

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

March 15, 2021

Jeremy Shelton, R.A.
Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109

Re: Highlands Development Pedestrian Bridge
1101 Central Ave SE 87106
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 6-28-19 (AA) (K15D005I)
Certification dated 3-2-21

Dear Mr. Shelton,

PO Box 1293

Based upon the information provided in your submittal received 3-3-21, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

NM 87103

Sincerely,

www.cabq.gov

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

March 2, 2021

DEKKER
PERICH
SABATINI

Traffic Engineer
City of Albuquerque
Public Works Department
Development & Building Services Division
600 2nd Street NW
Albuquerque, New Mexico 87102

**Re: Transportation Certificate of Occupancy
Highlands Development Pedestrian Bridge**

To Whom It May Concern:

I, Jeremy Shelton, NMRA no.4187 of the firm Dekker/Perich/Sabatini, hereby certify that the above referenced project is substantially compliant in accordance with the approved Amended Site Development Plan dated June 28, 2019 (along with building permit site plan approved on June 12, 2020), per our visit to the site on March 1, 2021.

This certification is submitted in support of a request for Transportation Temporary Certificate of Occupancy. The record information presented herein is not complete and intended only to verify substantial compliance of the traffic aspects of this project as they relate to the above mentioned building. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

If you have any questions, please feel free to contact myself or Roland Delyser at 761-9700, thank you.

Very truly yours,
Dekker/Perich/Sabatini Ltd.

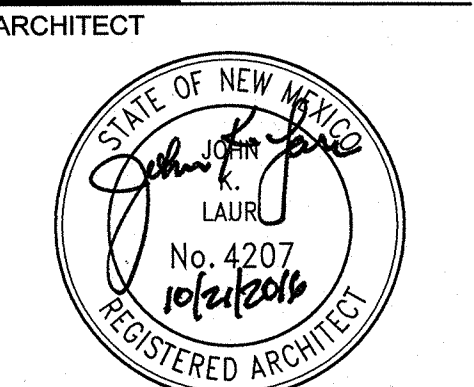
Jeremy Shelton AIA, CSI, LEED AP
Principal / Architect



3/2/21

DEKKER
PERICH
SABATINI

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
505.761.9700 / DPSDESIGN.ORG



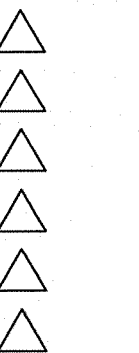
ENGINEER

PROJECT

PRESBYTERIAN HOSPITAL
MAIN DRIVE ENTRY RELOCATION
1100 Central Ave. SE
Albuquerque, NM 87106

ADMINISTRATIVE
AMENDMENT

REVISIONS



DRAWN BY CD
REVIEWED BY JL
DATE 10/21/2016
PROJECT NO. 15-0125.001
DRAWING NAME

SITE PLAN FOR
ADMINISTRATIVE
AMENDMENT

SHEET NO.
AS101
OF

GENERAL SHEET NOTES

- A. DESIGN AND BUILT TO FOLLOW CITY OF ALBUQUERQUE STANDARD DETAILS FOR ROADS AND DRAINAGE.
- B. DIMENSIONS ARE TO FACE OF CURB, OR WALL OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- C. SEE ELECTRICAL DRAWINGS FOR LIGHTING AND FIXTURE SCHEDULE. ALL LIGHTING FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT.
- D. SEE CIVIL DRAWINGS AND BID PACKAGE #1 (FOUNDATION) FOR GRADING, DRAINAGE, SITE UTILITIES, VEHICULAR PAVING AND CURB AND GUTTER INFORMATION. (ALL CURBS SHALL COMPLY WITH THE CITY OF ALBUQUERQUE STANDARDS).
- E. FOR LAYOUT OF SITE CURB AND GUTTER, RETAINING WALLS AND BUILDINGS SEE CIVIL DRAWINGS FOR HORIZONTAL CONTROL PLAN.
- F. PARKING LOT SHALL MEET ALL ADA REQUIREMENTS

THIS AA DOES NOT INCLUDE
ANY IMPROVEMENTS WITHIN
THE PUBLIC RIGHT-OF-WAY

PARKING COUNTS

WITHIN LIMITS OF PARKING EFFECTED BY IMPROVEMENTS

	ON STREET	ADA	VAN	CAR	REGULAR	TOTAL
EXISTING:	17	16	2	14	269	302
PROPOSED:	0	26	5	21	245	271

AA SUMMARIZATION

TO REVISE AND UPGRADE PARKING ON THE CAMPUS OF PRESBYTERIAN HOSPITAL IN SUPPORT OF THE MODIFICATIONS TO CEDAR AND SPRUCE STREETS. SEE JUSTIFICATION LETTER DATED MARCH 16, 2016 THAT WAS TURNED IN WITH ORIGINAL AA SUBMISSION.

SHEET KEYED NOTES

- 1. HEAVY DUTY ASPHALT RV SPACES
- 2. STREET LIGHT - MUST COMPLY WITH SECTION 14-16-3-9 AREA LIGHTING REGULATIONS
- 3. PARKING LOT LIGHT
- 4. REMOVE CHAIN LINK FENCE
- 5. AREA OF ADMINISTRATIVE AMENDMENT
- 6. RELOCATED PARKING LOT ISLANDS
- 7. NOT A PART OF THIS ADMINISTRATIVE AMENDMENT

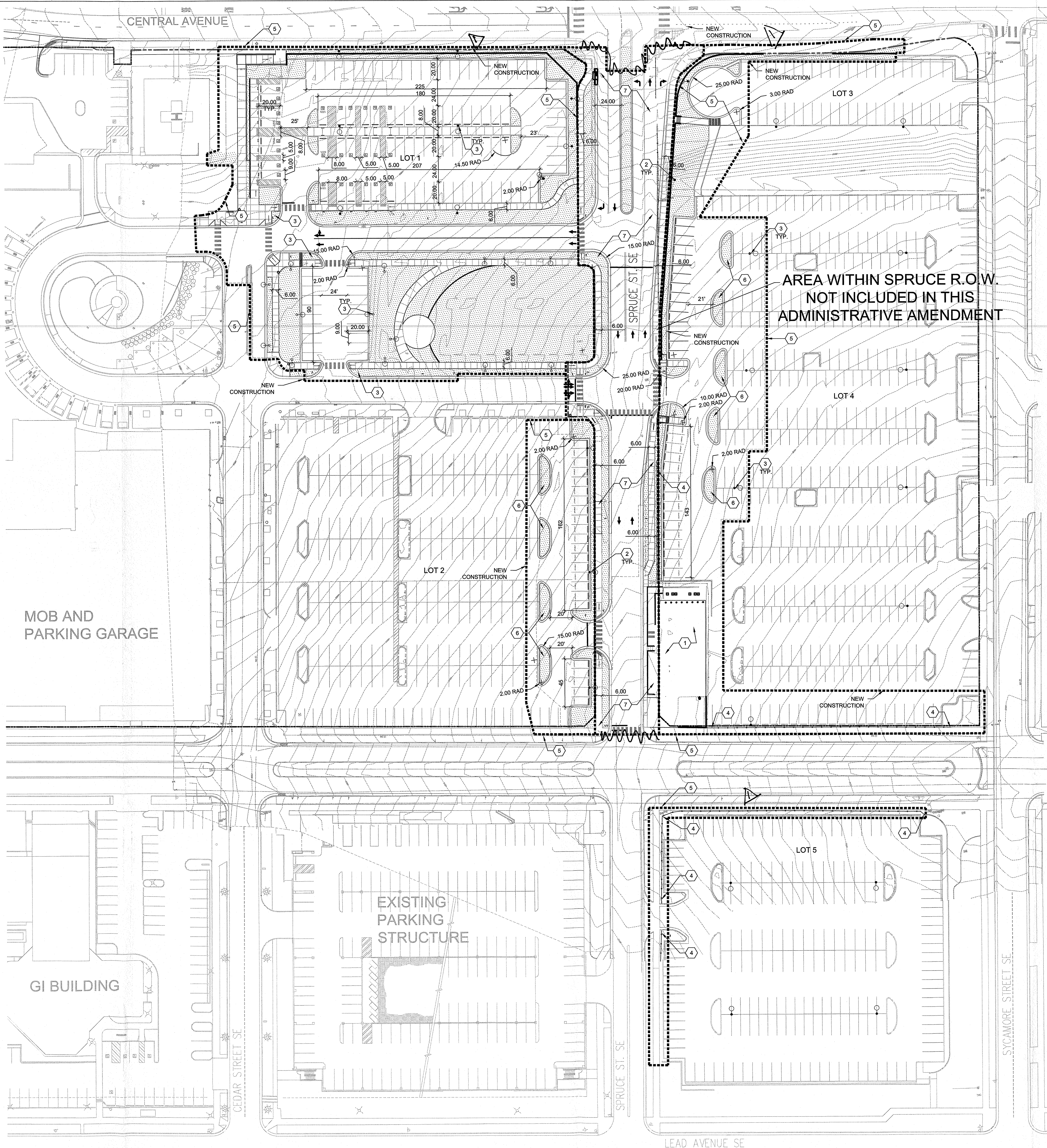
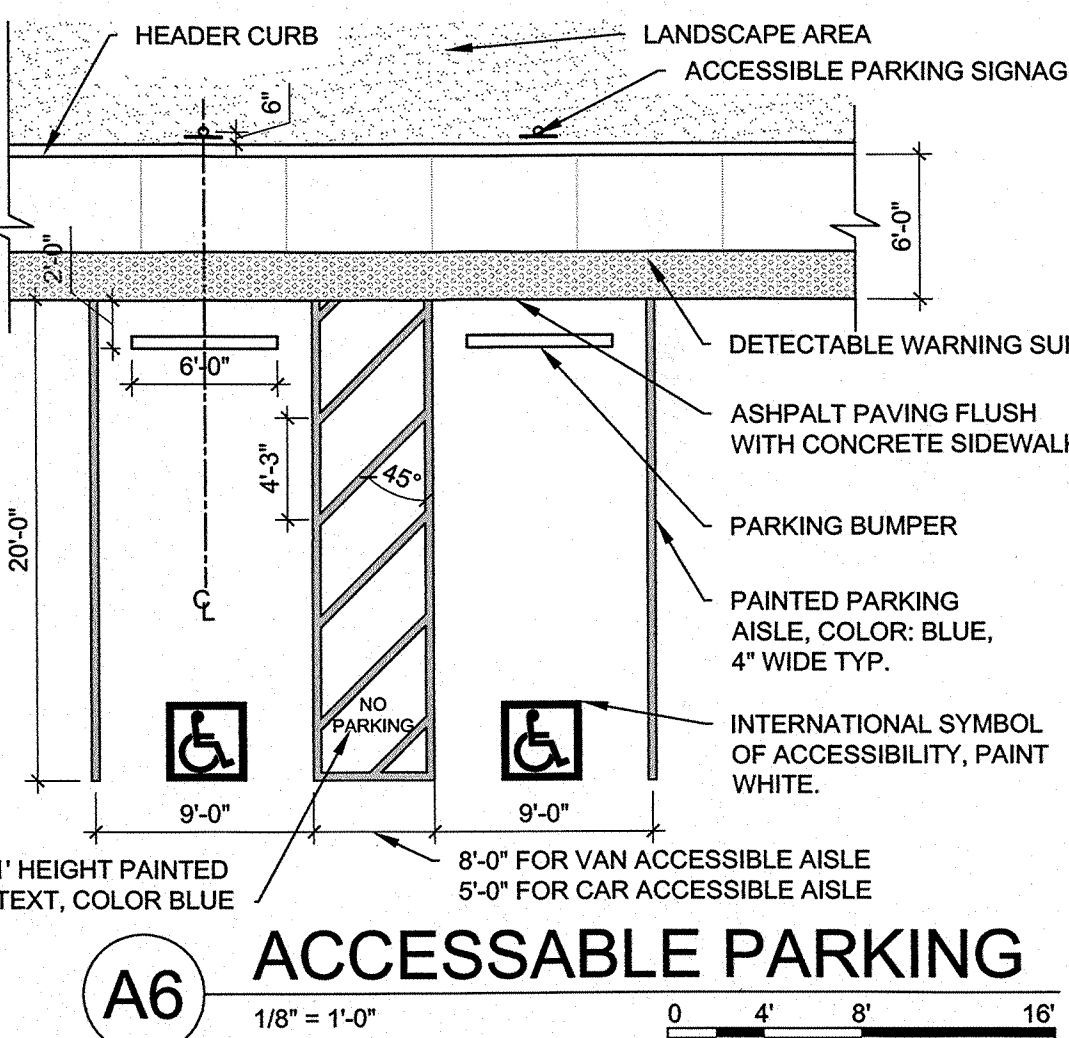
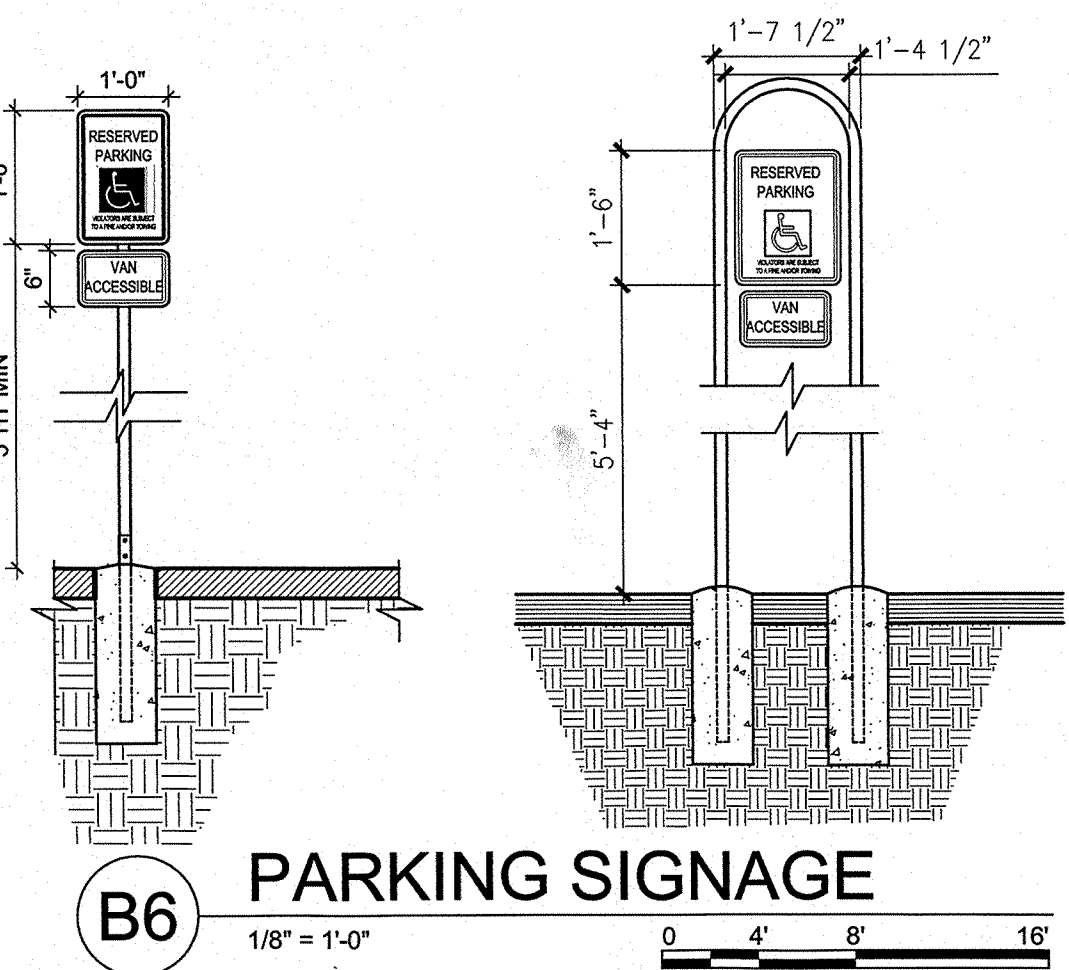
LEGEND

- PROPERTY LINE
- LIMITS OF WORK
- LANDSCAPE AREA, SEE LP101



ADMINISTRATIVE AMENDMENT
FILE # ~~1000495~~ PROJECT # 1000495
~~REVISIONS TO PARKING AREAS~~
~~AND LANDSCAPING AS~~
SHANN (DOES NOT INCLUDE PAV. IMPROVEMENTS)
APPROVED BY DATE

NOTE: LANDSCAPING MUST COMPLY W/
LANDSCAPE REGULATIONS OF THE
ZONING CODE.



NORTH
A1 SITE PLAN FOR ADMINISTRATIVE AMENDMENT
1" = 40'-0"
0 20' 40' 80'

GENERAL SHEET NOTES

A. DESIGN AND BUILT TO FOLLOW CITY OF ALBUQUERQUE STANDARD DETAILS FOR ROADS AND DRAINAGE.

AA SUMMARIZATION

TO DOCUMENT THE PEDESTRIAN BRIDGE PREVIOUSLY APPROVED UNDER THE SITE DEVELOPMENT PLAN FOR THE MARRIOTT SPRINGHILL SUITES ACROSS CENTRAL AVENUE WITHIN THE HIGHLANDS DEVELOPMENT

SHEET KEYED NOTES

1. NEW PEDESTRIAN BRIDGE OVER CENTRAL AVENUE.

LEGEND

- PROPERTY LINE
..... LIMITS OF WORK

ARCHITECTURE / DESIGN / INSPIRATION

DEKKER
PERICH
SABATINI

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER

PROJECT

PRESBYTERIAN HOSPITAL
PEDESTRIAN BRIDGE
1100 Central Ave. SE
Albuquerque, NM 87106

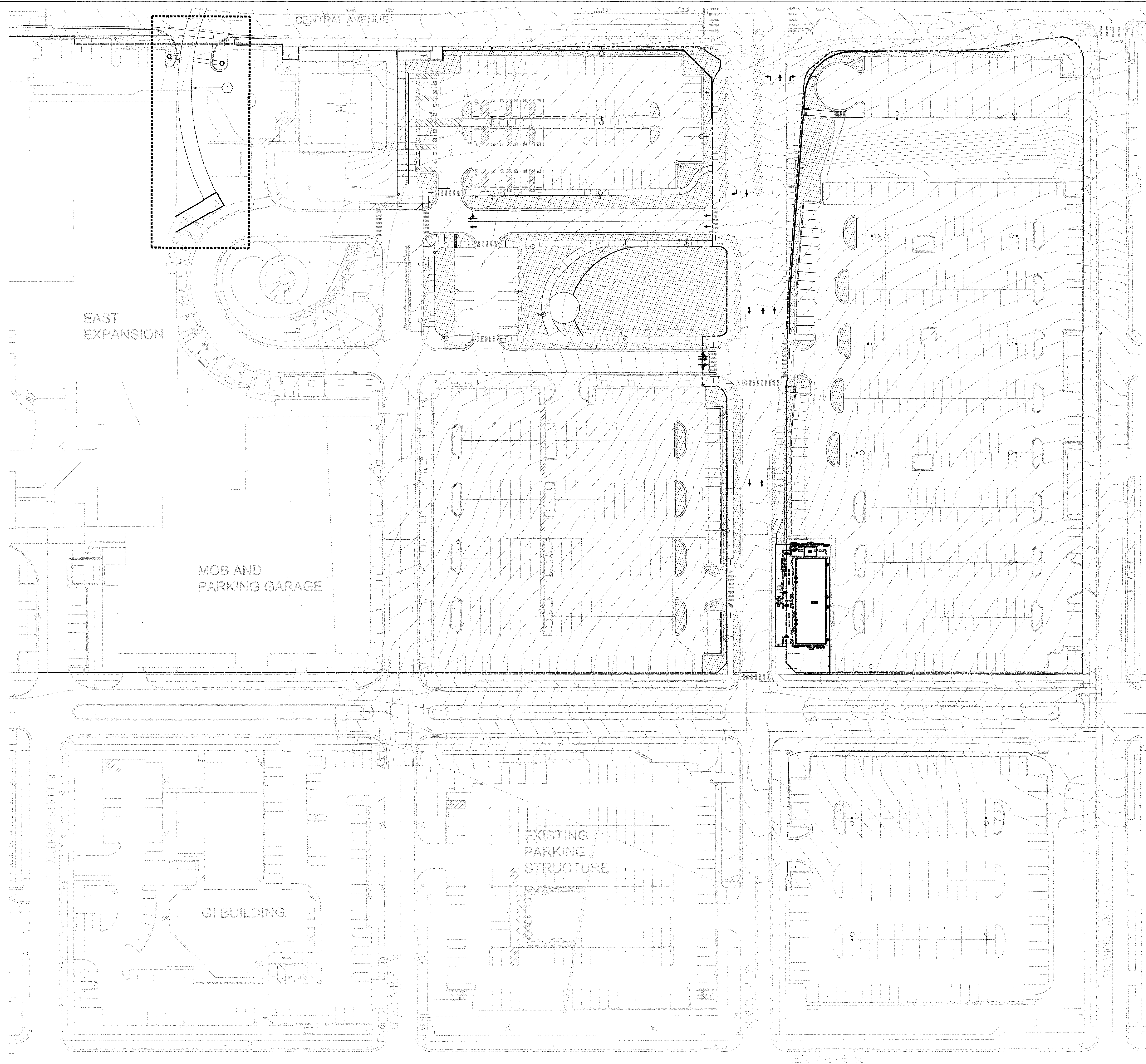
ADMINISTRATIVE
AMENDMENT

- REVISIONS
△
△
△
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DRAWN BY CRG
REVIEWED BY CRG
DATE 06/26/2019
PROJECT NO. 18-0031.001
DRAWING NAME

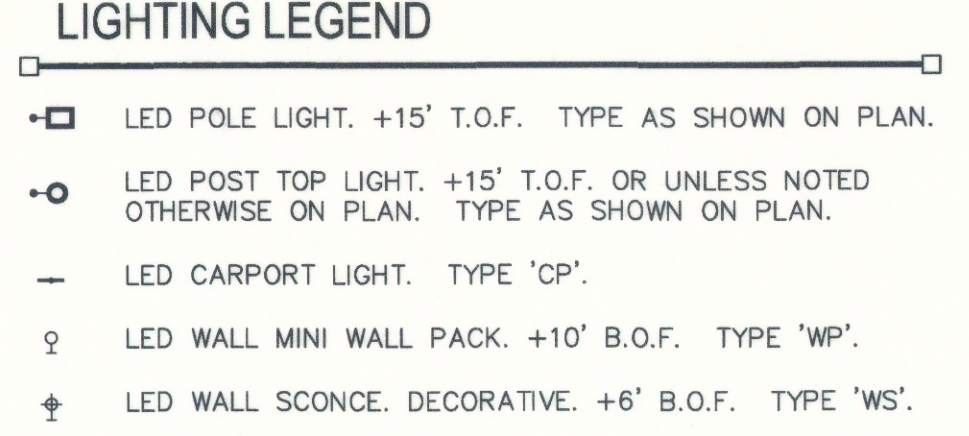
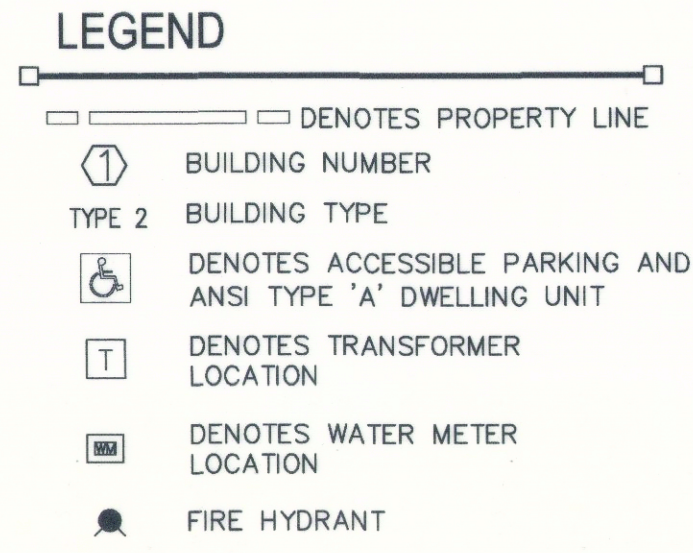
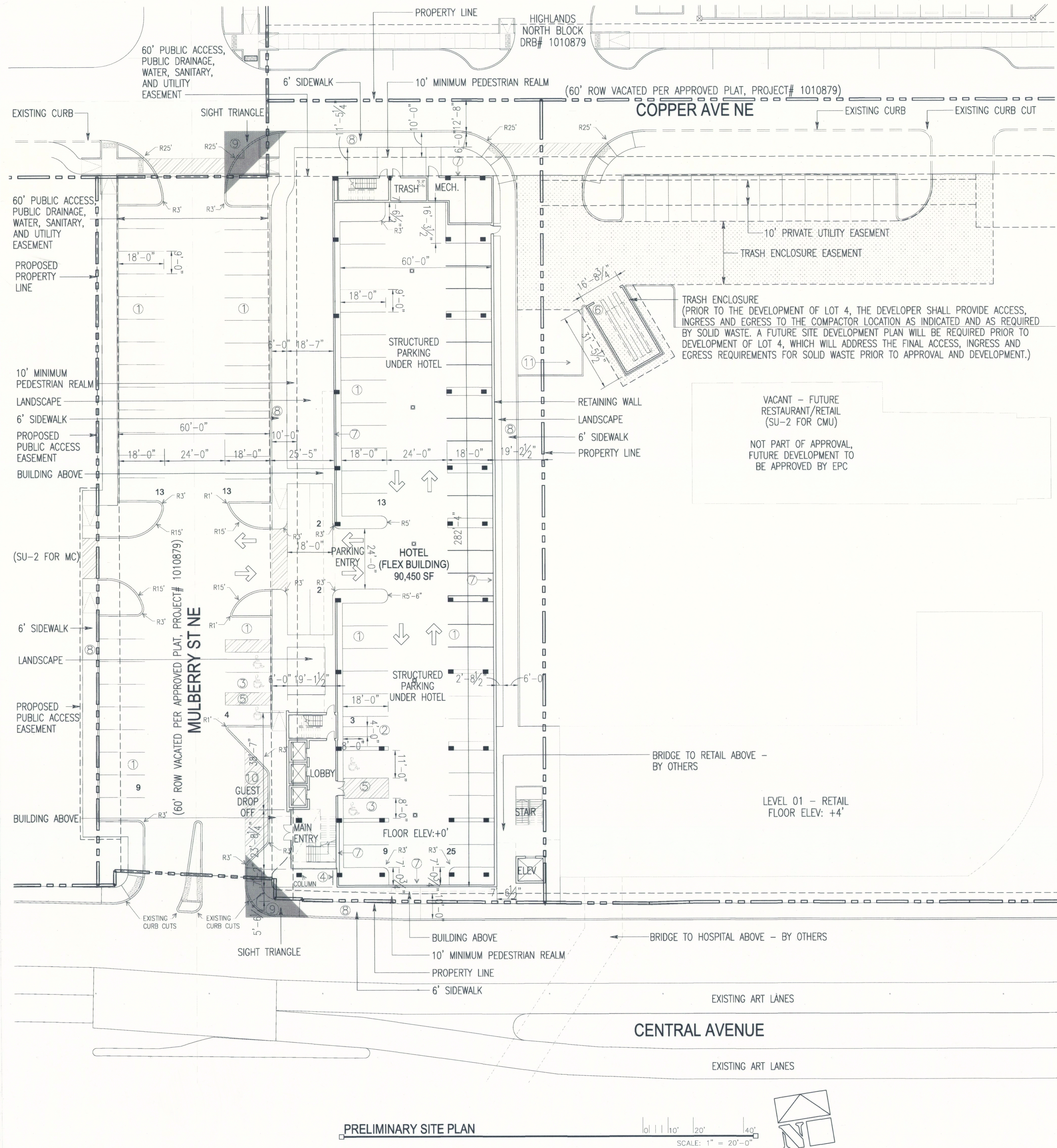
SITE PLAN FOR
ADMINISTRATIVE
AMENDMENT

SHEET NO.
AS101
OF



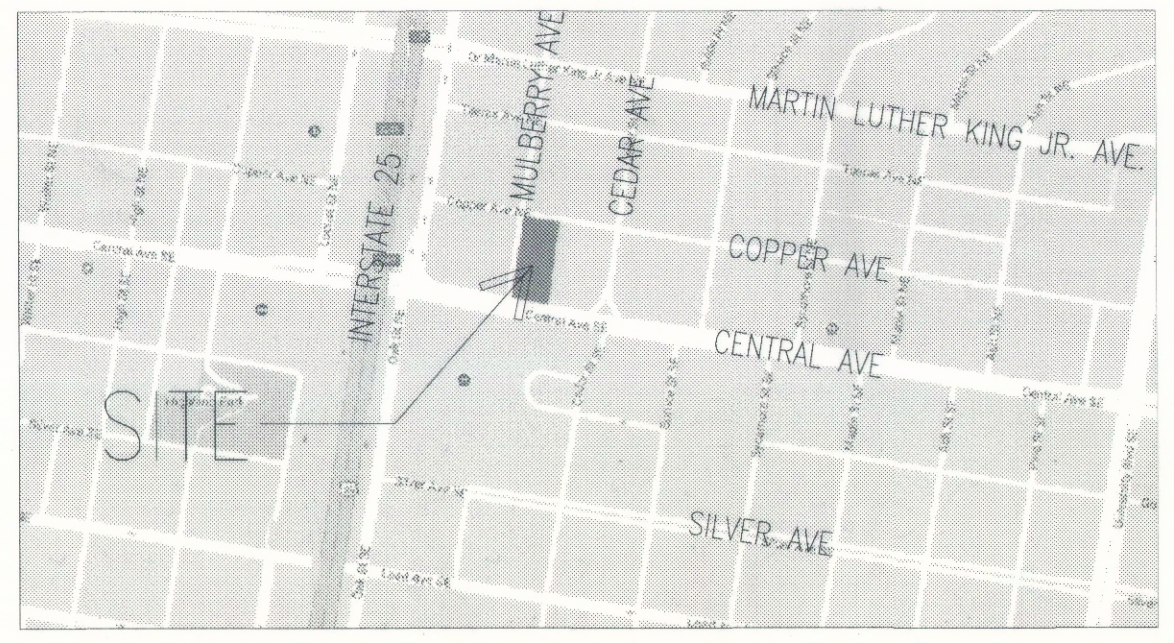
NORTH
A1 SITE PLAN FOR ADMINISTRATIVE AMENDMENT
1" = 40'-0"

ADMINISTRATIVE AMENDMENT
FILE #20187 PROJECT #2019
Pedestrian bridge to
East Expansion building
APPROVED BY DATE



- GENERAL NOTES**
- THE PROPOSED BUILDING TYPE IS A FLEX BUILDING. PER THE FLEX BUILDING REQUIREMENTS, THE MARRIOTT SPRINGHILL SUITES WILL BE A STANDARD RECTANGULAR URBAN BUILDING FORM, AND ACCESS TO THE LEVELS ABOVE THE STRUCTURED PARKING WILL BE PROVIDED VIA A GROUND FLOOR LOBBY WITH DIRECT ACCESS TO THE STREET. PARKING WILL BE LOCATED UNDER THE PRINCIPAL BUILDING AND IN A COMMON ON-STREET PARKING AREA. THE GROUND LEVEL FRONTAGE FOR THE BUILDING'S GROUND FLOOR LOBBY WILL BE GLASS STOREFRONT.
 - ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER WITH DRC APPROVED PLANS.
 - PREVIOUS BUILDINGS WILL BE DEMOLISHED. ALL EXISTING DOORS, STRUCTURES, SIDEWALKS, CURBS, DRIVE PADS, WALL AND ANYTHING THAT INFLUENCES THE PARKING AND CIRCULATION ARE IDENTIFIED ON THE SITE PLAN.
 - LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
 - PROVIDE NEW CURB AND GUTTER WITH ON STREET PARKING ON ALL 4 SIDE PER STD DWG 2415A, 2418, 2406 AND ANY OTHER THAT MAY APPLY. ALL UNUSED CURB CUTS SHALL BE REPLACED WITH NEW CURB & GUTTER AND SIDEWALKS.
 - THE PROPOSED DEVELOPMENT WILL FEATURE AN APPROXIMATELY 15-FOOT-WIDE URBAN PEDESTRIAN REALM ALONG CENTRAL AVENUE AND MULBERRY STREET THAT WILL INTERACT WITH THE BUILDING FRONTAGE AND ADJACENT RIGHT-OF-WAY. THE PEDESTRIAN AREA WILL BE AN INVITING AND PLEASANT ENVIRONMENT FOR WALKERS, GUESTS, AND OTHER VISITORS. THIS AREA WILL FEATURE STREET TREES, PLANTERS, SPECIALTY PAVING, GLAZING, AND OTHER AMENITIES. THIS AREA IS CONSISTENT WITH THE FORM-BASED CODE, WHICH SPECIFIES A "USABLE PEDESTRIAN REALM" THAT ACCOMMODATES STREET DESIGN AND APPROPRIATE BUILDING PLACEMENT.
 - ACCESSIBLE PARKING SPACES MUST HAVE A SIGN THAT INCLUDES THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND STATE "RESERVED PARKING." ACCESSIBLE VAN PARKING SPACES WILL STATE "VAN ACCESSIBLE". ACCESSIBLE SIGN WILL BE 12"X18"H AND VAN ACCESSIBLE SIGN WILL BE 12"X6"H. SYMBOL OF ACCESSIBILITY SHOULD BE 4"H. SIGNS WILL HAVE GREEN LETTERING AND BORDER ON A WHITE BACKGROUND. SIGNS SHOULD BE MOUNTED AT LEAST 60 INCHES ABOVE PARKING SURFACE.
 - THE ADA ACCESS AISLES SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED. (66-1-4.1.8 NMSA 1978)
 - PER ZONING CODE, A 6 FT. WIDE ADA ACCESSIBLE PEDESTRIAN PATHWAY WILL BE PROVIDED FROM THE PUBLIC SIDEWALK TO THE BUILDING ENTRANCES.
 - WHEELCHAIR RAMPS REQUIRED BY ADA, WILL BE PROVIDED. WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE DETECTABLE WARNING SURFACES, "CAST-IN-PLACE" TRUNCATED DOMES. ALL CURB RAMPS WILL MEET THE 2010 ADA STANDARD REQUIREMENTS FOR NEWLY CONSTRUCTED OR ALTERED STREETS AND STREET-LEVEL PEDESTRIAN WALKWAYS.
 - WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
 - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE. REFER TO SHEET 7 OF 8 FOR PEDESTRIAN REALM DIAGRAMS.
 - 6 FT SIDEWALKS SURROUNDING BUILDING MUST BE KEPT FREE AND CLEAR WITHIN THE WALKING ZONE.
 - FUTURE CHANGES TO PROPOSED SIGNAGE CAN BE AMENDED ADMINISTRATIVELY. SIGNAGE WILL COMPLY WITH 14-16-3-22(8)(3)(N) AND 14-16-3-22(C)(7) AND WILL REMAIN WITHIN THE PROPERTY LINE.
 - BUILDING MOUNTED LIGHTS SHALL BE BETWEEN 6' AND 14' ABOVE ADJACENT GRADE. SEE 14-16-3-22(C)(6) FOR DETAILS AND OTHER REFERENCES.
 - EQUIPMENT SCREENING WILL COMPLY WITH SCREENING REQUIREMENTS IN SECTION 14-16-3-18(C)(6)(A) OF THE CITY OF ALBUQUERQUE ZONING CODE.
 - THE 20 PERCENT BUILDING HEIGHT MODIFICATION WILL COMPLY WITH SECTION 14-16-3-22(A)(6)(B)(1)(C) OF THE CITY OF ALBUQUERQUE ZONING CODE.
 - MULBERRY STREET AND COPPER AVENUE RIGHTS-OF-WAY HAVE BEEN VACATED. AN OFFICIAL NOTICE OF DECISION WAS ISSUED BY THE CITY PLANNING DEPARTMENT ON JANUARY 23, 2017 FOR PROJECT #1010879, 160RB-70447. THE PLAT ASSOCIATED WITH THIS ACTION WAS RECORDED ON JUNE 13, 2017 FOR PROJECT #1010879, 17DRB-70119.
 - DETAIL TO BE PROVIDED IN BUILDING PERMIT SET FOR FIRE AND SOLID WASTE.

- KEYNOTES**
- 9'x18' PARKING SPACE, TYPICAL.
 - 4'x8' MOTORCYCLE PARKING SPACE.
 - 8'x18' ACCESSIBLE PARKING SPACE. ACCESSIBLE GARAGE SPACE.
 - BICYCLE PARKING. 5 SPACES PROVIDED.
 - ACCESSIBLE DRIVEWAY CROSSING PAINTED MARKING.
 - TRASH ENCLOSURE WITH COMPACTOR SURROUNDED BY 8' CMU WALL WITH GF'S FINISH TO MATCH THE BUILDING. SEE SHEET 8 OF 8 FOR TRASH ENCLOSURE PLANS AND ELEVATIONS.
 - ENCLOSED STRUCTURED PARKING GARAGE.
 - 6' SIDEWALK, GRAY CONCRETE COLOR.
 - 25'x25' SIGHT VISIBILITY TRIANGLE AT STREET CORNER.
 - ENHANCED PAVING AT MAIN ENTRY AUTO COURT.
 - AREA EAST OF SIDEWALK FOR RETAIL DEVELOPMENT BY OTHERS.



DEVELOPMENT DATA

NET SITE AREA :

1.23 ACRES (53,549 S.F.)

ZONING AND LAND USE:

CURRENT: SU-2 FOR CMU (C-2)
PROPOSED: SU-2/SU-1 FOR MIXED USE (FORM BASED CODE)
LAND USE: COMMERCIAL

BUILDING HEIGHT :

	SIDE (W)	REAR (N)	SIDE (E)	FRONT (S)
ALLOWED: 72 FEET*	72'	72'	72'	72'
PROPOSED:	72'	67'	67'	67'

*60 FEET, PLUS AN ADDITIONAL 20% DUE TO LOCATION ALONG TRANSIT CORRIDOR. REFER TO GENERAL NOTE #19.

BUILDING GSF :

90,450 SF

SETBACKS REQUIRED :

	SIDE (W)	REAR (N)	SIDE (E)	FRONT (S)
BUILDINGS	0	10'-0"	0	0

SETBACKS PROVIDED :

	SIDE (W)	REAR (N)	SIDE (E)	FRONT (S)
BUILDINGS	71'-1"	30'-1"	19'-1"	2'-8"

MINIMUM USABLE OPEN SPACE REQUIRED AND PROVIDED	
REQUIRED (10% OF SITE AREA)	5,355 SQ FT
PROVIDED (INCLUDING LANDSCAPING AND PEDESTRIAN-ORIENTED HARDSCAPE)	11,784 SQ FT

PARKING SPACE REQUIREMENTS	
PARKING RATIO REQUIRED - 1 SPACE PER 1,000 SF REDUCE BY 15% PER TRANSIT REDUCTION	
Total Parking Spaces Required	73
ON-STREET PARKING PROVIDED	39
OFF-STREET PARKING PROVIDED	51
Total Parking Provided	90
Accessible Parking Required	5
ON-STREET PARKING PROVIDED	3
OFF-STREET PARKING PROVIDED	2
Total Accessible Parking Provided	5
Total Motorcycle Parking Required	3
Total Motorcycle Parking Provided	3
Total Bicycle Parking Provided	5

GLAZING CALCULATIONS FOR STREET FACING FACADES (NORTH, WEST, AND SOUTH FACADES)	
TOTAL GLAZING AREA AT GROUND FLOOR	403 SF
TOTAL AVAILABLE STREET-FACING GROUND FLOOR FACADE AREA (EXCLUDES WALL ASSEMBLIES)	1,518 SF
PERCENTAGE OF GROUND FLOOR STREET FRONTAGE GLAZING	26.55%
TOTAL GLAZING AREA AT UPPER FLOORS	5,358 SF
TOTAL AVAILABLE STREET-FACING FACADE AREA AT UPPER FLOORS (EXCLUDES FLOOR, WALL, AND ROOF ASSEMBLIES)	18,574 SF
PERCENTAGE OF STREET FRONTAGE GLAZING AT UPPER FLOORS	28.85%

PROJECT NUMBER: 1010879
Application Number: 16DRB-70011

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (✓) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Robert M. Smith 2/14/18
Traffic Engineering, Transportation Division Date
Ricky Cade 08-22-18
ABCWUA Date
James D. Hynes 2/14/2018
Parks and Recreation Department Date
City Engineer
N/A
Solid Waste Management Date
DRB 9-24-18
Chairperson, Planning Department Date

ARCHITECT

5G

5G STUDIO COLLABORATIVE
800 JACKSON STREET | SUITE 500
DALLAS, TEXAS 75202
214.670.0050
CONTACT: CHRISTINE ROBBINS-ELROD

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE ARCHITECT. THEY SHALL NOT BE USED, TRANSFERRED, OR SOLD FOR USE EXCEPT BY AN AGREEMENT IN WRITING FROM THE ARCHITECT.

SEAL

PRELIMINARY DOCUMENT
NOT FOR CONSTRUCTION

OWNER / DEVELOPER

TITAN DEVELOPMENT
6300 RIVERSIDE PLAZA LANE NW, STE 200
ALBUQUERQUE, NEW MEXICO 87120
505.998.0163
CONTACT: JOSH ROGERS

OWNER'S CONSULTANT / OPERATOR

INTERMOUNTAIN MANAGEMENT, LLC
2390 TOWER DRIVE
MONROE, LOUISIANA 71201
318.812.7126
CONTACT: DAVE RAYMOND

CIVIL ENGINEER

BOHANNAN HUSTON
7500 JEFFERSON STREET NE
ALBUQUERQUE, NEW MEXICO 87109
505.823.1000
CONTACT: MIKE BALASKOVITS

PLANNER

CONSENSUS PLANNING, INC.
302 EIGHTH STREET NW
ALBUQUERQUE, NEW MEXICO 87102
505.764.9801
CONTACT: MALIK HAKIM

PROJECT

SPRINGHILL SUITES®
MARRIOTT
ALBUQUERQUE

PROJECT ADDRESS

CENTRAL AVE. & MULBERRY ST.
ALBUQUERQUE, NM 87106

REV.	DATE	ISSUE
1	2.14.18	DRB SUBMITTAL

IMM012
PROJECT NUMBER

SITE PLAN FOR BUILDING PERMIT

SHEET 1 OF 9
SHEET NUMBER