

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Interim Director



Mayor Timothy M. Keller

March 31, 2020

Glenn Broughton
Bohannon Huston, Inc.
7500 Jefferson St. NE
Albuquerque, NM 87109

RE: Presbyterian Hospital Tower Expansion
1100 Central Ave. SE
Grading and Drainage Plan Stamp Date: 3/26/20
Hydrology File: K15D005H

Dear Mr. Broughton:

Based upon the information provided in your submittal received 3/26/20, the Grading and Drainage Plan is approved for Foundation Permit **only**. An additional submittal and submittal fees will be needed for the Building Permit approval.

At the time of Building Permit submittal we will require more detailed information on the storm drain system being used including slopes on pipes, details and sizing for all inlets.

If you have any questions, please contact me at 924-3986 or earmijo@cabq.gov.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: _____ Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Applicant: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

Check all that Apply:

DEPARTMENT:

_____ HYDROLOGY/ DRAINAGE
_____ TRAFFIC/ TRANSPORTATION

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

_____ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY

TYPE OF SUBMITTAL:

_____ ENGINEER/ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
_____ GRADING PLAN
_____ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL

_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: _____ Yes _____ No

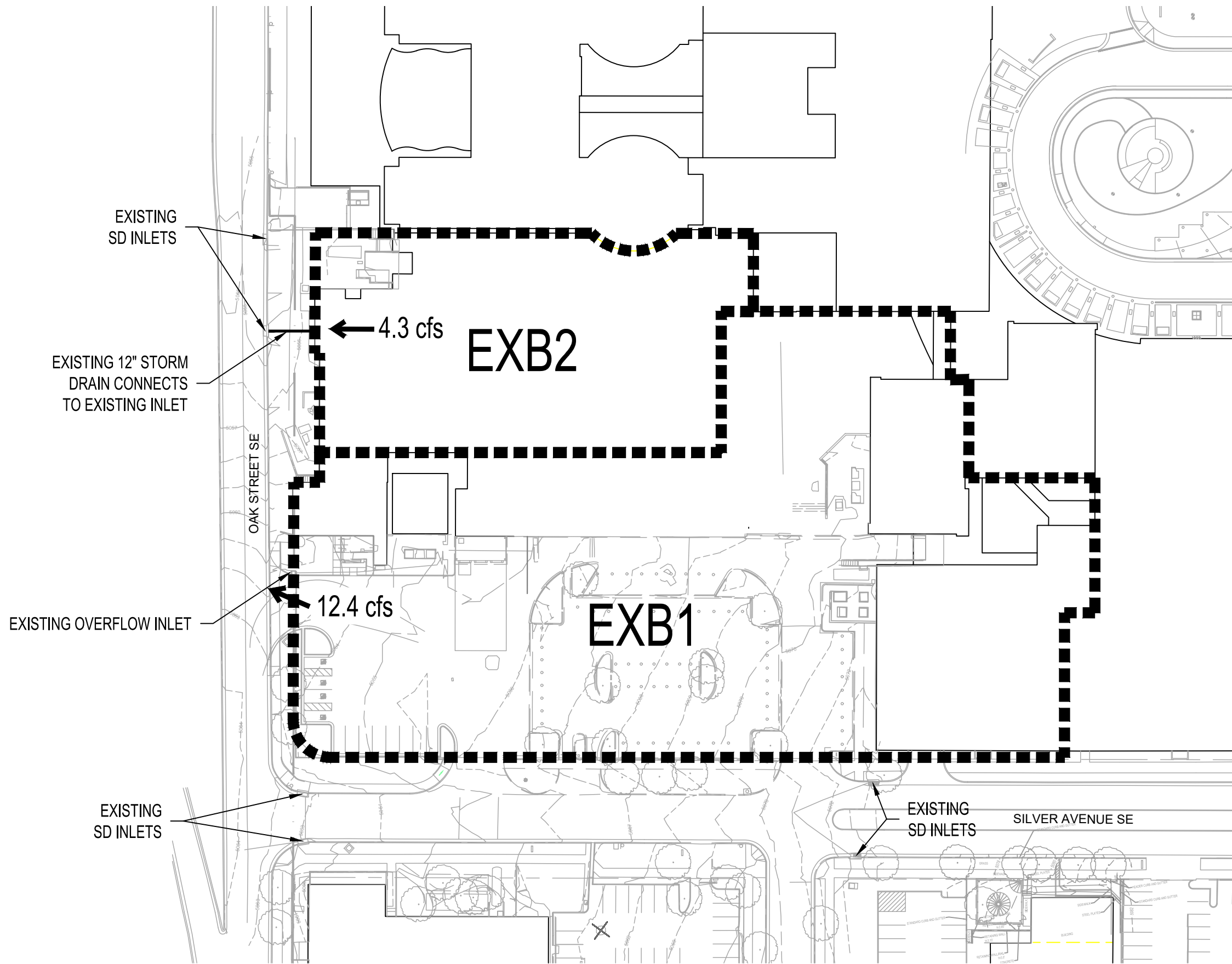
DATE SUBMITTED: _____ By: _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

PHS Hospital Expansion: Foundation Permit											
Existing Developed Conditions Basin Data Table											
This table is based on the DPM Section 22.2, Zone: 2											
Basin ID	Area	Area	Land Treatment Percentages				Q(100yr)	Q(100yr)	V(100yr)	V(100yr-6hr)	V(100yr-24hr)
	(SQ. FT)	(AC.)	A	B	C	D	(cfs/ac.)	(CFS)	(inches)	(CF)	(CF)
EXB1	119186	2.74	0.0%	0.0%	10.0%	90.0%	4.5	12.4	2.02	20073	23648
EXB2	39896	0.92	0.0%	0.0%	0.0%	100.0%	4.7	4.3	2.12	7048	8378



A2 EXISTING DRAINAGE MANAGEMENT PLAN
1" = 70'-0"

LEGEND

■■■■■■■■ DRAINAGE BASIN BOUNDARY

BACKGROUND:
PRESBYTERIAN HOSPITAL IS PLANNING AN EXPANSION TO THEIR DOWNTOWN CAMPUS. THE EXPANSION WILL CONSIST OF SEVERAL PHASES AND DISTINCT WORK AREAS AS DESCRIBED IN THE APPROVED DRB SITE PLAN. THE SCOPE OF THIS PORTION OF THE PROJECT IS A NEW HOSPITAL TOWER. THE TOWER WILL BE LOCATED NORTH OF SILVER AND WEST OF OAK ST.

METHODOLOGY:
THE SITE IS LOCATED IN THE CITY OF ALBUQUERQUE AND SECTION 22.2 OF THE DEVELOPMENT PROCESS MANUAL (DPM) WAS USED TO ANALYZE THE EXISTING AND PROPOSED DRAINAGE. THE PROJECT IS LOCATED BETWEEN THE RIO GRANDE AND SAN MATEO AND IS WITHIN PRECIPITATION ZONE 2.

EXISTING CONDITIONS:
THIS AREA OF THE SITE IS FULLY DEVELOPED WITH ASPHALT PAVING AND MINIMAL LANDSCAPING.

THE HOSPITAL EXPANSION AREA DRAINS TO THE NORTHWEST AND FREE DISCHARGES OUT A DRIVEWAY TO OAK (BASIN EXB1). THERE IS AN ONSITE PRIVATE STORM DRAIN THAT INTERCEPTS A PORTION OF THE PARKING LOT DRAINAGE. THIS STORM DRAIN ENDS AT AN INLET THAT SERVES AS AN OVERFLOW STRUCTURE WHICH DISCHARGES DIRECTLY TO OAK. THERE IS NO PUBLIC STORM DRAIN IN THE IMMEDIATE AREA AND THIS WAS THE DESIGN SOLUTION TO DRAIN THE SITE. BASIN EXB2 INCLUDES A PORTION OF THE EXISTING HOSPITAL. THIS ROOF AREA CONNECTS TO AN EXISTING PUBLIC STORM DRAIN SYSTEM IN OAK ST.

THE SITE IS NOT LOCATED WITHIN A DESIGNATED FEMA FLOOD ZONE (FEMA FIRM # 35001C0334G).

PROPOSED CONDITIONS:
THE HOSPITAL EXPANSION INCLUDES AN 11 STORY PATIENT TOWER ALONG WITH OTHER HOSPITAL FUNCTIONS. A PORTION OF THE EXISTING BUILDING HAS BEEN DEMOLISHED AS PART OF THIS PROJECT. THE EXPANSION WILL EXTEND TO THE RIGHT OF WAY OF SILVER. THE DRAINAGE AREA EAST OF THE NEW ADDITION WILL BE BLOCKED WITH THE ADDITION. A GRAVITY STORM DRAIN WILL CONVEY UPSTREAM AROUND THE BUILDING TO A NEW STORM DRAIN INLET OVERFLOW STRUCTURE. THE PRIVATE GRAVITY STORM ALONG SILVER AVE WILL BE CONSTRUCTED IN THE RIGHT OF WAY. A LICENSE AGREEMENT IS IN PLACE AND THE PLANS ARE APPROVED BY DRC (CPN 707580). THE SECTION OF STORM DRAIN ON PRIVATE PROPERTY IS BEING CONSTRUCTED UNDER A SITE UTILITY PROJECT. BOTH PROJECTS ARE CURRENTLY IN CONSTRUCTION.

WHEN SECOND PHASE OF THE HOSPITAL EXPANSION WEST OF THIS SITE IS CONSTRUCTED THE INTENT IS TO TO CONSTRUCT A PRIVATE STORM DRAIN IN THE OAK ST RIGHT OF WAY (NMDOT) AND CONNECT TO THE BACK OF AN EXISTING INLET IN OAK. A PORTION OF THE HOSPITAL ROOF DRAIN SYSTEM CURRENTLY CONNECTS TO THIS INLET. CONSTRUCTION OF THE PHASE 2 PRIVATE STORM DRAIN WILL INCLUDE CONNECTING THE PHASE 1 STORM DRAIN TO THE COLLECTION SYSTEM. WITH THE COMPLETION OF THE PHASE 2 HOSPITAL EXPANSION, RUNOFF FROM PHASE 1 AND PHASE 2 WILL BE CONVEYED IN A PRIVATE STORM DRAIN SYSTEM AND CONNECT TO THE PUBLIC STORM DRAIN INLET NOTED ABOVE. REFER TO THE APPROVED DRB SITE PLAN FOR ADDITIONAL INFORMATION

REFER TO THE DRAINAGE MANAGEMENT PLAN FOR DELINEATION OF THE DRAINAGE BASINS, LAND TREATMENTS AND RUNOFF PEAK FLOW RATES.

STORM WATER POLLUTION CONTROL - WATER QUALITY RUNOFF VOLUME:
NO RETENTION VOLUME WILL BE PROVIDED WITH THESE SITE MODIFICATIONS. THE SITE IS EXTREMELY CONGESTED WITH LITTLE AVAILABLE SPACE TO PROVIDE ONSITE STORM WATER RETENTION. THE SITE IMPROVEMENT PROJECT WHICH WAS RECENTLY APPROVED PAID CASH IN LIEU FOR THE IMPERVIOUS AREA DISTURBED WITH THAT PROJECT. WITH THIS PROJECT THERE WILL BE SOME AREAS WITHIN THE SITE IMPROVEMENT PROJECT LIMITS THAT WILL BE RECONFIGURED. IT IS OUR UNDERSTANDING THAT PAYMENT OF CASH IN LIEU FOR SUBSEQUENT PROJECTS WILL NOT INCLUDE ADDITIONAL DISTURBED AREAS PREVIOUSLY ACCOUNTED FOR WITH THE SITE IMPROVEMENT PROJECT. THE WATER QUALITY VOLUME AND FEES WILL BE COMPUTED ON EACH PHASE AS PART OF THE REQUEST FOR BUILDING PERMIT APPROVAL.

CONCLUSION:
THE AREAS THAT ARE PROPOSED FOR REDEVELOPMENT CURRENTLY DISCHARGE TO THE PUBLIC RIGHT OF WAY. WITH THE REDEVELOPMENT OF THE HOSPITAL TOWER SITE THE EXISTING DRAINAGE PATTERNS AND PEAK DISCHARGE FLOW RATES WILL NOT CHANGE SIGNIFICANTLY. PROVIDING ONSITE RETENTION VOLUME TO COMPLY WITH SECTION 22.9 OF THE DPM IS NOT TECHNICALLY FEASIBLE. THE OWNER WILL PAY CASH IN LIEU BASED ON THE CALCULATED RETENTION VOLUMES. THIS WILL BE FINALIZED DURING THE REQUEST FOR BUILDING PERMIT APPROVAL. THIS DRAINAGE MANAGEMENT PLAN IS BEING SUBMITTED IN SUPPORT OF HYDROLOGY APPROVAL FOR FOUNDATION PERMIT.

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PRESBYTERIAN HOSPITAL
ADDITION AND RENOVATION

1100 Central Ave SE
Albuquerque, NM 87106

TOWER
FOUNDATION
PERMIT

REVISIONS

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DRAWN BY BO
REVIEWED BY GSB
DATE 3/26/2020
PROJECT NO. 19-0010.001
DRAWING NAME

EXISTING
DRAINAGE
MANAGEMENT PLAN

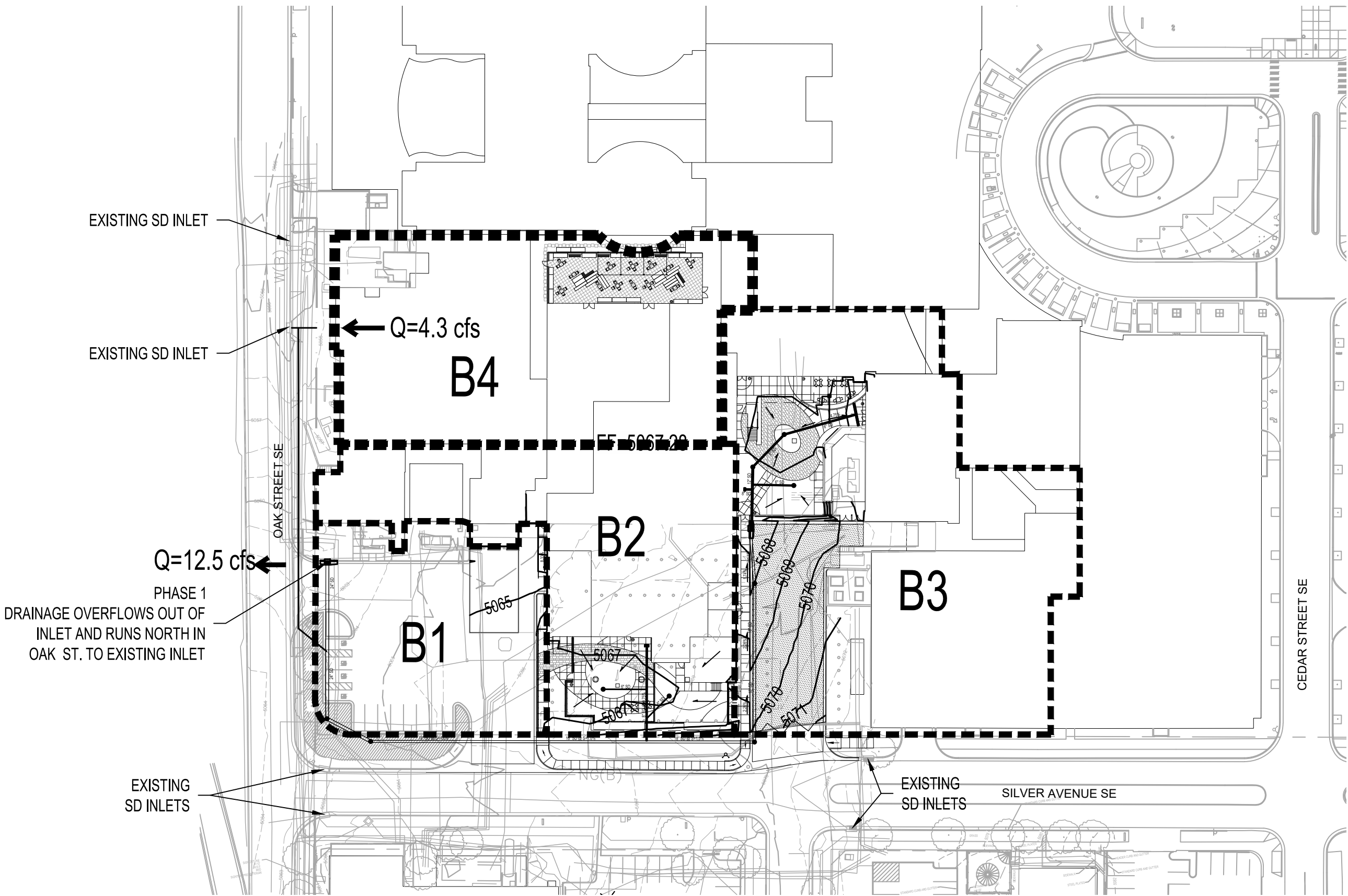
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			A	B	C	D	(cfs/ac.)	(CFS)	(inches)	(CF)	(CF)
CURRENT ONSITE BASINS											
B1	22981	0.53	0.0%	0.0%	13.0%	87.0%	4.5	2.4	1.99	3814	4480
B2	35837	0.82	0.0%	0.0%	0.0%	100.0%	4.7	3.9	2.12	6331	7526
B3	60278	1.38	0.0%	0.0%	9.0%	91.0%	4.6	6.3	2.03	10202	12030
B4	39986	0.92	0.0%	0.0%	0.0%	100.0%	4.7	4.3	2.12	7064	8397

LEGEND

----- DRAINAGE BASIN BOUNDARY



PROJECT BENCH MARK

ALBUQUERQUE GEODETIC REFERENCE STATION "S_1K15BR RESET 1982"
GEOGRAPHIC POSITION (NAD 1983)
NM STATE PLANE COORDINATES
(CENTRAL ZONE, US SURVEY FOOT)
N= 1485713.773 USR E= 1523768.861 USR
GROUND-TO-GRID FACTOR = 0.999679809
DELTA ALPHA = -00°13'26.78"
NAVD 1988 ELEVATION= 5010.623 USR

KEYED NOTES

1. INSTALL STORM DRAIN PIPE.
2. INSTALL HEAVY DUTY ASPHALT PAVEMENT PER 2/C-201.
3. PRIVATE STORM DRAIN, INLETS AND DRAIN BASINS TO BE INSTALLED WITH PRIVATE INFRASTRUCTURE PACKAGE.
4. PRIVATE STORM DRAIN AND DRAIN BASINS WITHIN SILVER AVENUE RIGHT OF WAY TO BE INSTALLED WITH PUBLIC WORK ORDER PACKAGE.
5. INSTALL TRENCH DRAIN WITH PEDESTRIAN / ADA COMPLIANT GRATE.
6. INSTALL DRAIN BASIN WITH 8" DOME GRATE.
7. CONNECT TO STORM DRAIN PIPE.
8. CONNECT TO STORM DRAIN INLET.
9. EXTEND STORM DRAIN TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
10. EXTEND SANITARY SEWER SERVICE LINE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
11. INSTALL 10" SDR-35 PVC SANITARY SEWER SERVICE LINE.
12. CONNECT TO 10" SANITARY SEWER MAIN WITH 2" RISER.

GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION". ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

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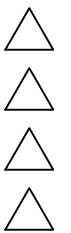
PROJECT

PRESBYTERIAN HOSPITAL
ADDITION AND RENOVATION

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TOWER
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REVISIONS



DRAWN BY	BO
REVIEWED BY	GSB
DATE	3/26/2020
PROJECT NO.	19-0010.001
DRAWING NAME	

GRADING &
DRAINAGE PLAN
AND UTILITY PLAN

SHEET NO.

C-101
OF

