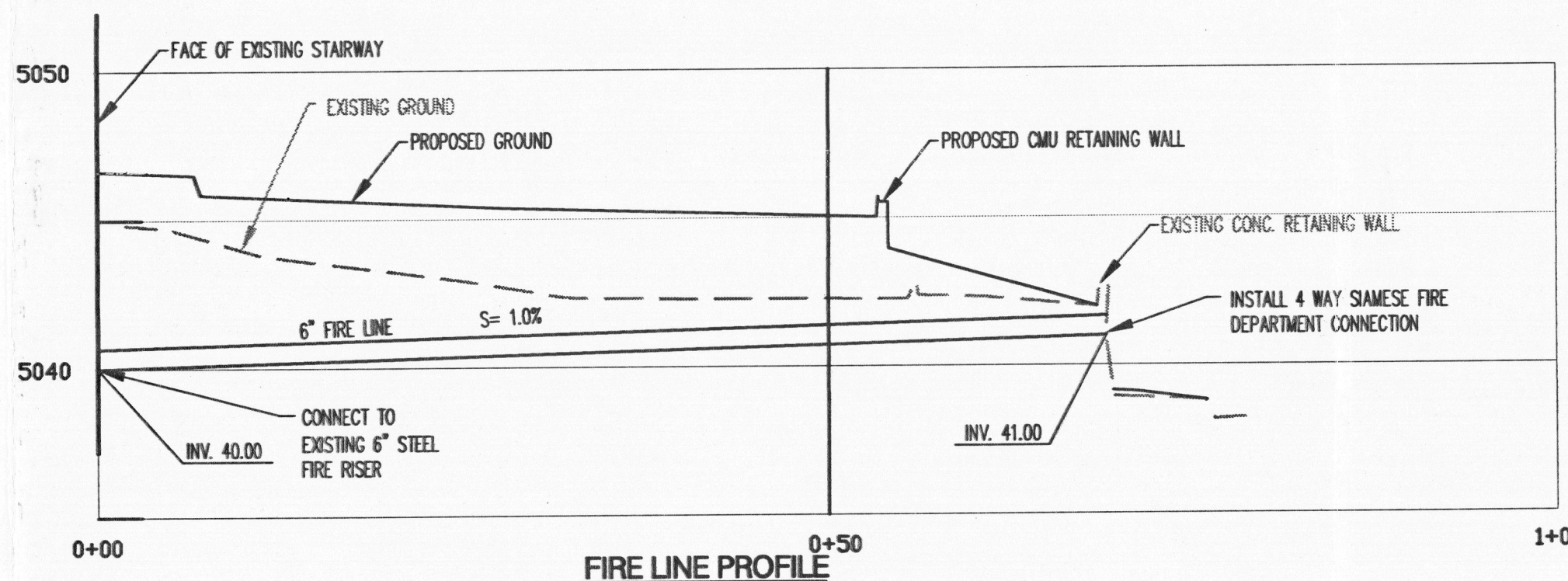
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- OFF-SITE SITE CONSIDERATIONS**
THERE ARE NO UPSTREAM OFF SITE FLOWS WHICH WILL IMPACT THIS SITE. IN ADDITION, THE SITE WILL NOT HAVE ANY DETRIMENTAL IMPACT ON DOWNSTREAM DRAINAGE INFRASTRUCTURE SINCE PROPOSED CONDITIONS DISCHARGE IS THE SAME AS EXISTING.
- CONCLUSION**
THE IMPROVEMENTS PROPOSED WITH THIS FINAL GRADING AND DRAINAGE PLAN ARE CAPABLE OF SAFELY PASSING THE 100 YEAR STORM AND MEET THE CITY REQUIREMENTS. WITH THIS SUBMITTAL, WE ARE SEEKING CITY HYDROLOGY APPROVAL FOR PAVING PERMIT.

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADE, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADE AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES REQUIREMENTS.

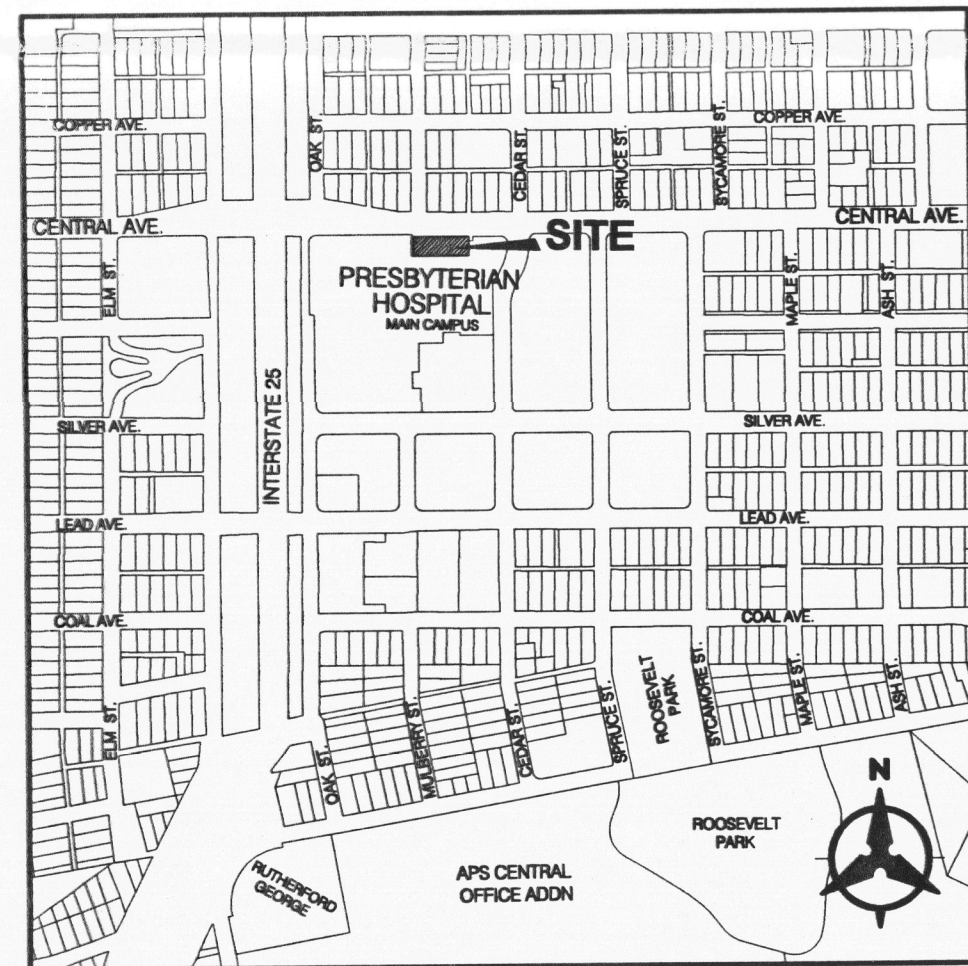
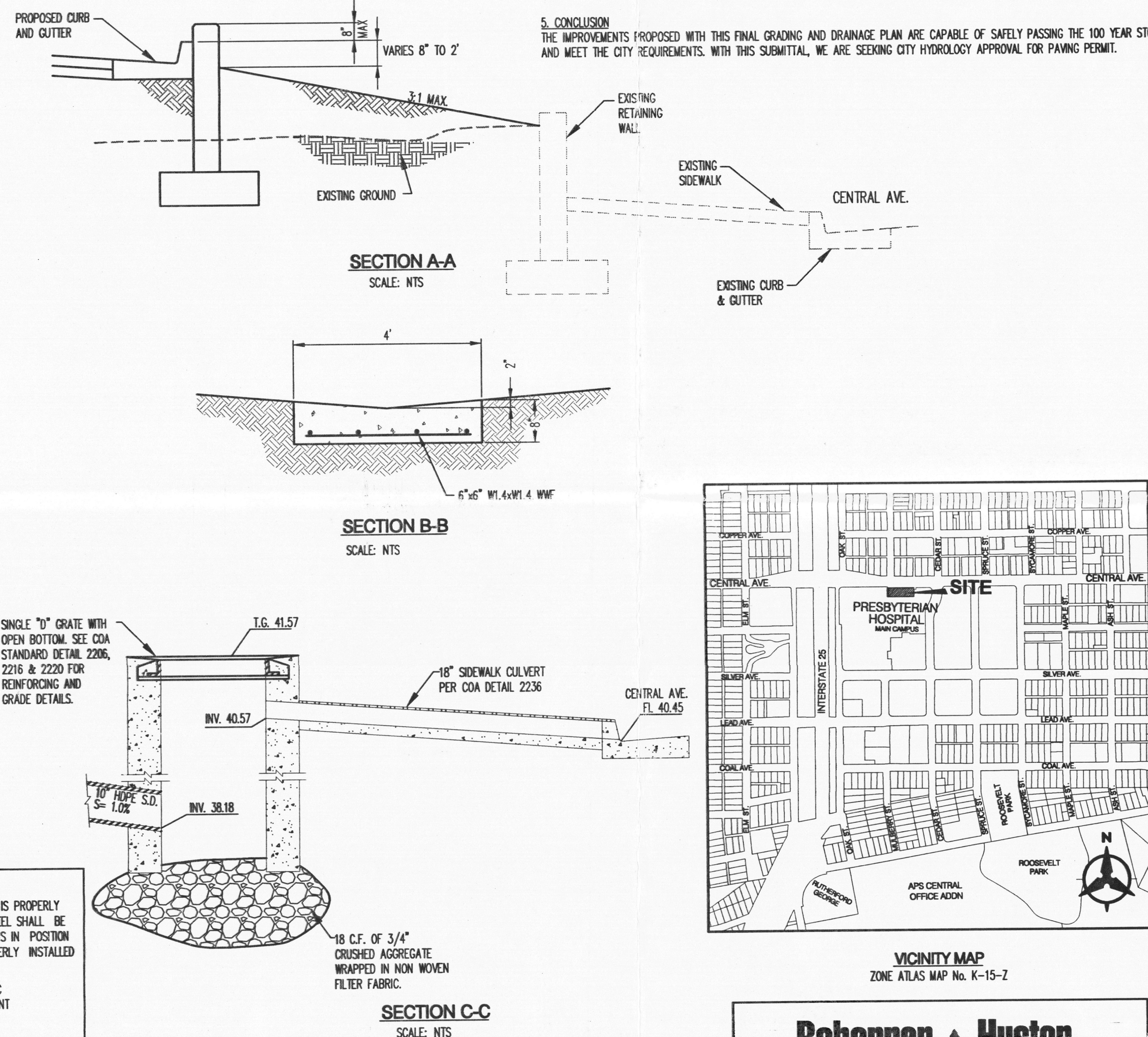
GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM OR SILT FENCE AT THE PROPERTY LINES AND NETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSATABLE MATERIAL AND/OR A BORROW SITE CONTAINING APPROVED FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND Haul TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS.
- THE CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS PRIOR TO CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS AND EXISTING GRADES THAT ARE TO BE FIELD VERIFIED.
- A GEOTECHNICAL INVESTIGATION HAS BEEN COMPLETED FOR THIS PROJECT. INCLUDED IN THIS REPORT ARE EARTHWORK RECOMMENDATIONS AND PAVEMENT DESIGN. THIS REPORT WAS PREPARED BY AMEC, DATED JANUARY 9, 2002. AMEC PROJECT NO. 1-517-000133.



NOTES:

- RETAINING WALL SHALL NOT BE BACK-FILLED UNTIL AT LEAST 7 DAYS AFTER GROUTING THE WALL.
- LAP SPLICE ON REINFORCING BARS IS NOT ALLOWED.
- CONSTRUCTION OF RETAINING WALLS SHALL CONFORM TO REQUIREMENTS OF THE 1997 UNIFORM BUILDING CODE.
- DESIGN DATA:
ETP (ACTIVE) = 36 PSF
SOIL BEARING PRESSURE = 2000 PCF
(1/3 INCREASE FOR WIND / SEISMIC)
COEFFICIENT OF FRICTION = 0.35
ETP (PASSIVE) = 300 PCF
CONCRETE F' C (28 DAYS) = 3000 PSI
REINFORCEMENT = EQ. ASTM A 615
- CONTRACTOR SHALL NOTIFY OWNER PRIOR TO CONCRETE FOOTING POUR. FOR INSPECTION OF COMPACTION UNDER FOOTING, FOOTING DEPTH AND WIDTH AND WALL STEEL AND SPACING. FINAL INSPECTION OF FOOTING AND WALL WILL BE REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CODE ADMINISTRATION APPROVAL AND FEES ASSOCIATED WITH IT.



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architect

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ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

engineer

project

**Presbyterian Hospital
East Expansion
Emergency Room Drop Off
Albuquerque NM**

Glenn Broughton
GLENN S. BROUGHTON
REGISTERED PROFESSIONAL ENGINEER
14171

- revisions
- REV. FF ELEV & GRADING
 - REV. CURB TRANSITIONS
 - REV. GRADING 4-29-03
 - REV. GRADING 0 NORTHWEST CORNER 5-29-03
 - REV. PARKING LOT 0 WEST SIDE 6-04-03

plotted:

drawn by KJW
reviewed by GSB
date 03-12-03
project no. 020184
drawing name

**EMERGENCY ROOM
DROP OFF
GRADING & DRAINAGE
PLAN**

BULLETIN 25
sheet no.

C101
of