

100-443887-1000

TOTAL DOUBLE SPACES REQUIRED: 101/20 = 5
 TOTAL SINGLE SPACES REQUIRED: 5

SEE PLAN FOR OUTLINE
 OF THE FILE

PARKING & ACCESS REQUIREMENT

TRACT 262

PROPOSED PROPERTY USE



REFUSE ENCLOSURE, AS PER
CITY OF ALBUQUERQUE
STANDARDS. COORD WITH

ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED

$$1/2'' = 1' - 0'' \quad < 02$$
$$1/4^n = 1^s - 0^n \quad < x-1$$

ADMINISTRATIVE AMENDMENT #1
DATED 7-31-02, SHEETS A301 & A302-
VARIOUS CHANGES WINDOW OPENINGS
AND PARKING DECK OPENINGS.

12-2-02 ADMINSTRATIVE
MEMORANDUM

Divisions

4-3-02 EPC FINANCES AND CON
S-23-02

6-13-02 NEIGHBORHOOD ASSOC.

6-19-02 DRB REVIEW COMMENTS

6-26-02 ARCHITECTURAL
REVISION NO REC APPR

Drafting: 6-24-02 RJA
C:\0101-MEMPHIS\SOVAC\REVIEWS-EPC01.DWG

Reviewed by _____

Issued by _____

Date 6-26-02

Project no. 100596

Drawing name _____

Draft 2/2/02

Site Development Plan
for Building Permit

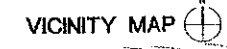
Post no.

AC

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[illegible]

MEAL INSTANT BITE CARDBOARDS (PAGE 2-3)

TOTAL MEAL SQUARE FOOTAGE	57,138
TOTAL BITE SQUARE FOOTAGE	243,444.41 SF (4.32 ACRES)
TOTAL	29

MEAL INSTANT MEAL OFFICE BUILDING (PAGE 3-4)

TOTAL BUILDING SQUARE FOOTAGE	16,550
TOTAL BITE SQUARE FOOTAGE	101,285.55 SF (2.32 ACRES)
TOTAL	36

PARKING DECK YOUNG FOOTAGE 28,725 |

SEE COMMENTS

FOOTPRINTS YOUNG SQUARE FEET ARE A PRODUCT OF AN APPROXIMATE AND CAN BE ACCURATELY FOR CREATING A NEWTON SQUARE AREA SQUARE

LANDSCAPING

FOR PART 7, IF NOT REPORTED FOR FOOTPRINTS REQUIREMENT OF
FOOTING MEASUREMENT CARBONS

LEGEND

[illegible]

THIS SITE DEVELOPMENT PLAN IS CONSISTENT WITH THE PLAN APPROVED
AT THE _____ 2002 ENVIRONMENTAL PLANNING COMMISSION HEARING:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION

CITY ENGINEER/AMATCA

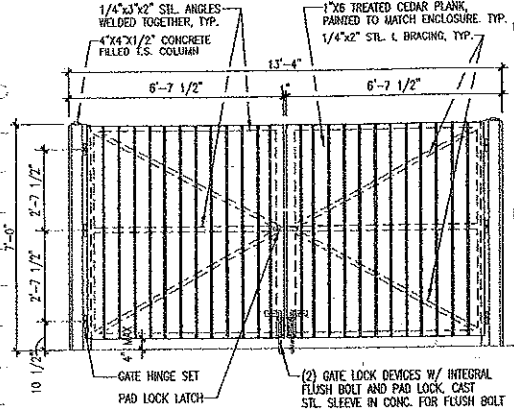
PUBLIC WORKS, UTILITY DIVISION

DESIGN AND DEVELOPMENT DEPARTMENT, CIP

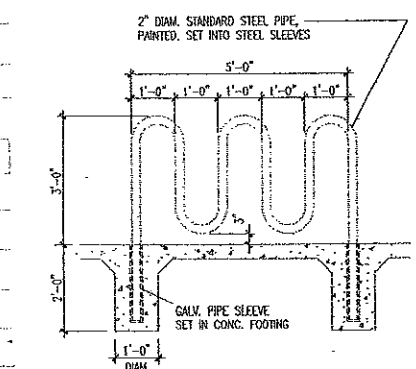
CITY PLANNER, PLANNING DIVISION



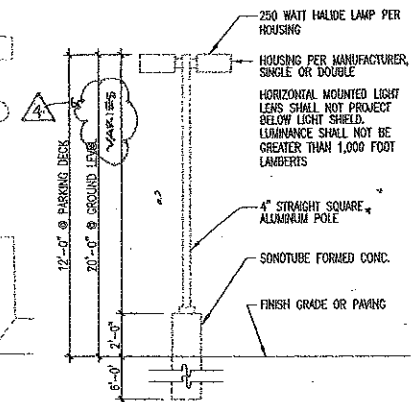
6801 Jefferson NE
Suite 100
Albuquerque, NM 8710
505 761-9700
Fax 761-4222
dps@dpsabq.com



3/8"=1'-0" < X-02DUMP3.DWG >



1/2"=1'-0" < 02BIKE01.DWG >



1/4"=1'-0" < X-LIGHT.DWG >

revisions

△ 6-19-02 NEIGHBORHOOD ASSOC. COM

△ 6-25-02 ARCHITECTURE
REVISION TO EPC
APPROVED DRW

△

△

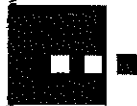
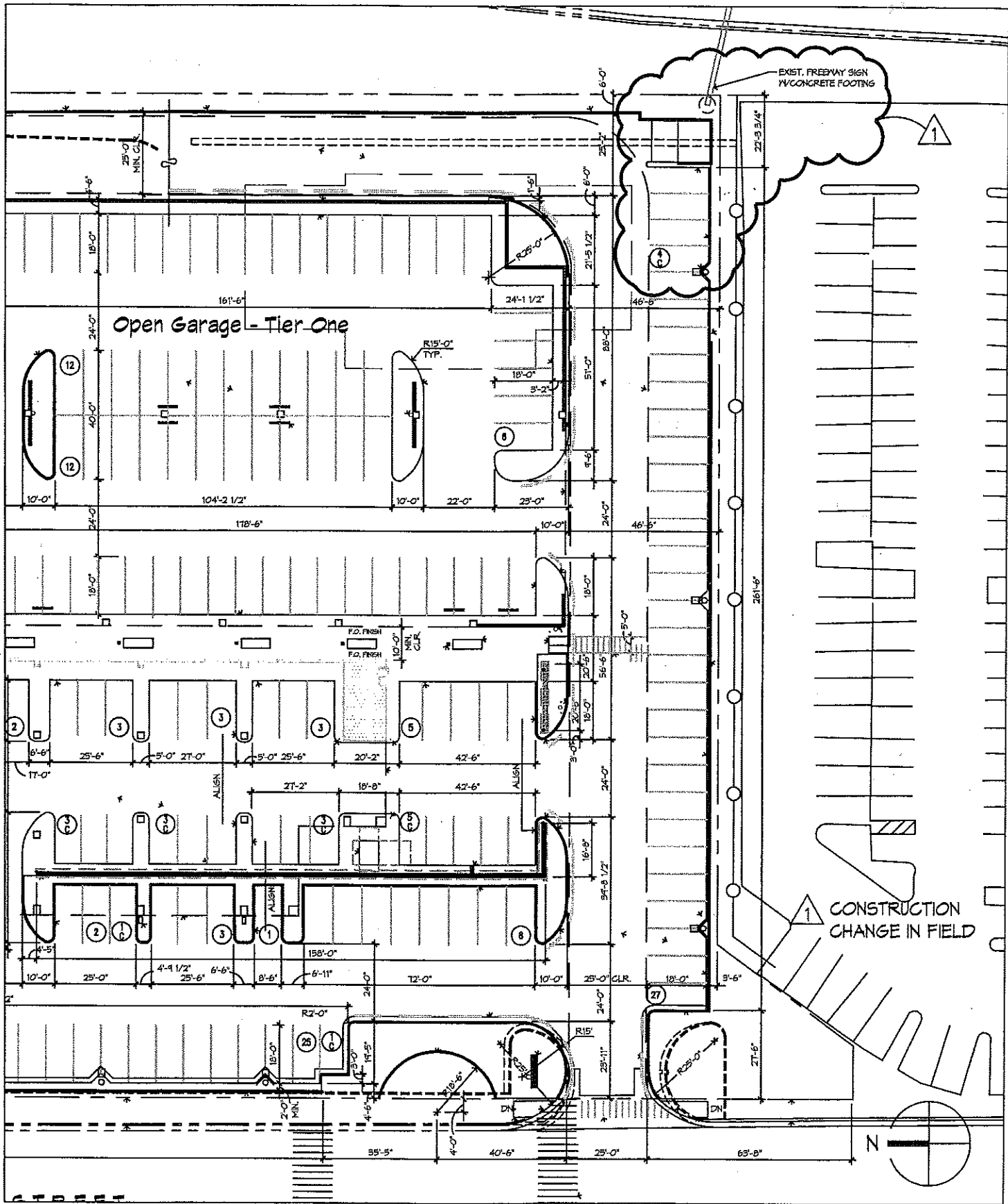
plotted: 01-24-2002 8:38A
S:\01081-HA08\01 SOYARCH\DWGS-EPG\01081E
drawn by _____
reviewed by _____
date 6-25-02
project no. #100596
drawing name - _____

Tract 23
Site Development Plan
for Building Permit

sheet no.

A4

S:\101081-HMOB\wingsArch\101081_A001.dwg, 07/10/2003 10:59:32 AM, cutris



Dekker/Perich/Sabatini

6801 Jefferson NE
Suite 100
Albuquerque, NM 87109

architecture
interiors
planning
engineering
505 761-9700
fax 761-4222
dps@dpsabq.com

TRAFFIC CIRCULATION LAYOUT

H.I.M.O.B.

502 ELM STREET NE
ALBUQUERQUE, NM 87109

REVISED PARKING LAYOUT

DRAWN BY	DPS	SCALE	NTS
REVIEWED BY	DPS		
DATE ISSUED	7-11-03		
PROJECT NO.	01081		

SKA-052

1 NO. 1

332 MURIEL NE. ALBUQUERQUE, NM 87123
PH. (505) 296-7529 FAX. (505) 292-6190
NM Licenses #26282
www.accustripe.com

ACCUSTRIPE, INC

01081
G/cor
7/9/03

Fax and E-Mail

To: Marty Hibbs

From: DAN MARTINEZ

CC: Curtis Proctor 761-4222

Fax: ~~642-6410~~

243-9678

Pages: 4

Phone: 980-0750

Date: 7/9/2003

Re: Heart Institute Medical Office

Job #: 21636

☐ Urgent ☒ For Review ☐ Please Comment ☐ Please Reply ☐ Please Recycle

Dear Marty:

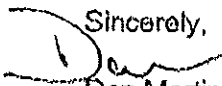
This letter is in response to the handicap installation on the ground floor of the parking garage on the above referenced project. I have spoken to Curtis Proctor with Dekker Perich and have explained to him the purpose of our installation at this height. He has asked me to respond back to you and I will fax a copy to him as well.

Please note that our submittal on all signs, including handicapped signs call for mounting height to be 7 ft from the bottom of the sign. This in accordance with the following guidelines:

1. ANSI sec. 4.6.2, "such signs shall not be obscured by a vehicle parked in the space."
- * 2. Manual of Uniform Traffic Control Devices (MUTCD), "where parking or pedestrian movements occur, the clearance to the bottom of the sign shall be at least 7 ft. (document attached)
3. Americans with Disabilities (ADA) Guidelines—"A sign with the international symbol of accessibility must be located in front of the parking space and mounted high enough so it is not hidden by a vehicle parked in the space." (document attached)

The 7 ft height far exceeds contract drawing details and city requirement, and we recommend this height to eliminate pedestrians cutting themselves on the signs as has been the case in the past. If the lower heights are required, we request a release of liability in case of accidents.

Sincerely,


Dan Martinez
President

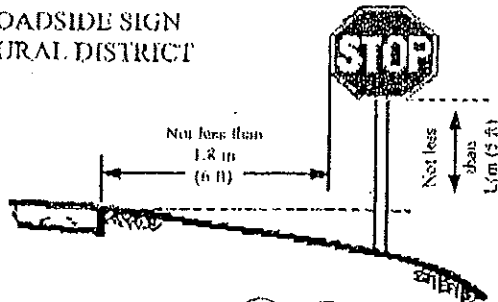
ACCUSTRIPE, INC.

Specializing in Parking Lot Stripping

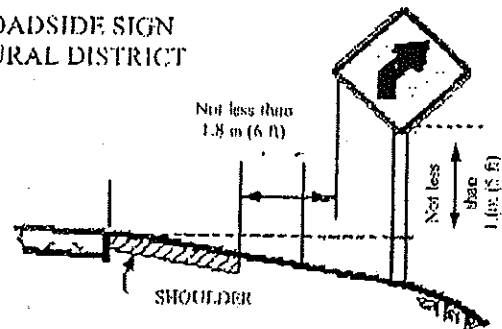
332 Muriel N.E.
Albuquerque, NM 87123
(505) 296-7529
FAX (505) 292-6190

Sign Installation: per Manual on Uniform Traffic Control Devices (MUTCD 2000)

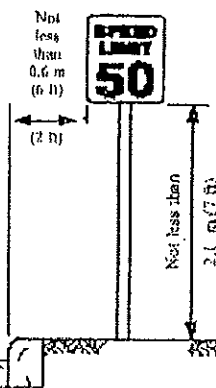
ROADSIDE SIGN
RURAL DISTRICT



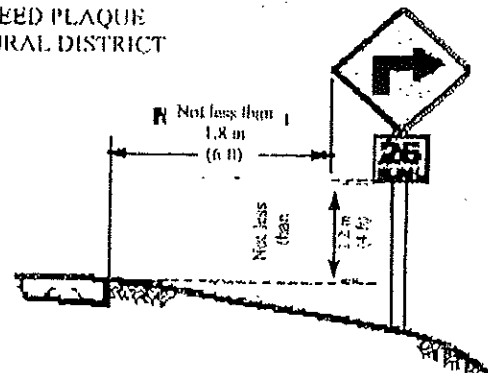
ROADSIDE SIGN
RURAL DISTRICT



ROADSIDE SIGN
BUSINESS OR
RESIDENCE DISTRICT



WARNING SIGN
WITH ADVISORY
SPEED PLAQUE
RURAL DISTRICT



Section 2A.18 Mounting Height

Standard:

Signs installed at the side of the road in rural districts shall be at least 1.5 m (5 ft), measured from the bottom of the sign to the near edge of the pavement.

Where parking or pedestrian movements occur, the clearance to the bottom of the sign shall be at least 2.1 m (7 ft).

Directional signs on expressways and freeways shall be installed with a minimum height of 2.1 m (7 ft). If a secondary sign is mounted below another sign, the major sign shall be installed at least 2.4 m (8 ft) and the secondary sign at least 1.5 m (5 ft) above the level of the pavement edge. All route signs, warning signs, and regulatory signs on expressways and freeways shall be at least 2.1 m (7 ft) above the level of the pavement edge.

Overhead signs shall provide a vertical clearance of not less than 5.1 m (17 ft) to the sign, light fixture, or sign bridge, over the entire width of the pavement and shoulders except where a lesser vertical clearance is used for the design of other structures. The vertical clearance to overhead sign structures or supports shall not be greater than 0.3 m (1 ft) in excess of the minimum clearance of other structures.

Accessible Parking

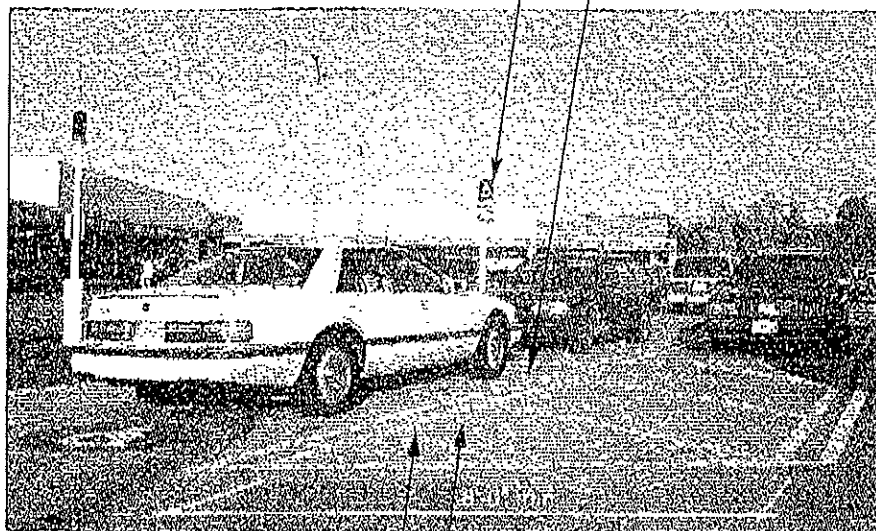
When parking is provided for the public, designated accessible parking spaces must be provided, if doing so is readily achievable. An accessible parking space must have space for the vehicle and an additional space located either to the right or to the left of the space that serves as an access aisle. This aisle is needed to permit a person using a wheelchair, electric scooter, or other mobility device to get out of their car or van. A sign with the international symbol of accessibility must be located in front of the parking space and mounted high enough so it is not hidden by a vehicle parked in the space.

Accessible parking spaces should be the spaces closest to the accessible entrance and be located on level ground. If it is not readily achievable to locate accessible parking in the closest spaces due to sloped pavement or other existing conditions, then the closest level area should be selected. An accessible route must be provided between the access aisle and the accessible building entrance. This route must have no steps or steeply sloped surfaces and it must have a firm, stable, slip-resistant surface.

Van accessible spaces must have an access aisle that is at least **eight-feet wide** and be designated by a sign with the international symbol and "van accessible." There should be a vertical clearance of at least 98 inches on the vehicular route to the space, at the parking space, and along the vehicular route to an exit.

Provide a parking space that is at least 8 feet wide. There should be at least a 98 inch high clearance at the parking space, the adjacent access aisle and along the vehicular route to the space and vehicular exit.

Install a sign with the international symbol of accessibility and "van accessible" and mount it high enough so it is not hidden by the vehicle parked in the space.



Locate parking space and access aisle so that they are relatively level (1:50 maximum slope in all directions is recommended if readily achievable)

Provide an access aisle that is at least 8 feet wide next to the van parking space to permit a person using a wheelchair or scooter to exit or enter a van with a side-mounted lift.

Provide an accessible route to the accessible entrance(s) to the building - a marked crosswalk may be needed if route crosses vehicular traffic.

A Van Accessible Parking Space

(1 of 8 of all accessible parking spaces, but at least one, must be van accessible.)

Although designated a van accessible space, cars may use the space too.)

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

HEART INSTITUTE

K-15/D6F

PROJECT TITLE: MEDICAL OFFICE BUILDING

ZONE MAP/DRG. FILE #:

DRB #: 02DRB-00533

EPC#: 02EPC 00140

WORK ORDER#:

LEGAL DESCRIPTION: TRACT 2B1 ST. JOSEPH'S MEDICAL CAMPUS

CITY ADDRESS: 502 ELM ST NE 87102

ENGINEERING FIRM:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

OWNER:

HEART OFFICE LLC

ADDRESS: 4000B MONTGOMERY BLVD STE 103

CITY, STATE: ALBUQUERQUE, NM 87109

CONTACT: JACK WESTMAN

PHONE: 883-5221

ZIP CODE:

ARCHITECT:

DEKKER PERICH SABATINI

ADDRESS: 6801 JEFFERSON BLVD #100

CITY, STATE: ALBUQUERQUE, NM

CONTACT: CURTIS PROCTOR

PHONE: 761-9700

ZIP CODE: 87109

SURVEYOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CONTRACTOR:

BRADBURY STAMM CONSTRUCTION

ADDRESS: 3701 PASEO DEL NORTE

CITY, STATE: ALBUQUERQUE, NM

CONTACT: MARTY HIBBS

PHONE: 765-1200

ZIP CODE: 87184

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES

☐ NO

☐ COPY PROVIDED

DATE SUBMITTED:

JUL 18 2003

HYDROLOGY SECTION

BY:

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

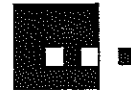
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.

2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five

(5)

acres.

3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



Dekker/Perich/Sabatini

architecture
interiors
planning
engineering

July 18, 2003

Mr. Richard Dourte
City of Albuquerque
Public Works Department - Transportation Development Services Section
Albuquerque, New Mexico 87103

Re: Architect's Certification for Permanent C.O.
Heart Institute Medical Office Building
502 Elm Street
Albuquerque, NM 87102
Case No. 1000596

Dear Mr. Dourte:

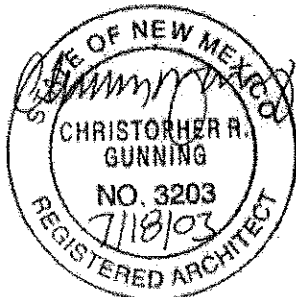
Attached is a copy of the approved Second Amended Site Plan for Subdivision. Our office has visited the site at regular intervals appropriate to the stages of construction. Such visits and observations are not intended to be an exhaustive check or detailed inspection of the Contractor's work but rather are to allow our office, as experienced professionals, to become generally familiar with the work in progress and to determine, in general, if the work is proceeding in accordance with the Contact Documents.

Based on our observations we hereby certify that this site has been constructed in substantial compliance with the approved Second Amended Site Plan for Subdivision, with the only two notable exceptions:

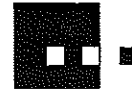
1. Trash Enclosure relocation:
The trash enclosure was moved 2'-0" west to avoid undermining the concrete footing of an existing overhead highway sign. As a result, four parking stalls were stripped as compact stalls instead of standard stalls. This change increased our total from 45 compact stalls to 49. Our maximum allowable is 66 compact stalls. (see enclosures)
2. Height of ADA signage:
We have pole-mounted signage in the public way. As per ADA the signage was designed to be mounted at 5'-0" above finish grade. However, the signage was mounted at 7'-0" above finish grade due to a stipulation in the Manual of Uniform Traffic Control Devices, which allows for signage in the public way to be mounted at 7'-0", to avoid injury to pedestrians. (see enclosures)

If you have any concerns or questions regarding this, please feel free to contact us.

Sincerely,



Christopher R. Gunning, AIA
Principal
Dekker/Perich/Sabatini

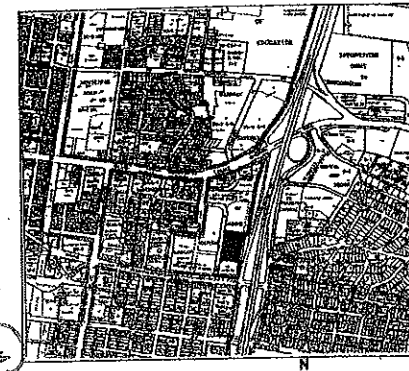


Dekker/Perich/Sabatini

architecture
interiors
planning
engineering

Cc: Jack Westman, Heart Office LLC
Marty Hibbs, BradburyStamm Construction
Bob Golden, BradburyStamm Construction
file

Enclosures



VICINITY MAP
 J14, J15, K14, K15
 1"=750'-0"

GENERAL DESIGN ELEMENTS (FOR TRACT 2B1 ONLY)

LANDSCAPING
 NEW LANDSCAPING SHALL INCLUDE PLANT SPECIES CONSISTENT WITH THOSE EXISTING ON THE ST. JOSEPH MEDICAL CAMPUS. SHADE TREES SHALL BE LOCATED ADJACENT TO THE STREETS AND PEDESTRIAN ROUTE AND WITHIN NEW AT GRADE PARKING AREAS. SHADE TREES AND LOWER HEIGHT LANDSCAPING WITHIN PARKING ISLANDS, AT BUILDING PERIMETERS AND AT AREAS OF NEW SITE CONSTRUCTION WHICH ADJUT EXISTING SITE CONSTRUCTION.

LIGHTING
 OVERALL SITE LIGHTING SHALL BE CONSISTENT WITH THE TYPE, CHARACTER, COLOR OF EXISTING SITE LIGHTING ON THE ST. JOSEPH MEDICAL CAMPUS. PARKING AREA LIGHTING SHALL CONSIST OF 20' FOOT HIGH POLE MOUNTED FIXTURES. PEDESTRIAN WALKWAY LIGHTING SHALL BE A MINIMUM OF 25 FOOT CANOLES, AND SHALL BE COORDINATED WITH EXISTING AND PROPOSED PARKING AREA LIGHTING. NEW BUILDING ENTRANCES SHALL BE ADEQUATELY ILLUMINATED FOR EASE OF ACCESS.

PEDESTRIAN ACCESS
 A CLEAR PEDESTRIAN ROUTE SHALL CONNECT ALL NEW AND EXISTING FACILITIES. A PORTION OF THE VACATED MARQUETTE AVE. HAS BEEN DEDICATED SOLELY FOR PEDESTRIAN ACCESS BETWEEN THE NEW PARKING PARKING STRUCTURE AND THE ST. JOSEPH MEDICAL CENTER. PEDESTRIAN ROUTES SHALL INCLUDE 6'-0" WIDE SIDEWALKS WITH ADEQUATE LIGHTING AND ADJACENT SHADE TREES. SEATING SHALL BE LOCATED AT EACH NEW BUILDING ENTRY. CROSSWALKS WITH RAISED OR SCORED PAVING SHALL BE INSTALLED ALONG ALL NEW AND EXISTING PEDESTRIAN CROSSINGS OF STREETS AND DRIVE ASIES WITHIN ST. JOSEPH MEDICAL CAMPUS AND SHALL BE CLEARLY DESIGNATED.

SIGNAGE
 MUCH OF THE EXISTING CAMPUS SIGNAGE IS OF THE INTERNALLY ILLUMINATED MONUMENT SIGN TYPE. NEW SITE SIGNAGE SHALL BE INTERNALLY ILLUMINATED MONUMENT SIGN TYPE SIGNAGE LOCATED AT KEY PARKING AREA ENTRANCES. BUILDING SIGNAGE SHALL BE INTERNALLY ILLUMINATED SIGNS AND SHALL BE LIMITED TO THE AREAS SHOWN ON THE EXISTING SITE PLAN. BUILDING SIGNAGE SHALL BE NON-ILLUMINATED, AND LIMITED TO AREAS SHOWN ON ELEVATIONS.

BUILDING CHARACTER
 NEW BUILDINGS SHALL BE CONSISTENT WITH THE CHARACTER OF THE ST. JOSEPH SQUARE VENDOR, AND THE ST. JOSEPH REHABILITATION HOSPITAL BUILDINGS. DARKER BRICK BASES ACCENT BUILDING ENTRANCES IS STRONGLY ENCOURAGED AND SHALL ACCENT FIRST FLOOR AREAS, WITH EARTH TONED STUCCO AND SYNTHETIC FINISH SYSTEMS SHEATHING UPPER BUILDING LEVELS. BLUE TONED TRELLISES SHALL FURTHER ACCENT ENTRANCE & VERTICAL ELEMENTS TO CREATE A SMOOTH TRANSITION BETWEEN EARTH, SKY AND RETAIL TRADITIONAL DESIGN ELEMENTS OF NEW MEXICO.

EXIST. MONUMENT SIGN ON TRACT 2B1 SHALL BE MODIFIED TO REFER TO PROPERTY ON TRACT 2B1 ONLY

TRANSITATION REQUIREMENTS NOTE
 #3 HAS BEEN MODIFIED BY THIS SECOND AMENDED SITE PLAN FOR SUBDIVISION. REFER TO SHEET 9 OF 9.

PARKING INFORMATION

HEART HOSPITAL PARKING CALCULATIONS (TRACT 2B2)

REQUIRED SPACES (60 BED HOSPITAL)	30
CONFIRMED EXISTING SPACES	125
HEART INSTITUTE OFFICE BUILDING (TRACT 2B1 PARKING REQUIREMENTS)	
OFFICES (CITY ZONING CODE PART 3, SECTION 14-16-3-1, PARAGRAPH A21)	
FIRST FLOOR: 6,150 GSF x .85 = 5,227.5 NSF/200 =	26
SECOND FLOOR: 15,800 GSF x .85 = 13,420 NSF/300 =	44
THIRD FLOOR: 14,800 GSF x .85 = 12,580 NSF/300 =	42
PARKING SPACES REQUIRED	132
100% ALBUQUERQUE TRANSIT SYSTEM REDUCTION	100
TOTAL PARKING SPACES REQUIRED (INCLUDING 8 ACCESSIBLE, WITH 1 VAN ACCESSIBLE)	101
TOTAL PARKING SPACES PROVIDED: (183 + 83)	266
(INCLUDING 8 ACCESSIBLE, WITH 4 VAN ACCESSIBLE)	86
COMPACT SPACES ALLOWED: 266 x 25%	66
COMPACT SPACES PROVIDED:	45
ALL COMPACT PARKING SPACES WILL BE 8'-0" W x 20'-0" L MIN. PER TRACT 2B1	
BICYCLE PARKING REQUIREMENTS	
TOTAL BICYCLE SPACES REQUIRED: 101/20 = 5	
TOTAL BICYCLE SPACES PROVIDED: 5	

SITE INFORMATION

HEART HOSPITAL SITE CALCULATIONS (TRACT 2B2)

TOTAL BUILDING SQUARE FOOTAGE	57,328
TOTAL SITE SQUARE FOOTAGE: 213,494.4 SF (4.9 ACRES)	
FAR	27
HEART INSTITUTE MEDICAL OFFICE BUILDING (TRACT 2B1)	
TOTAL BUILDING SQUARE FOOTAGE	35,550
TOTAL SITE SQUARE FOOTAGE: 101,285.5 SF (2.32 ACRES)	
FAR	35
PARKING DECK SQUARE FOOTAGE	28,765

SITE LIGHTING
 PEDESTRIAN WALKWAY LIGHTING SHALL BE A MINIMUM OF 25 FOOTCANOLES AND SHALL BE COORDINATED WITH EXISTING AND PROPOSED PARKING AREA LIGHTING.

LANDSCAPING
 REFER TO SHEET 7 OF THIS SUBMITTAL FOR ADDITIONAL INFORMATION ON EXISTING LANDSCAPING CONDITIONS

LEGEND

EXISTING PROPERTY LINES AS PER LATEST PLAT
 PROPOSED PROPERTY LINE

02.EPC. 00140
 02.DRB. 00533
CASE NUMBER: 1000596

THIS SITE DEVELOPMENT PLAN IS CONSISTENT WITH THE PLAN APPROVED AT THE MAY 12, 2002 ENVIRONMENTAL PLANNING COMMISSION HEARINGS.

Bill Dore 7/17/02
 TRAFFIC ENGINEER, TRANSPORTATION DIVISION

Brady A. Bohan 6/26/02
 CITY ENGINEER/PLANNING

Joseph A. Sheen 4/26/02
 PUBLIC WORKS, UTILITY DIVISION

Deborah Wilford 6/20/02
 DESIGN AND DEVELOPMENT DEPARTMENT, CIP

Janet 7/25/02
 PLANNING DIVISION

SECOND AMENDED SITE PLAN FOR SUBDIVISION
 Proposal for new Tract 2B1

DRS Submit
 JUNE 26, 2002

MODIFIED DURING CONSTRUCTION RE. LETTER 7/16/03

HEART INSTITUTE MEDICAL OFFICE BUILDING

REVISIONS

4-10-02	ERC PROPOSAL IN CONDITIONS 5-22
6-14-02	HAIGH/BOHAN APPROV. LOG
6-25-02	ARCHITECT/BOHAN APPROV. LOG

DRAWN BY
REVIEWED BY
DATE
PROJECT NO. 604A91
DRAWING NAME

SITE PLAN FOR SUBDIVISION

SHEET NO.

GENERAL DESIGN ELEMENTS (TRACT 201 ONLY)

LANDSCAPING
NEW LANDSCAPING SHALL INCLUDE PLANT SPECIES CONSISTENT WITH THOSE EXISTING ON THE ST. JOSEPH MEDICAL CAMPUS. PLANTS SHALL BE LOCATED ADJACENT TO THE EXISTING AND PROPOSED DRIVE AND WITHIN 10' OF DRIVE PAVING. PLANTS SHALL BE LOCATED WITHIN 10' OF DRIVE PAVING. PLANTS SHALL BE LOCATED WITHIN 10' OF DRIVE PAVING. PLANTS SHALL BE LOCATED WITHIN 10' OF DRIVE PAVING.

PERMISSION ACCESS
A CLEAR PERCESSION ROUTE SHALL BE MAINTAINED AT ALL TIMES. A PORTION OF THE EXISTING DRIVEWAY SHALL BE MAINTAINED FOR PERCESSION ACCESS BETWEEN THE NEW PARKING STRUCTURE AND THE ST. JOSEPH MEDICAL CAMPUS. PERCESSION ROUTES SHALL BE MAINTAINED AT ALL TIMES. A PORTION OF THE EXISTING DRIVEWAY SHALL BE MAINTAINED FOR PERCESSION ACCESS BETWEEN THE NEW PARKING STRUCTURE AND THE ST. JOSEPH MEDICAL CAMPUS.

LANDSCAPING
NEW LANDSCAPING SHALL BE CONSISTENT WITH THE ST. JOSEPH MEDICAL CAMPUS. PLANTS SHALL BE LOCATED ADJACENT TO THE EXISTING AND PROPOSED DRIVE AND WITHIN 10' OF DRIVE PAVING. PLANTS SHALL BE LOCATED WITHIN 10' OF DRIVE PAVING. PLANTS SHALL BE LOCATED WITHIN 10' OF DRIVE PAVING.



VICINITY MAP

SITE INFORMATION

TRACT 201
TOTAL BUILDING SQUARE FOOTAGE: 36,550
TOTAL SITE SQUARE FOOTAGE: 171,205.5
TOTAL PARKING SPACES: 29,114
TOTAL BICYCLE SPACES: 5

TRACT 202
TOTAL BUILDING SQUARE FOOTAGE: 54,538
TOTAL SITE SQUARE FOOTAGE: 171,205.5
TOTAL PARKING SPACES: 29,114
TOTAL BICYCLE SPACES: 5

LEGEND

EXISTING PROPERTY LINES
PROPOSED PROPERTY LINES

PARKING INFORMATION

TRACT 201
TOTAL PARKING SPACES: 29,114
TOTAL BICYCLE SPACES: 5
TOTAL ACCESSIBLE SPACES: 112
TOTAL ACCESSIBLE BICYCLE SPACES: 1

TRACT 202
TOTAL PARKING SPACES: 29,114
TOTAL BICYCLE SPACES: 5
TOTAL ACCESSIBLE SPACES: 112
TOTAL ACCESSIBLE BICYCLE SPACES: 1

CASE NUMBER:

THIS SITE DEVELOPMENT PLAN IS CONSISTENT WITH THE PLAN APPROVED AT THE 2002 ENVIRONMENTAL PLANNING COMMISSION HEARING.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION

CITY ENGINEER/AMFCA

PUBLIC WORKS, UTILITY DIVISION

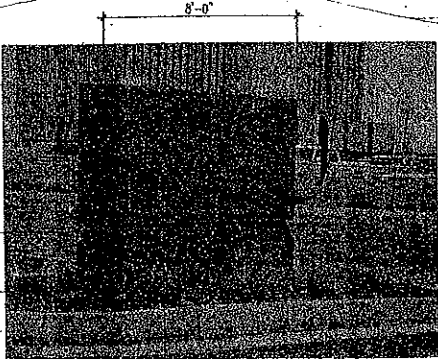
DESIGN AND DEVELOPMENT DEPARTMENT, CP

CITY PLANNER, PLANNING DIVISION

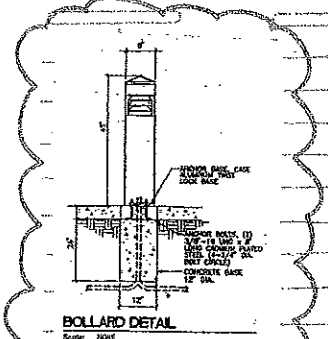
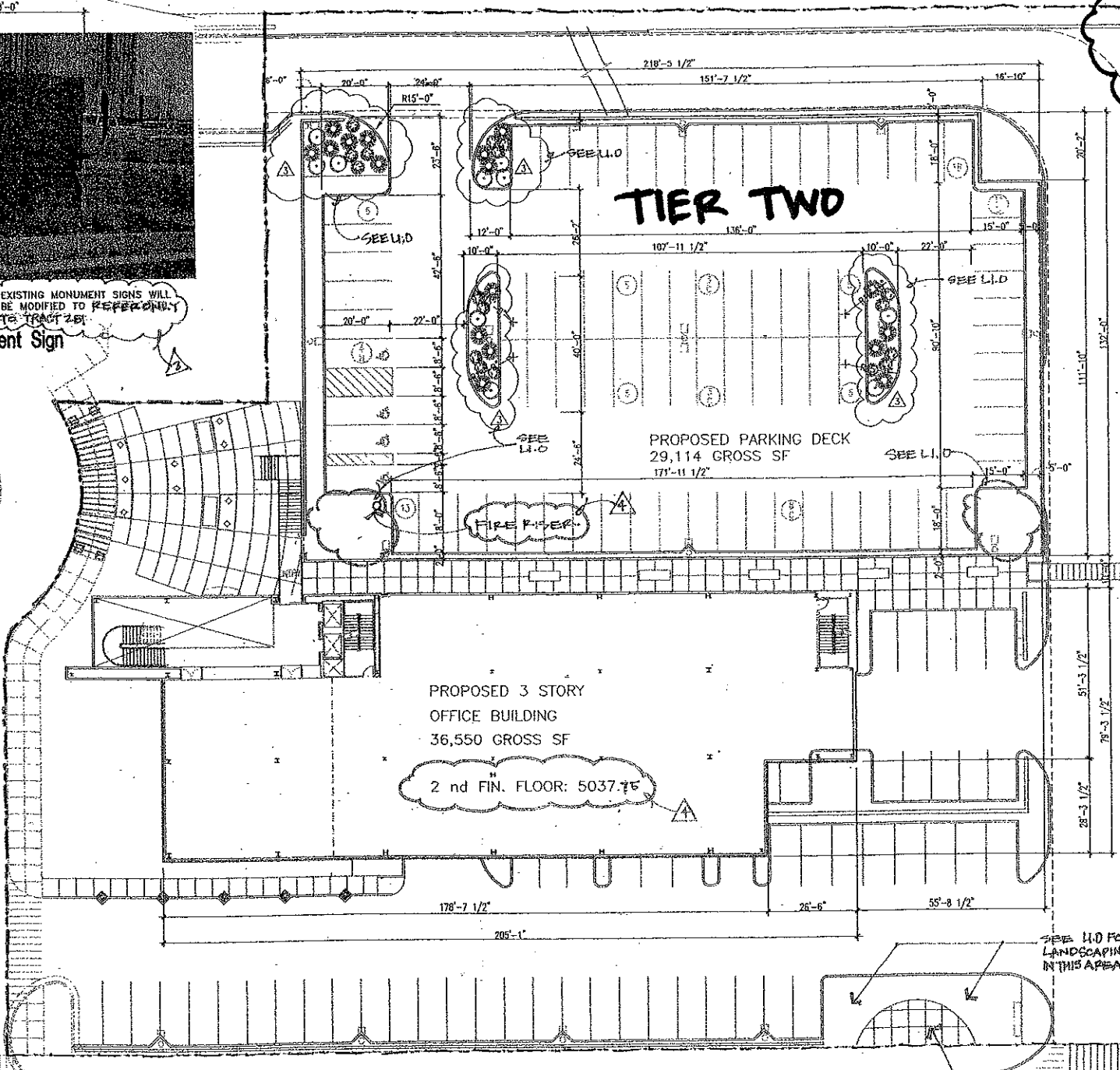
architect
interior
planning
engineer

Dekker Perich Sabatini

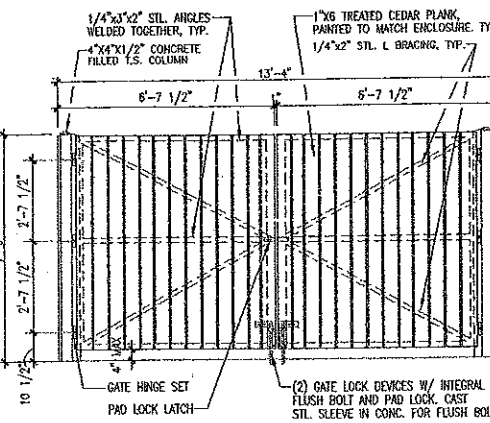
5801 Jefferson NE
Suite 100
Albuquerque, NM 87110
505 761-9700
fax 761-4222
dps@dpsnbg.com



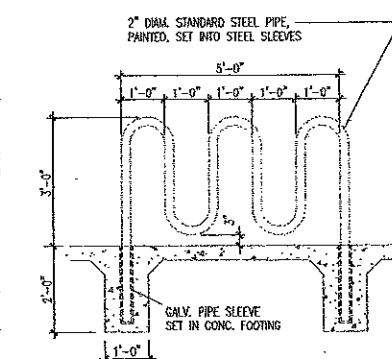
Example Monument Sign
N.T.S.



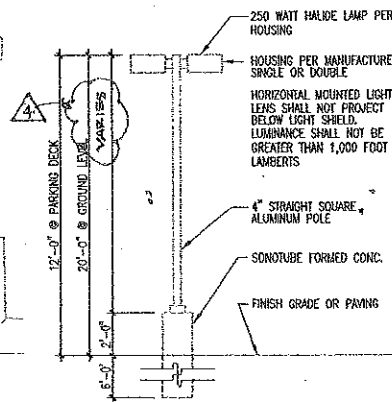
BOLLARD DETAIL



Refuse Enclosure Elevation
3/8"=1'-0"



Section Detail
1/2"=1'-0"



Light Pole Elevation
1/4"=1'-0"

DRB Submittal

JUNE 26, 2002

Heart Institute
Medical Office Building
Albuquerque, NM 87102

revisions
6-10-02 HONORARIUM ASSOC. COMM
6-25-02 ARCHITECTURAL
DESIGN TO BE
APPROVED FOR

plotted: 01-24-2002 2:30A
S:\01001-1000\01 50\ARCH\0005-EPIC\01001E

drawn by

reviewed by

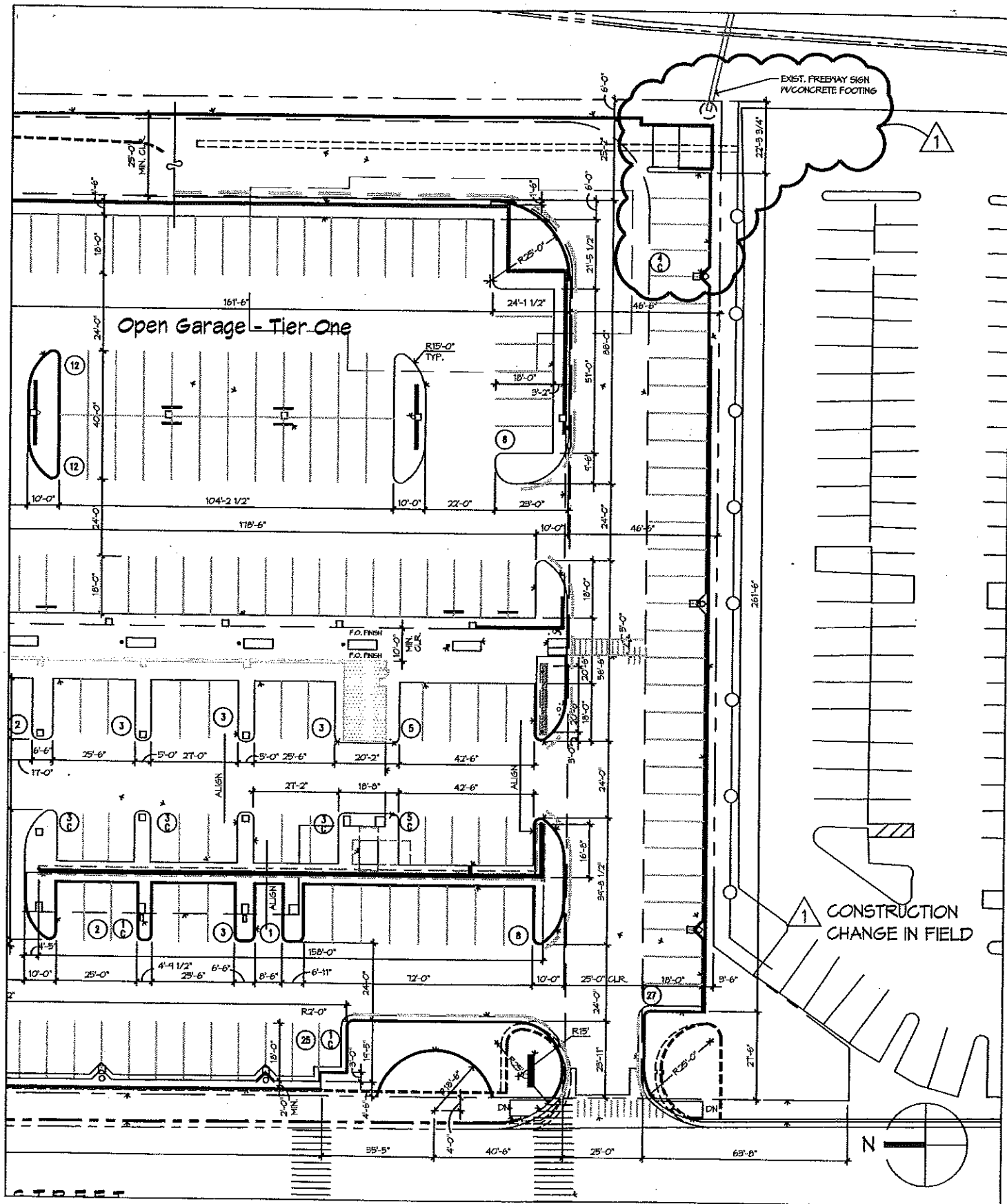
date 6-26-02

project no. #100596

drawing name

Tract 201
Site Development Plan
for Building Permit

S:\10081-HMOB\wingsArch101081_A001.dwg, 07/10/2003 10:59:32 AM, curtis



architecture
interiors
planning
engineering

Dekker/Perich/Sabatini

6801 Jefferson NE
Suite 100
Albuquerque, NM 87109

505 761-9700
fax 761-4222
dps@dpsabq.com

TRAFFIC CIRCULATION LAYOUT

H.I.M.O.B.

502 ELM STREET NE
ALBUQUERQUE, NM 87109

REVISED PARKING LAYOUT

DRAWN BY	DPS	SCALE	NTS
REVIEWED BY	DPS		
DATE ISSUED	7-11-03		
PROJECT NO.	01081		

SKA-052

1 NO. 1

332 MURIEL NE, ALBUQUERQUE, NM 87123
PH. (505) 296-7529 FAX. (505) 292-6190
NM License #25282
www.accustripe.com

ACCUSTRIPE, INC

01081
G/cor
7/9/03

Fax and E-Mail

To: Marty Hibbs**From:** DAN MARTINEZ**CC:** Curtis Proctor 761-4222**Fax:** 505-243-9678**Pages:** 4**Phone:** 980-0750**Date:** 7/9/2003**Re:** Heart Institute Medical Office**Job #:** 21636

☐ Urgent ☒ For Review ☐ Please Comment ☐ Please Reply ☐ Please Recycle

Dear Marty:

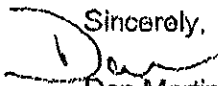
This letter is in response to the handicap installation on the ground floor of the parking garage on the above referenced project. I have spoken to Curtis Proctor with Dekker Perich and have explained to him the purpose of our installation at this height. He has asked me to respond back to you and I will fax a copy to him as well.

Please note that our submittal on all signs, including handicapped signs call for mounting height to be 7 ft from the bottom of the sign. This in accordance with the following guidelines:

1. ANSI sec. 4.6.2, "such signs shall not be obscured by a vehicle parked in the space."
- * 2. Manual of Uniform Traffic Control Devices (MUTCD), "where parking or pedestrian movements occur, the clearance to the bottom of the sign shall be at least 7 ft. (document attached)
3. Americans with Disabilities (ADA) Guidelines—"A sign with the international symbol of accessibility must be located in front of the parking space and mounted high enough so it is not hidden by a vehicle parked in the space." (document attached)

The 7 ft height far exceeds contract drawing details and city requirement, and we recommend this height to eliminate pedestrians cutting themselves on the signs as has been the case in the past. If the lower heights are required, we request a release of liability in case of accidents.

Sincerely,


Dan Martinez
President

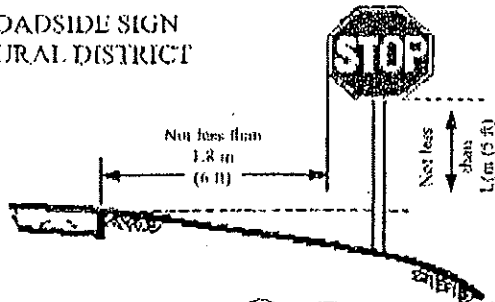
ACCUSTRIPE, INC.

Specializing in Parking Lot Striping

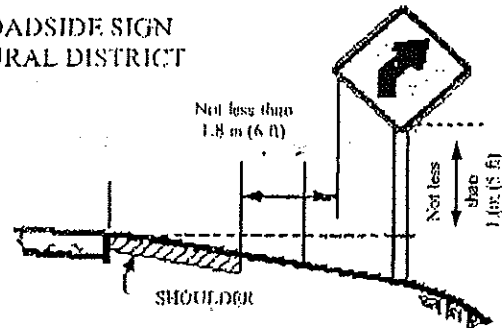
332 Muriel N.E.
Albuquerque, NM 87125
(505) 296-7529
FAX (505) 292-6190

Sign Installation: per Manual on Uniform Traffic Control Devices (MUTCD 2000)

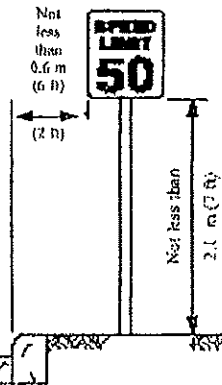
ROADSIDE SIGN
RURAL DISTRICT



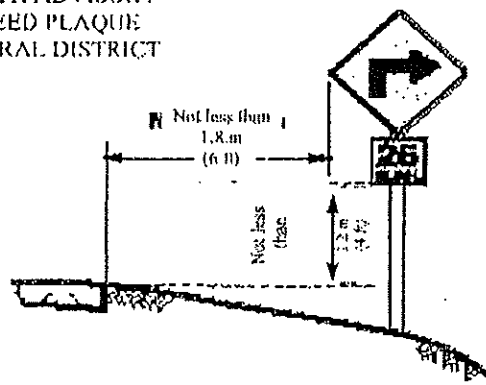
ROADSIDE SIGN
RURAL DISTRICT



ROADSIDE SIGN
BUSINESS OR
RESIDENCE DISTRICT



WARNING SIGN
WITH ADVISORY
SPEED PLAQUE
RURAL DISTRICT



Section 2A.18 Mounting Height

Standard:

Signs installed at the side of the road in rural districts shall be at least 1.5 m (5 ft), measured from the bottom of the sign to the near edge of the pavement.

Where parking or pedestrian movements occur, the clearance to the bottom of the sign shall be at least 2.1 m (7 ft).

Directional signs on expressways and freeways shall be installed with a minimum height of 2.1 m (7 ft). If a secondary sign is mounted below another sign, the major sign shall be installed at least 2.4 m (8 ft) and the secondary sign at least 1.5 m (5 ft) above the level of the pavement edge. All route signs, warning signs, and regulatory signs on expressways and freeways shall be at least 2.1 m (7 ft) above the level of the pavement edge.

Overhead signs shall provide a vertical clearance of not less than 5.1 m (17 ft) to the sign, light fixture, or sign bridge, over the entire width of the pavement and shoulders except where a lesser vertical clearance is used for the design of other structures. The vertical clearance to overhead sign structures or supports shall not be greater than 0.3 m (1 ft) in excess of the minimum clearance of other structures.

Accessible Parking

When parking is provided for the public, designated accessible parking spaces must be provided, if doing so is readily achievable.

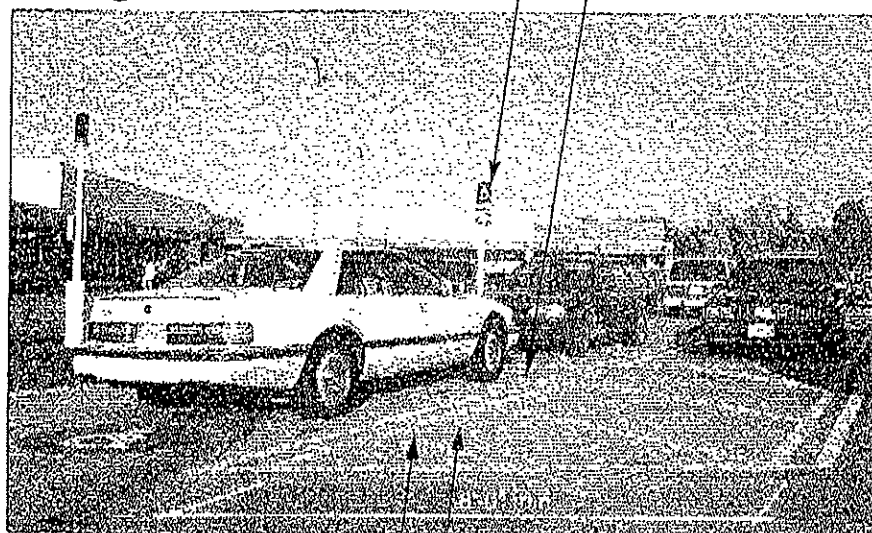
An accessible parking space must have space for the vehicle and an additional space located either to the right or to the left of the space that serves as an access aisle. This aisle is needed to permit a person using a wheelchair, electric scooter, or other mobility device to get out of their car or van. A sign with the international symbol of accessibility must be located in front of the parking space and mounted high enough so it is not hidden by a vehicle parked in the space.

Accessible parking spaces should be the spaces closest to the accessible entrance and be located on level ground. If it is not readily achievable to locate accessible parking in the closest spaces due to sloped pavement or other existing conditions, then the closest level area should be selected. An accessible route must be provided between the access aisle and the accessible building entrance. This route must have no steps or steeply sloped surfaces and it must have a firm, stable, slip-resistant surface.

Van accessible spaces must have an access aisle that is **at least eight-feet wide** and be designated by a sign with the international symbol and "van accessible." There should be a vertical clearance of at least 98 inches on the vehicular route to the space, at the parking space, and along the vehicular route to an exit.

Provide a parking space that is at least 8 foot wide. There should be at least a 98 inch high clearance at the parking space, the adjacent access aisle and along the vehicular route to the space and vehicular exit.

Install a sign with the International symbol of accessibility and "van accessible" and mount it high enough so it is not hidden by the vehicle parked in the space.



Locate parking space and access aisle so that they are relatively level (1:50 maximum slope in all directions is recommended if readily achievable)

Provide an access aisle that is at least 8 foot wide next to the van parking space to permit a person using a wheelchair or scooter to exit or enter a van with a side-mounted lift.

Provide an accessible route to the accessible entrance(s) to the building - a marked crosswalk may be needed if route crosses vehicular traffic.

A Van Accessible Parking Space

(1 of 8 of all accessible parking spaces, but at least one, must be van accessible.

Although designated a van accessible space, cars may use the space too.)