ITY OF ALBUQUER

PLANNING DEPARTMENT – Development Review Services



Richard J. Berry, Mayor

September 5, 2014

Glenn Broughton, PE **BOHANNAN-HUSTON, INC.** 7500 Jefferson Street NE Courtyard I Albuquerque, NM 87109

RE: Presbyterian Hospital OR Remodel

Grading Plan

Engineer's Stamp Date 8-19-2014 (File: K15D005E)

Dear Mr. Broughton:

Based upon the information provided in your submittal received 8-22-14, the above referenced plan is approved for Building Permit and SO-19. Please attach a copy of this approved plan in the construction sets when submitting for a building permit.

A separate Excavation/Barricading Permit is required for SO-19 construction within City ROW. A copy of this approval letter must be on hand when applying for the permit. To obtain a C.O., the storm drain work in the City ROW must be inspected and accepted.

Please contact Jason Rodriguez, 857-8074, to schedule an inspection.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will

be required.

If you have any questions, you can contact me at 924-3695.

New Mexico 87103

PO Box 1293

Albuquerque

www.cabq.gov

Rita Harmon, P.E.

Senior Engineer, Planning Dept. **Development Review Services**

Orig: Drainage file

c.pdf: via Email: Recipient, Monica Ortiz

Antoinette Baldonado, Excavation and Barricading, ABaldonado@cabq.gov Jason Rodriguez, Street/Storm Drain Maintenance, JTRodriguez@cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title:		Building Permit #:		City Drainage #:
DRB#: E	PC#:		Work Order#:	:
Legal Description:				
City Address:				
			Contact:	
Address:				
Phone#: Fa			E-mail:	
Owner:			Contact:	
Address:			·	
Phone#: Fa	ax#:		E-mail:	
Architect:			Contact:	
Address:				
Phone#: Fa	ax#:		E-mail:	
Surveyor:			Contact:	
Address:				
Phone#: Fa	ax#:		E-mail:	
Contractor:			Contact:	
Address:				
Phone#: Fa	ax#:		E-mail:	
TYPE OF SUBMITTAL:	C	HECK TYPE OF APPROVA	AL/ACCEPTA	ANCE SOUGHT:
DRAINAGE REPORT		SIA/FINANCIAL GUARAN	ΓEE RELEASE	E
DRAINAGE PLAN 1st SUBMITTAL		PRELIMINARY PLAT APPR	ROVAL	
DRAINAGE PLAN RESUBMITTAL		S. DEV. PLAN FOR SUB'D	APPROVAL	
CONCEPTUAL G & D PLAN		S. DEV. FOR BLDG. PERMI	T APPROVAL	
GRADING PLAN		SECTOR PLAN APPROVAL		
EROSION & SEDIMENT CONTROL PLAN	ROSION & SEDIMENT CONTROL PLAN (ESC) FINAL PLAT APPROVAL			
ENGINEER'S CERT (HYDROLOGY)		CERTIFICATE OF OCCUPA	NCY (PERM)	
CLOMR/LOMR		CERTIFICATE OF OCCUPANCY (TCL TEMP)		
TRAFFIC CIRCULATION LAYOUT (TCL)		FOUNDATION PERMIT AP	PROVAL	
ENGINEER'S CERT (TCL)		BUILDING PERMIT APPRO	VAL	
ENGINEER'S CERT (DRB SITE PLAN)		GRADING PERMIT APPRO	VAL	SO-19 APPROVAL
ENGINEER'S CERT (ESC)		PAVING PERMIT APPROVA	AL	ESC PERMIT APPROVAL
SO-19		WORK ORDER APPROVAL		ESC CERT. ACCEPTANCE
OTHER (SPECIFY)		GRADING CERTIFICATION	1	OTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE ATTENDED	D:	Yes No Co	py Provided	
DATE SUBMITTED:	· · · · · · · · · · · · · · · · · · ·			
D	C1. 4::-: D1-41	-11 h	1:44-1 Th	

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the followin

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- **Drainage Report**: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE PLANNING DEPARTMENT

Hydrology Section

Predesign Meeting Conference Notes DATE: 8-13-14

ZONE ATLAS PAGE: K15 ADDRESS: Pres on Central DRAINAGE FILE:
PROJECT SCOPE: Hospital OR remodel - Small addition and
contyas work
ATTENDANCE: Curtis Cherry Glen Broughtin, Vyacheslav Praktice
FINDINGS:
1. Area to train our wall into sidewalk is go
existing condition and is of for remodel. CC 8-15-14
. Provide pending area for first Adush north of
the pedestrian path near the wall.
Narration to include him IL plan is managing the first flush
The undersigned agrees that the above findings are summarized accurately and are subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate

SIGNED: Dlen Brush

3

information.

SIGNED: Cut 4 Chi NAME (PRINT): Curtis A. Cherne

EXISTING SIDEWALK.

2. INSTALL 6" STORM DRAIN PIPE. 3. CORE DRILL EXISTING CONCRETE RETAINING WALL.

4. INSTALL NYLOPLAST DRAIN BASIN OR APPROVED EQUAL WITH 12" DOME

5. INSTALL 6"x6"x6" TEE.

6. INSTALL 45° BEND.

NOTICE TO CONTRACTORS (SO 19)

BEGINNING ANY WORK WITHIN THE NEW MEXICO ONE CALL SYSTEM CITY RIGHT-OF-WAY.

2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT 4. PRIOR TO CONSTRUCTION, THE AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE VERIFY THE HORIZONTAL AND VERTICAL CONSTRUCTED IN ACCORDANCE WITH LOCATIONS OF ALL CONSTRUCTIONS. CITY OF ALBUQUERQUE STANDARD SHOULD A CONFLICT EXIST, THE SPECS FOR PUBLIC WORKS CONTRACTOR SHALL NOTIFY THE ENGINEER 24—HOUR BASIS. CONSTRUCTION, 1986 EDITION AS SO THAT THE CONFLICT CAN BE RESOLVED REVISED THROUGH UPDATE #7 WITH A MINIMUM AMOUNT OF DELAY. AMENDMENT 1.

1. AN EXCAVATION/CONSTRUCTION 3. TWO WORKING DAYS PRIOR TO ANY 5. BACKFILL COMPACTION SHALL PERMIT WILL BE RÉQUIRED BEFORE EXCAVATION, CONTRACTOR MUST CONTACT BE ACCORDING TO TRAFFIC/STREET USE. (260-1990) FOR LOCATION OF EXISTING 6. MAINTENANCE OF THESE

> CONTRACTOR SHALL EXCAVATE AND OF THE PROPERTY SERVED.

7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A

FACILITIES SHALL BE THE

RESPONSIBILITY OF THE OWNER

			-
PPROVAL	NAME	DATE	
ISPECTOR			

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.

2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.

5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.

6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.

7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.

9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM

WATER PERMITS, ETC.). 10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE

CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR. 11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND

OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT,

PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS. 12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST

13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.

14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN

2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.

3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL" INVESTIGATION". ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).

4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.

5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.

6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.

7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE

8. PAVING AND ROADWAY GRADES SHALL BE $\pm/-$ 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.

9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.

10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

LEGEND

PROPOSED ASPHALT TRAIL SEE PAVEMENT SECTION THIS SHEET EXISTING CONTOURS PROPOSED SPOT ELEVATION TC=TOP OF CURB, FL=FLOW LINE TS=TOP OF SIDEWALK, TA=TOP OF ASPHALT EX=EXISTING, FG=FINISHED GRADE FGH=FINISHED GRADE HIGH FGL=FINISHED GRADE LOW PROPOSED DIRECTION OF FLOW

S=2.0% PROPOSED INTER CONTOURS

PROPOSED RETENTION PONDS

Bohannan A Huston

ISSUED FOR CONSTRUCTION \triangle DATE DESCRIPTION

1100 Albuqu

ARCHITECTURE / DESIGN / INSPIRATION

DEKKER

PERICH

7601 JEFFERSON NE, SUITE 100 ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

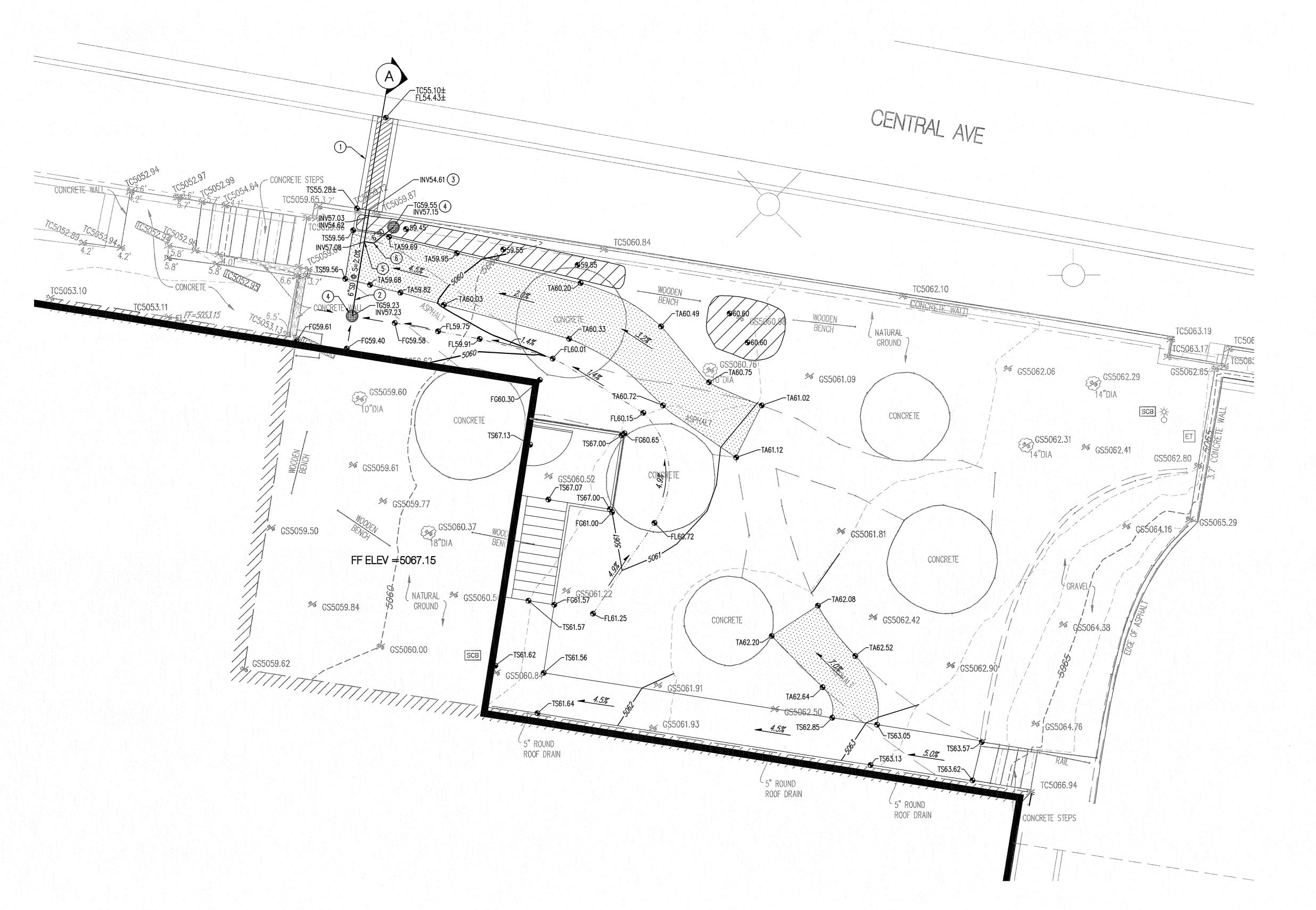
.ENGINEER

PROJECT

REVIEWED BY DATE 08/18/2014 PROJECT NO. 01-0045_076

DRAWING NAME

GRADING PLAN



SEE PAVEMENT

_6"x6"x6" TEE

2" ASPHALT CONCRETE -

@ 95% MAXIMUM DENSITY PER ASTM D-1557

8" SUBGRADE PREPARATION ----

ASPHALT TRAIL PAVEMENT SECTION

4" AGGREGATE -

BASE COURSE

SECTION THIS SHEET

FINISHED GRADE-

EXISTING CONCRETE RETAINING WALL

INV=54.61-

SECTION A

CORE DRILL CONCRETE— RETAINING WALL

SIDEWALK CULVERT -

EXISTING STANDARD -CURB & GUTTER

NOTE: STORM WATER RETENTION IS LOCATED NORTH OF THE PEDESTRIAN PATH TO INTERCEPT RUNOFF FROM FREQUENT LOW INTENSITY STORMS TO MITIGATE THE 'FIRST FLUSH' AS REQUIRED BY THE CITY OF ALBUQUERQUE DRAINAGE ORDINANCE