

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



September 5, 2014

Glenn Broughton, PE
BOHANNAN-HUSTON, INC.
7500 Jefferson Street NE Courtyard I
Albuquerque, NM 87109

Richard J. Berry, Mayor

**RE: Presbyterian Hospital OR Remodel
Grading Plan
Engineer's Stamp Date 8-19-2014 (File: K15D005E)**


Dear Mr. Broughton:

Based upon the information provided in your submittal received 8-22-14, the above referenced plan is approved for Building Permit and SO-19. Please attach a copy of this approved plan in the construction sets when submitting for a building permit.

A separate Excavation/Barricading Permit is required for SO-19 construction within City ROW. A copy of this approval letter must be on hand when applying for the permit. To obtain a C.O., the storm drain work in the City ROW must be inspected and accepted. Please contact Jason Rodriguez, 857-8074, to schedule an inspection.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf: via Email: Recipient, Monica Ortiz
Antoinette Baldonado, Excavation and Barricading, ABaldonado@cabq.gov
Jason Rodriguez, Street/Storm Drain Maintenance, JTRodriguez@cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: _____ Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- _____ DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ EROSION & SEDIMENT CONTROL PLAN (ESC)
- _____ ENGINEER'S CERT (HYDROLOGY)
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ ENGINEER'S CERT (TCL)
- _____ ENGINEER'S CERT (DRB SITE PLAN)
- _____ ENGINEER'S CERT (ESC)
- _____ SO-19
- _____ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ SIA/FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D APPROVAL
- _____ S. DEV. FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY (PERM)
- _____ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- _____ FOUNDATION PERMIT APPROVAL
- _____ BUILDING PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ GRADING CERTIFICATION
- _____ SO-19 APPROVAL
- _____ ESC PERMIT APPROVAL
- _____ ESC CERT. ACCEPTANCE
- _____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: _____ By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Hydrology Section
Predesign Meeting Conference Notes
DATE: 8-13-14

ZONE ATLAS PAGE: K15
DRAINAGE FILE: _____
PROJECT SCOPE:

ADDRESS: Pres on Central

Hospital OR remodel - small addition and
courtyard work

ATTENDANCE: Curtis Cherny, Glenn Broughton, Vyacheslav Prakhov

FINDINGS:

1. ~~Area to drain over wall into sidewalk is an existing condition and is ok for remodel. CC 8-15-14~~
2. Provide ponding area for first flush north of the pedestrian path near the wall.
3. Narrative to include how the plan is managing the first flush

The undersigned agrees that the above findings are summarized accurately and are subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: Curtis Cherny
NAME (PRINT): Curtis A. Cherny

SIGNED: Glenn Broughton
NAME (PRINT): Glenn Broughton

NOTE: PLEASE INCLUDE A COPY OF THIS SHEET WITH YOUR DRAINAGE SUBMITTAL

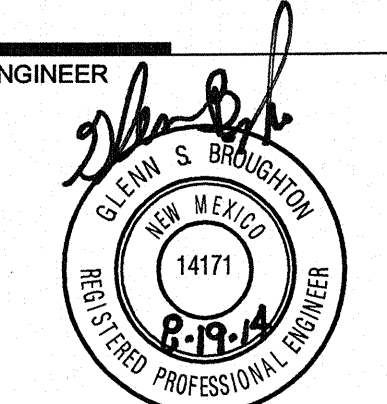
DEKKER
PERICH
SABATINI

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER



PROJECT

Presbyterian Hospital OR Remodel
1100 Central Ave. SE,
Albuquerque, NM 87106

ISSUED FOR
CONSTRUCTION

REVISIONS
DATE DESCRIPTION

DRAWN BY BO
REVIEWED BY GSB
DATE 08/18/2014
PROJECT NO. 01-0045_076
DRAWING NAME
GRADING PLAN

SHEET NO.

C-100

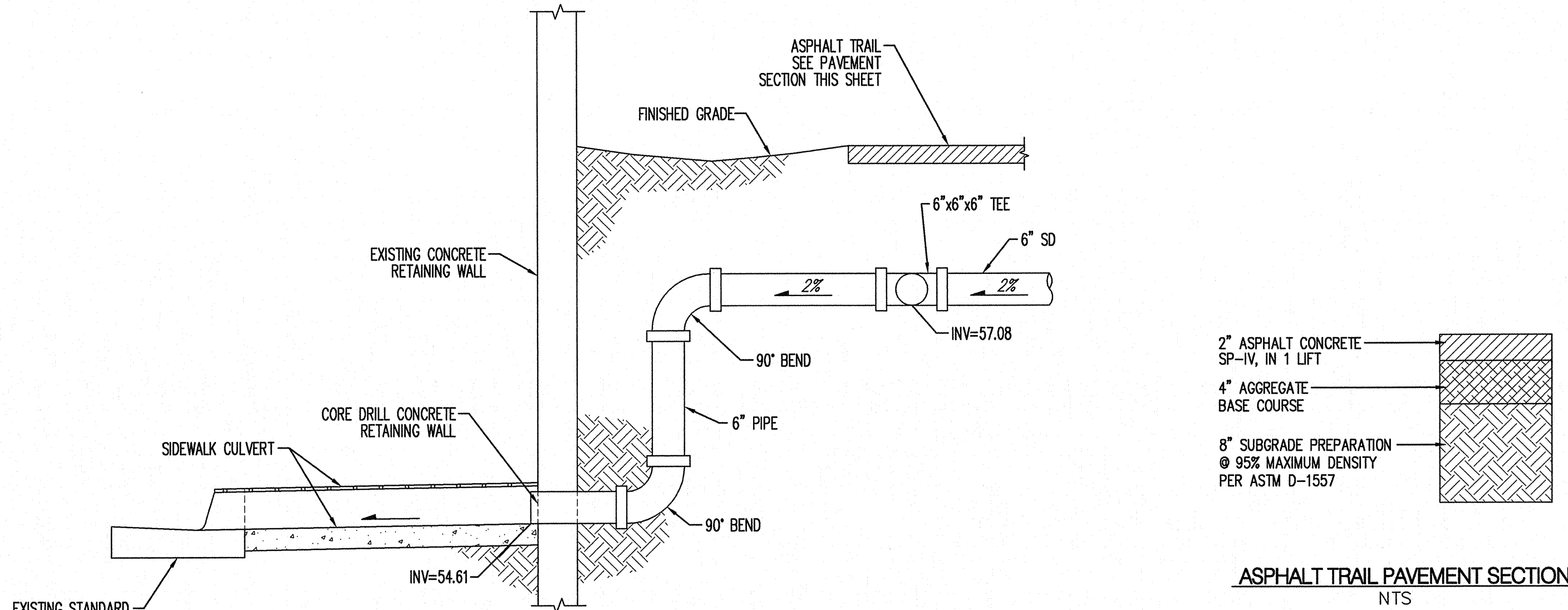
KEYED NOTES

1. INSTALL 18" WIDE SIDEWALK CULVERT PER COA STD DWG 2436. MATCH EXISTING SIDEWALK.
2. INSTALL 6" STORM DRAIN PIPE.
3. CORE DRILL EXISTING CONCRETE RETAINING WALL.
4. INSTALL NYLOPLAST DRAIN BASIN OR APPROVED EQUAL WITH 12" DOME GRATE.
5. INSTALL 6"x6"x6" TEE.
6. INSTALL 45° BEND.

NOTICE TO CONTRACTORS (SO 19)

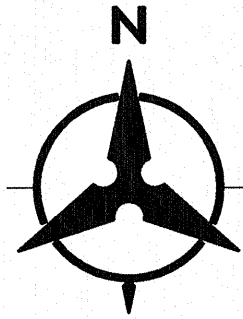
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (280-1990) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		



LEGEND

- PROPOSED ASPHALT TRAIL
SEE PAVEMENT SECTION THIS SHEET
- EXISTING CONTOURS
- PROPOSED SPOT ELEVATION
TC=TOP OF CURB, FL=FLOW LINE
TS=TOP OF SIDEWALK, TA=TOP OF ASPHALT
EX=EXISTING, FG=FINISHED GRADE
FH=FINISHED GRADE HIGH
FL=FINISHED GRADE LOW
- PROPOSED DIRECTION OF FLOW
- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED RETENTION PONDS



SCALE: 1"=5'

NOTE: STORM WATER RETENTION IS LOCATED NORTH OF THE PEDESTRIAN PATH TO INTERCEPT RUNOFF FROM FREQUENT LOW INTENSITY STORMS TO MITIGATE THE "FIRST FLUSH" AS REQUIRED BY THE CITY OF ALBUQUERQUE DRAINAGE ORDINANCE