

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 28, 2023

Jeffrey T. Wooten, P.E.
Wooten Engineering
PO Box 15814
Rio Rancho, NM 87174

**RE: Coal Ave Multifamily
1203 Coal Ave SE
Grading & Drainage Plan
Engineer's Stamp Date: 07/26/23
Hydrology File: K15D011**

Dear Mr. Wooten:

PO Box 1293

Based upon the information provided in your submittal received 08/01/2023, the Grading & Drainage Plans are approved for Building Permit, Grading Permit, and SO-19 Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque

PRIOR TO CERTIFICATE OF OCCUPANCY:

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

www.cabq.gov

2. Please pay the Payment-in-Lieu of \$ **3,176.00** by emailing the attached approved Waiver Application from Stormwater Quality Volume Management On-site to PLNDRS@cabq.gov. Once this is received, a receipt will then produce and email back. Follow the instructions on the bottom of the form and pay it at the Treasury next to Building Permits. Once paid, please email me proof of payment.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

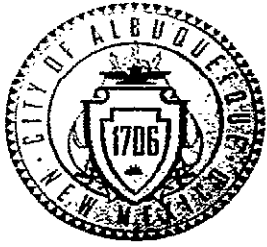
Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11-2018)

Project Title: Coal Ave Multifamily **Building Permit #:** _____ **Hydrology File #:** K15-D001
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lots 7, 8, and 9, Block 32, Terrace Addition
City Address: 1203 Coal Ave SE

Applicant: Wooten Engineering **Contact:** Jeffrey T. Wooten, P.E.
Address: PO Box 15814, Rio Rancho, NM 87174
Phone#: 505-980-3560 **Fax#:** N/A **E-mail:** jeffwooten.pe@gmail.com

Owner: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____ # OF LOTS) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

____ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☒ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: July 31, 2023 **By:** Jeffrey T. Wooten, P.E.

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION**

**WAIVER APPLICATION FROM STORMWATER
QUALITY VOLUME MANAGEMENT ON-SITE**

GENERAL INFORMATION

APPLICANT: D & S One, Inc. DATE: 8/28/2023
DEVELOPMENT: Coal Ave Multifamily
LOCATION: 1203 Coal Ave SE

STORMWATER QUALITY POND VOLUME

Per the DPM Article 6-12 - Stormwater Quality and Low-Impact Development, the calculated sizing for required Stormwater Quality Pond volume is equal to the impervious area draining to the BMP multiplied by 0.42 inches for new development sites and by 0.26 inches for redevelopment sites.

The required volume is 397 cubic feet

The provided volume is 0 cubic feet

The deficient volume is 397 cubic feet

WAIVER JUSTIFICATION

Per the DPM Article 6-12(C), private off-site mitigation and payment-in-lieu may only be considered if management on-site is waived in accordance with the following criteria and procedures.

1. Management on-site shall be waived by the City Engineer if the following conditions are met:

- a. Stormwater quality can be effectively controlled through private off-site mitigation or through an arrangement (approved by the City) to use a cooperator's existing regional stormwater management infrastructure or facilities that are available to control stormwater quality.
 - b. Any of the following conditions apply:
 - i. The lot is too small to accommodate management on site while also accommodating the full plan of development.
 - ii. The soil is not stable as demonstrated by a geotechnical report certified by a professional engineer licensed in the State of New Mexico.
 - iii. The site use is inconsistent with the capture and reuse of stormwater.
 - iv. Other physical conditions exist where compliance with on-site stormwater quality control leaves insufficient area.
 - v. Public or private off-site facilities provide an opportunity to effectively accomplish the mitigation requirements of the Drainage Ordinance (Part 14-5-2 ROA 1994) as demonstrated on as-built construction drawings and an approved drainage report.
 - vi. The developer constructs a project to replenish regional groundwater supplies at an off-site location.
 - vii. A waiver to State water law or acquisition of water rights would be required in order to implement management on site.
2. The basis for requesting payment-in-lieu or private off-site mitigation is to be clearly demonstrated on the drainage plan.

This project's justification: The lot is too small in order to
accomodate management on-site while also
accomodating the full plan of development. Implementing
SWQ Ponding would put foundations at risk of undue stress.

Jeffrey T. Wooten, P.E.

Professional Engineer or Architect

PAYMENT-IN-LIEU

Per the DPM Article 6-12(C)(1), the amount of payment-in-lieu is deficient volume (cubic feet) times \$6 per cubic feet for detached single-family residential projects or \$8 per cubic feet for all other projects.

AMOUNT OF PAYMENT-IN-LIEU = \$ 3,176.00

THIS SECTION IS FOR CITY USE ONLY

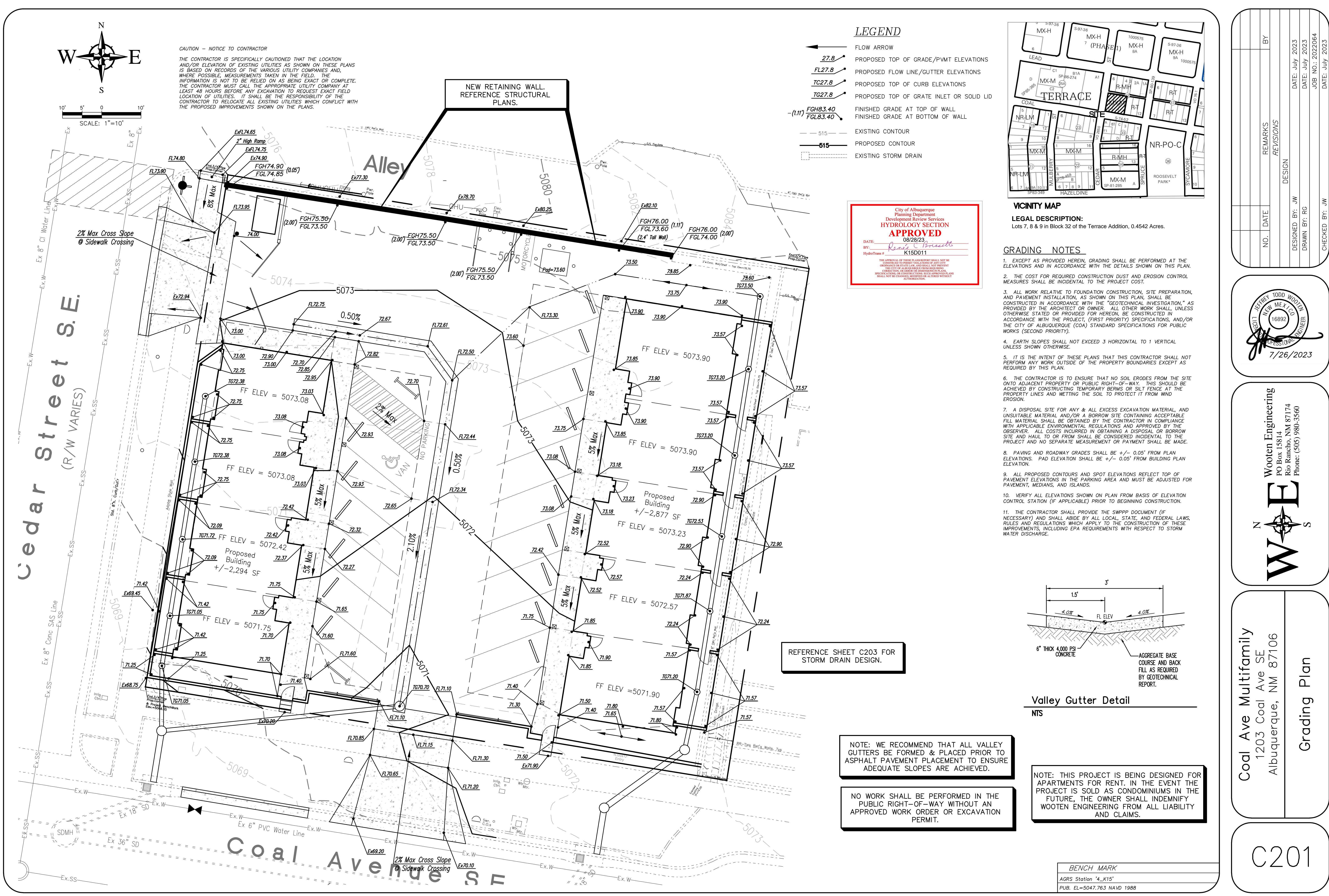
☒ Waiver is approved. The amount of payment-in-lieu from above must be paid prior to Certificate of Occupancy.

☐ Waiver is DENIED.

Renée C. Briassette

City of Albuquerque
Hydrology Section

08/28/23



THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS. THE CONTRACTOR ACKNOWLEDGES THAT THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

LEGEND

- FLOW ARROW
- 27.8 PROPOSED TOP OF GRADE/PVMT ELEVATIONS
- FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS
- TC27.8 PROPOSED TOP OF CURB ELEVATIONS
- TG27.8 PROPOSED TOP OF GATE INLET OR SOLID LID
- $-(11'') \begin{matrix} FGH83.40 \\ FGL83.40 \end{matrix}$ FINISHED GRADE AT TOP OF WALL
FINISHED GRADE AT BOTTOM OF WALL
- S15 — EXISTING CONTOUR
- S15** PROPOSED CONTOUR
- EXISTING STORM DRAIN

FLOW ARROW

PROPOSED TOP OF GRADE/PVMT ELEVATIONS

PROPOSED FLOW LINE/GUTTER ELEVATIONS

PROPOSED TOP OF CURB ELEVATIONS

PROPOSED TOP OF GRATE INLET OR SOLID LID

FINISHED GRADE AT TOP OF WALL

FINISHED GRADE AT BOTTOM OF WALL

EXISTING CONTOUR
PROPOSED CONTOUR
EXISTING STORM DRAIN

[illegible]

LEGAL DESCRIPTION:
Lots 7, 8 & 9 in Block 32 of the Terrace Addition, 0.4542 Acres

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE SPECIFIED, BE CONSTRUCTED IN ACCORDANCE WITH THE "FIRST PRIORITY" SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND NETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY AND ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE CITY OF ALBUQUERQUE. EXCESS MATERIAL OR BORROW MATERIAL FROM BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE $+/- .005'$ FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE $+/- .005'$ FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
11. THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE PROJECTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

3'

1.5'

4.0%

FL. ELEV.

4.0%

6" THICK 4,000 PSI CONCRETE

AGGREGATE BASE COURSE AND BACKFILL AS REQUIRED BY GEOTECHNICAL REPORT

Valley Gutter Detail
NTS

NOTE: WE RECOMMEND THAT ALL VALLEY
GUTTERS BE FORMED & PLACED PRIOR TO
ASPHALT PAVEMENT PLACEMENT TO ENSURE
ADEQUATE SLOPES ARE ACHIEVED.

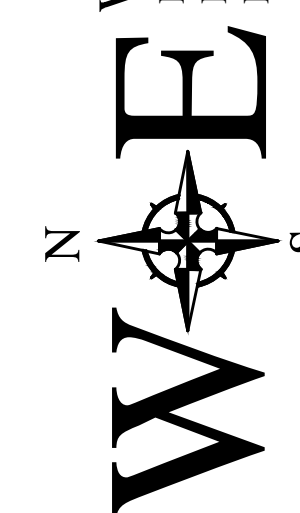
NO WORK SHALL BE PERFORMED IN THE
PUBLIC RIGHT-OF-WAY WITHOUT AN
APPROVED WORK ORDER OR EXCAVATION
PERMIT.

NOTE: THIS PROJECT IS BEING DESIGNED FOR APARTMENTS FOR RENT. IN THE EVENT THE PROJECT IS SOLD AS CONDOMINIUMS IN THE FUTURE, THE OWNER SHALL INDEMNIFY WOOTEN ENGINEERING FROM ALL LIABILITY AND CLAIMS.

BENCH MARK
AGRS Station '4_K15'
PUB. EL=5047.763 NAVD 1988

[illegible]

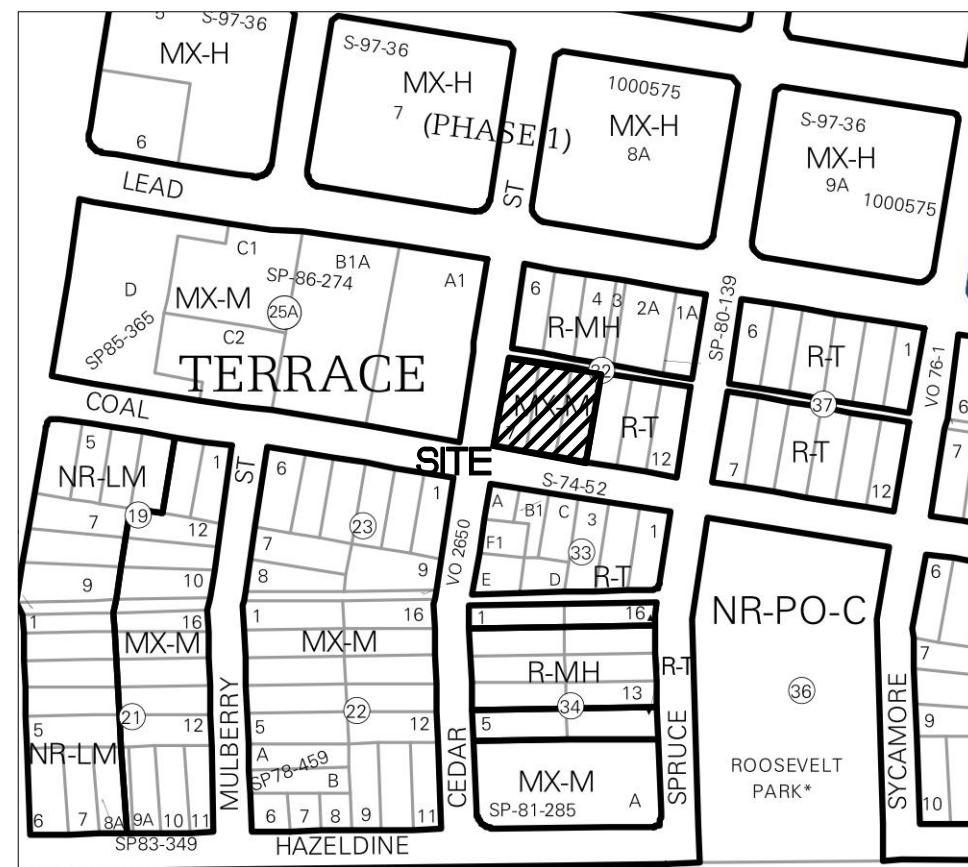
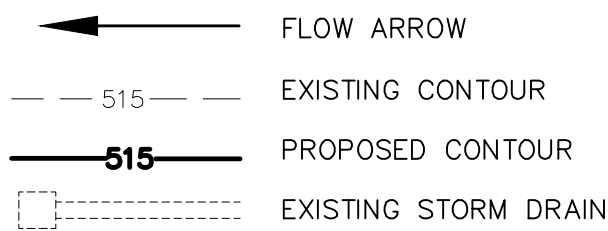
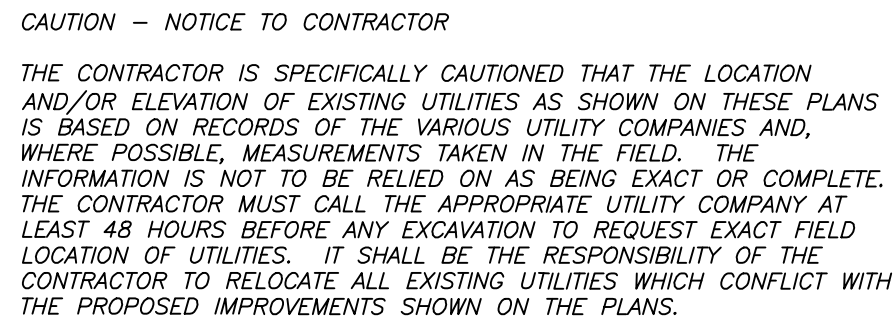
Wooten Engineering
PO Box 15814
Rio Rancho, NM 87174
Phone: (505) 980-3560



Coal Ave Multifamily
1203 Coal Ave SE
Albuquerque, NM 87106

Grading Plan

C201



VICINITY MAP

LEGAL DESCRIPTION:
Lots 7, 8 & 9 in Block 32 of the Terrace Addition, 0.4542 Acres.



FIRM MAP 35001C0334G

Per FIRM Map 35001C0334G, dated September 26, 2008, the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.

DRAINAGE MANAGEMENT PLAN

INTRODUCTION
The purpose of this submittal is to provide a final grading plan for the subject site located at the Northeast Corner of Coal Ave and Cedar St (1203 Coal Ave SE). The development consists of a new Multifamily Development.

EXISTING HYDROLOGIC CONDITIONS
The project is located in Hydrology File K15/D011; however, no prior approved grading documents could be located. Per FIRM Map 35001C0334G, the site is not located in the 100-Yr Floodplain. The site currently sheet flows from northeast to southwest and into an existing storm drain system located in Coal Ave. No offsite flows enter the property.

PROPOSED HYDROLOGIC CONDITIONS
The property is being redeveloped from office into residential and the site continues to sheet flow from northeast to southwest. Reference the Drainage Calculations tables this sheet.

Due to existing site conditions and lack of available landscape areas, Stormwater Quality (SWQ) measures cannot be implemented on site without creating potential settlement issues of the building's foundations. New storm drains are being provided which will connect into the existing curb inlets located in Coal Ave. Per the calculations this sheet, the Payment-in-Lieu fee is \$3,176.00.

CONCLUSION
This drainage management plan conforms to the DPM and does not create any issues downstream. With this submittal, we are requesting Grading Permit and Building Permit approval.

Existing Drainage Calculations														
This table is based on the COA DPM Chapter 6.2 (A), Zone: 2														
BASIN	Area	Land Treatment Percentages (%)				Weighted C	Tc	I (100)	Q(100)	Q(100)	WT E	V(100) ₂₀₀	V(100) _{10day}	Comments
	(A.C.)	A	B	C	D		(min)	(in/hr)	(cfs/ac.)	(CFS)	(inches)	(CF)	(CF)	
SITE	0.45	0.0	0.0	0.0	100.0	0.90	12.00	4.34	3.91	1.76	2.33	3806	6420	To existing Storm Drain in Coal
TOTAL	0.45									1.76		3806	6420	

Proposed Drainage Calculations														
Ultimate Development Conditions Basin Data Table														
This table is based on the COA DPM Chapter 6.2(A), Zone: 2														
BASIN	Area	Land Treatment Percentages (%)				Weighted C	Tc	I (100)	Q(100)	Q(100)	WT E	V(100) ₂₀₀	V(100) _{10day}	Comments
	(A.C.)	A	B	C	D		(min)	(in/hr)	(cfs/ac.)	(CFS)	(inches)	(CF)	(CF)	
SITE	0.45	0.0	0.0	7.3	92.7	0.88	12.00	4.25	3.74	1.68	2.24	3651	6074	To existing Storm Drain in Coal
TOTAL	0.45									1.68		3651	6074	

IMPERVIOUS AREA CALCULATIONS

SITE

TOTAL BASIN AREA: 19,785 SF
PERVIOUS AREA: 1,445 SF (7.30%)
IMPERVIOUS AREA: 18,340 SF (92.7%)

STORMWATER QUALITY CALCULATIONS

SITE (REDEVELOPMENT RATE = 0.26")
TOTAL NEW IMPERVIOUS PAVED AREAS = 18,340 SF
SWQ VOLUME REQ'D = 18,340 * 0.26" / 12 = 397 CF
TOTAL VOLUME PROVIDED = 0 CF
PAYMENT-IN-LIEU = 397CF * \$8.00 = \$3,176.00

NOTE: THIS PROJECT IS BEING DESIGNED FOR APARTMENTS FOR RENT. IN THE EVENT THE PROJECT IS SOLD AS CONDOMINIUMS IN THE FUTURE, THE OWNER SHALL INDEMNIFY WOOTEN ENGINEERING FROM ALL LIABILITY AND CLAIMS.

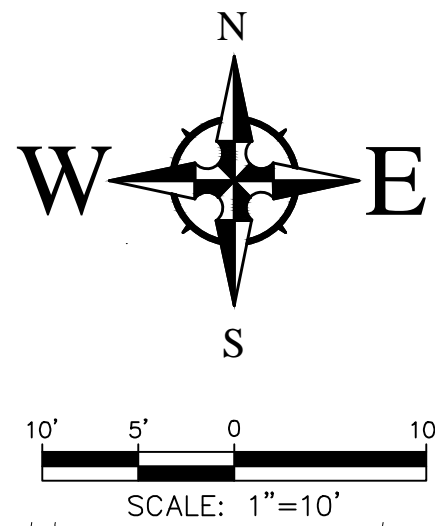
BENCH MARK
AGRS Station '4_K15'
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Coal Ave Multifamily
1203 Coal Ave SE
Albuquerque, NM 87106

Drainage Plan

C202



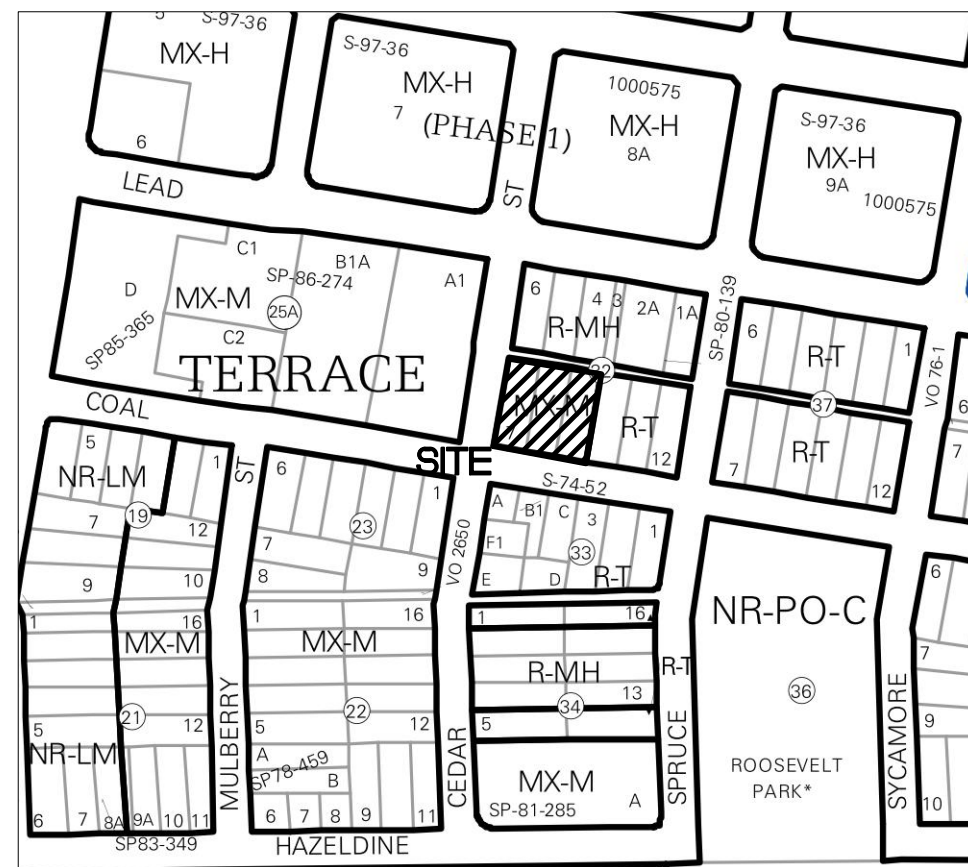


CAUTION - NOTICE TO CONTRACTOR
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- FGH83.40 FINISHED GRADE AT TOP OF WALL
- FGL83.40 FINISHED GRADE AT BOTTOM OF WALL
- 515 EXISTING CONTOUR
- 515 PROPOSED CONTOUR
- EXISTING STORM DRAIN



VICINITY MAP

LEGAL DESCRIPTION:

Lots 7, 8 & 9 in Block 32 of the Terrace Addition, 0.4542 Acres.

GRADING NOTES

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- PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
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NOTE THAT ALL NYLOPLAST DRAIN BASINS REQUIRE AN ADDITIONAL DEPTH OF 6 INCHES FOR THE SUMP.



Private Drainage Facilities within City Right-of-Way Notice to Contractor (Special Order 19 ~ "SO-19")

- Build sidewalk culvert per COA STD DWG 2236. Work is permitted and inspected by DMD Construction Services Division.
- An excavation permit will be required before beginning any work within City Right-Of-Way.
- All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
- Prior to any excavation, the contractor must contact **New Mexico One Call**, dial "811" [or (505) 260-1990] for the location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be 95%.
- Maintenance of the facility shall be the responsibility of the owner of the property being served.
- Work on arterial streets may be required on a 24-hour basis.
- For excavation and barricading inspections, contact DMD Construction Services Division.

CITY INSPECTOR APPROVAL

Signature _____ Date _____

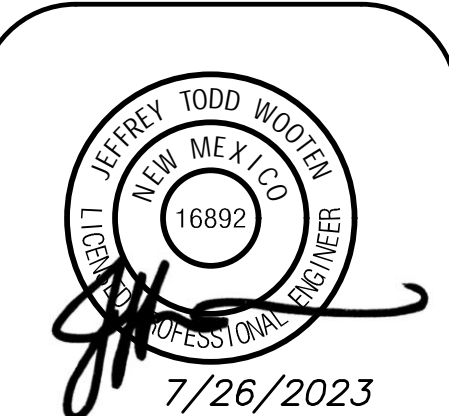
BENCH MARK

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1203 Coal Ave SE
Albuquerque, NM 87106

Storm Drain Plan

C203



Wooten Engineering
PO Box 15814
Rio Rancho, NM 87174
Phone: (505) 980-3560

