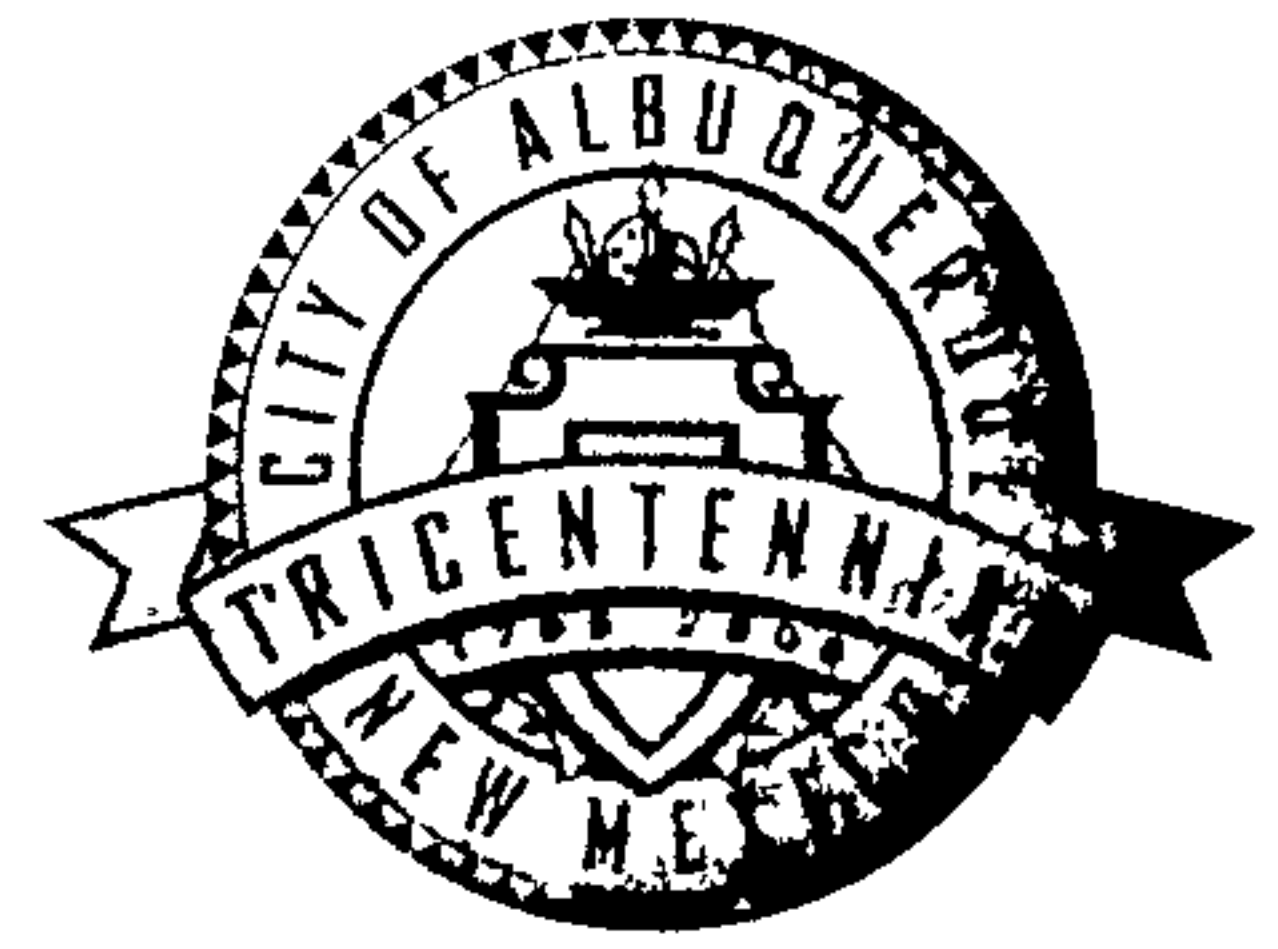


CITY OF ALBUQUERQUE



October 26, 2007

Glen Broughton, P.E.
Bohannan Huston Inc.
7500 Jefferson NE – Courtyard 1
Albuquerque, New Mexico 87109

**Re: Presbyterian Hospital Parking Garage,
300 Cedar Street SE, (K-15/D022A)
Approval of Permanent Certificate of Occupancy (C.O.)
Certification dated 10/24/07**

Dear Mr. Broughton:

Based upon the information provided in your submittal received 10/24/07, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

P.O. Box 1293

If you have any questions, you can contact me at 924-3982.

Albuquerque

Sincerely,

New Mexico 87103

Timothy Sims
Plan Checker-Hydrology, Planning Dept
Development and Building Services

www.cabq.gov

C: file
CO Clerk-Katrina Sigala

CITY OF ALBUQUERQUE



October 24, 2007

Glen Broughton, P.E.
Bohannon Huston Inc.
7500 Jefferson NE – Courtyard 1
Albuquerque, New Mexico 87109

**Re: Presbyterian Hospital Parking Garage,
1100 Central SE, (K-15/D022A)
Approval of 30-Day Temporary Certificate of Occupancy (C.O.)
Certification dated 10/24/07**

Dear Mr. Broughton:

Based upon the information provided in your submittal received 10/24/07, the above referenced certification is approved for release of 30-day Temporary Certificate of Occupancy by Hydrology.

There are two approved plans for the SO-19. Please, reference these plans within the certifying language with the next submittal.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy Sims
Plan Checker-Hydrology, Planning Dept
Development and Building Services

C: file
CO Clerk-Katrina Sigala

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Presbyterian Hospital Parking Garage ZONE MAP/DRG. FILE # K-15 / DOZCA
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
CITY ADDRESS: 1100 Central SE

ENGINEERING FIRM: Bohannon Huston, Inc. CONTACT: Glenn Broughton
ADDRESS: 7500 Jefferson NE - Courtyard I PHONE: (505) 823-1000
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Dekker/Perich/Sabatini CONTACT: Ted Kostranchuk
ADDRESS: 6801 Jefferson NE - Suite 100 PHONE: (505) 761-9700
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

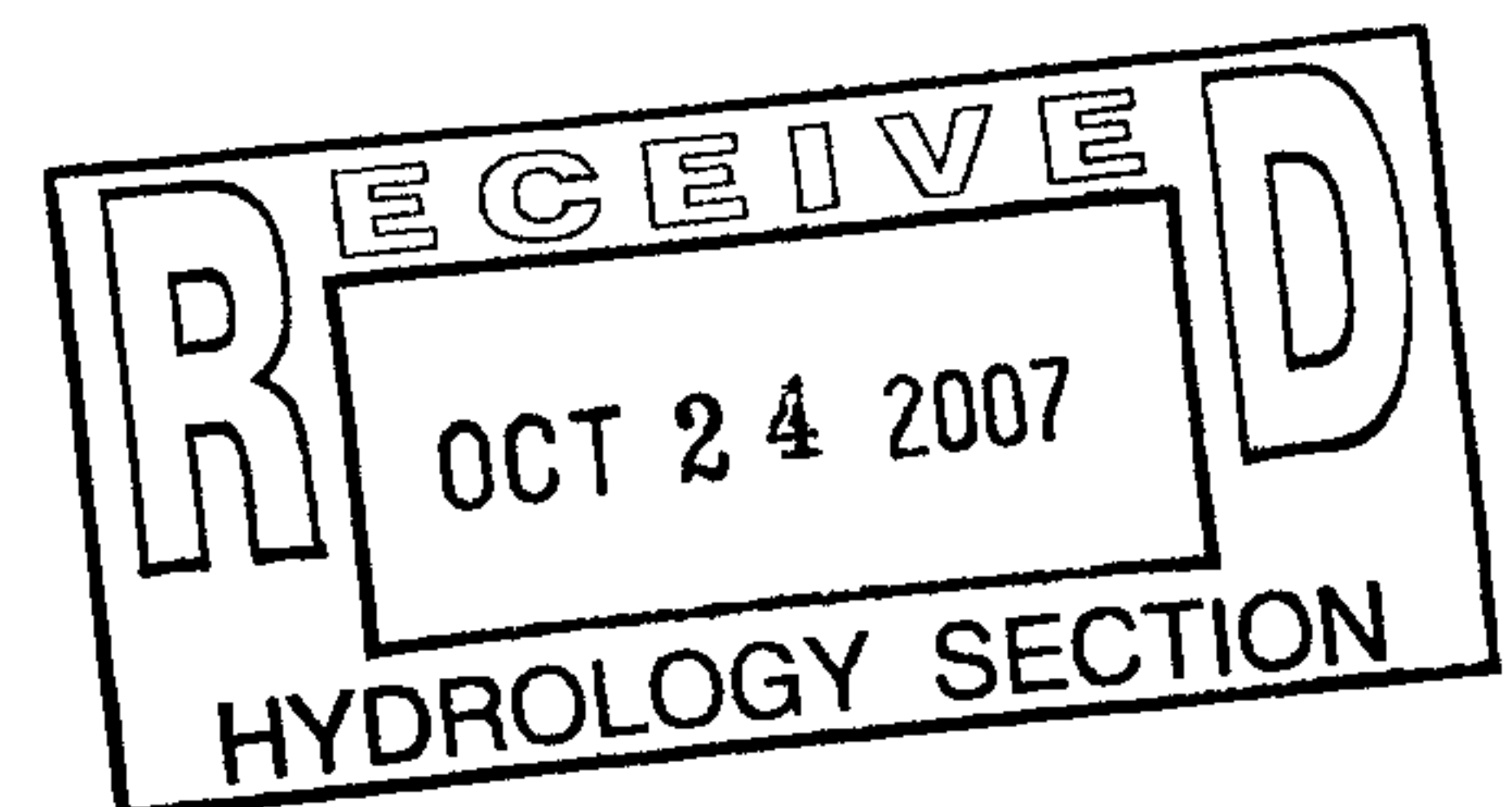
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

SD -19
OK

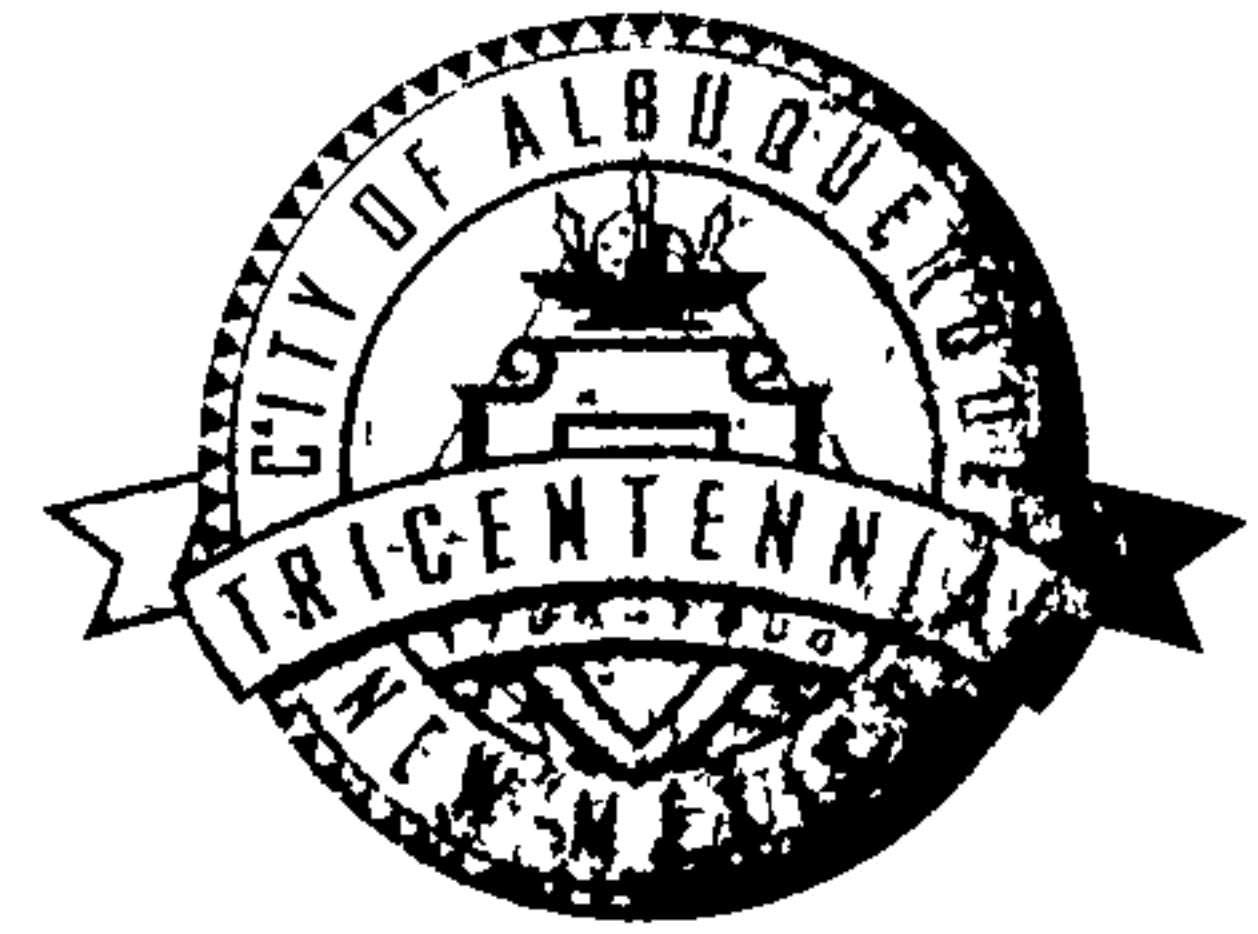


DATE SUBMITTED: October 24, 2007 BY: Glenn Broughton

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



September 10, 2007

Glenn Broughton, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE – Courtyard 1
Albuquerque, NM 87109

Re: Presbyterian Hospital Parking Garage, Engineer's Stamp dated 9-5-07

Dear Mr. Broughton,

Based on the information contained in your submittal received on September 6, 2007, the above referenced plan is approved for SO-19 Permit. A copy of this approval letter must be on hand when applying for the excavation permit. After project completion, Engineer Certification per the DPM checklist will be required.

Be advised that no Certificate of Occupancy, temporary or permanent, will be released prior to inspection and approval of the storm drain connection / sidewalk culvert by the Storm Drain Maintenance department. Contact Duane Schmitz at 235-8016 to schedule an inspection.

P.O. Box 1293

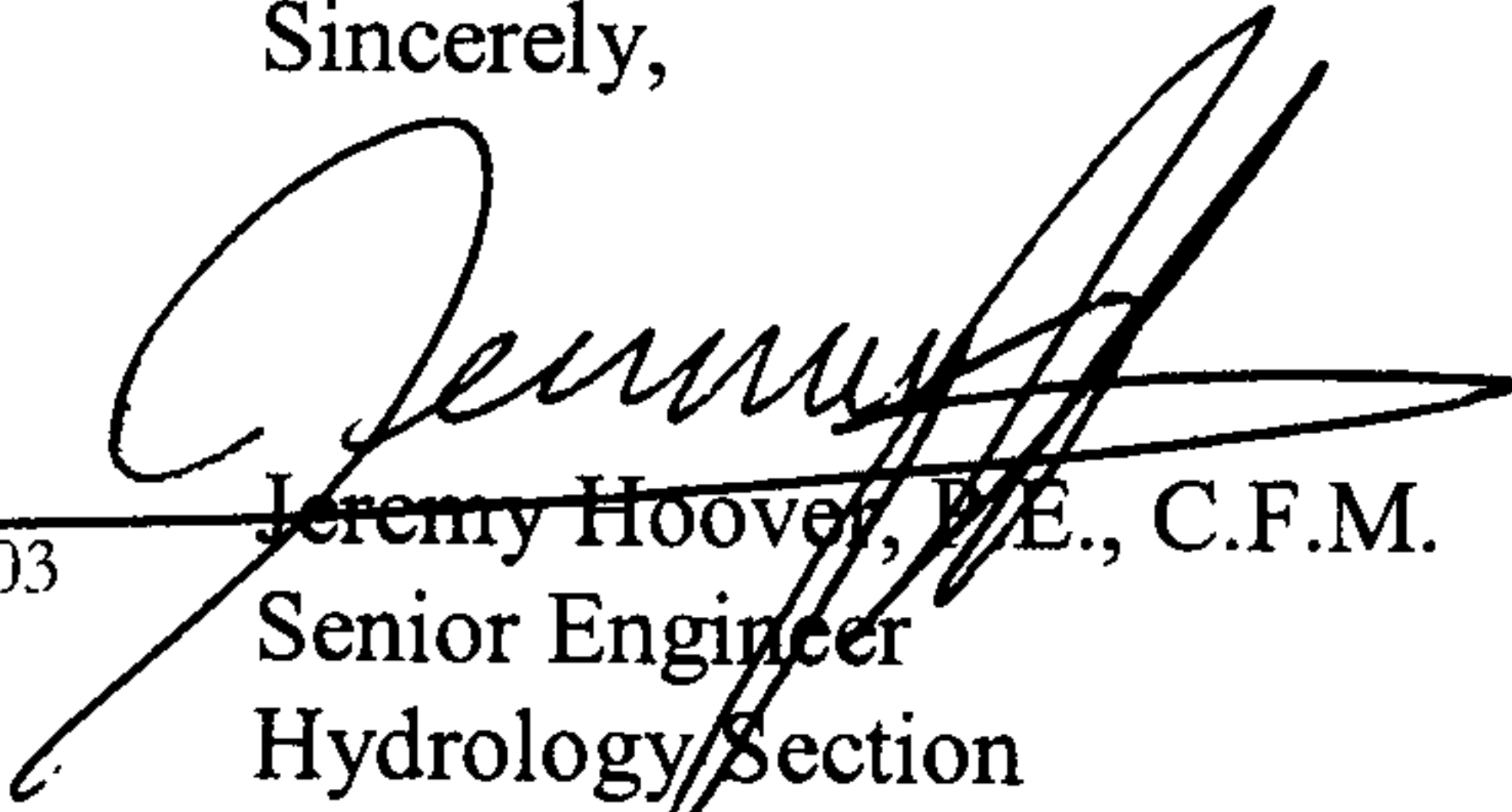
If you have any questions or need additional information, feel free to contact me at 924-3990.

Sincerely,

Albuquerque

New Mexico 87103

www.cabq.gov


Jeremy Hoover, P.E., C.F.M.
Senior Engineer
Hydrology Section
Development and Building Services

cc: file K15/D22A

Antoinette Baldonado, Construction Services
Duane Schmitz, DMD Street / Storm Maintenance

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

SA

PROJECT TITLE: Presbyterian Hospital Parking Garage ZONE MAP/DRG. FILE # K-15 / DOZZA
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
CITY ADDRESS: 1100 Central SE

ENGINEERING FIRM: Bohannon Huston, Inc.
ADDRESS: 7500 Jefferson NE - Courtyard I
CITY, STATE: Albuquerque, NM

CONTACT: Glenn Broughton
PHONE: (505) 823-1000
ZIP CODE: 87109

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: Dekker/Perich/Sabatini
ADDRESS: 6801 Jefferson NE - Suite 100
CITY, STATE: Albuquerque, NM

CONTACT: Ted Kostranchuk
PHONE: (505) 761-9700
ZIP CODE: 87109

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

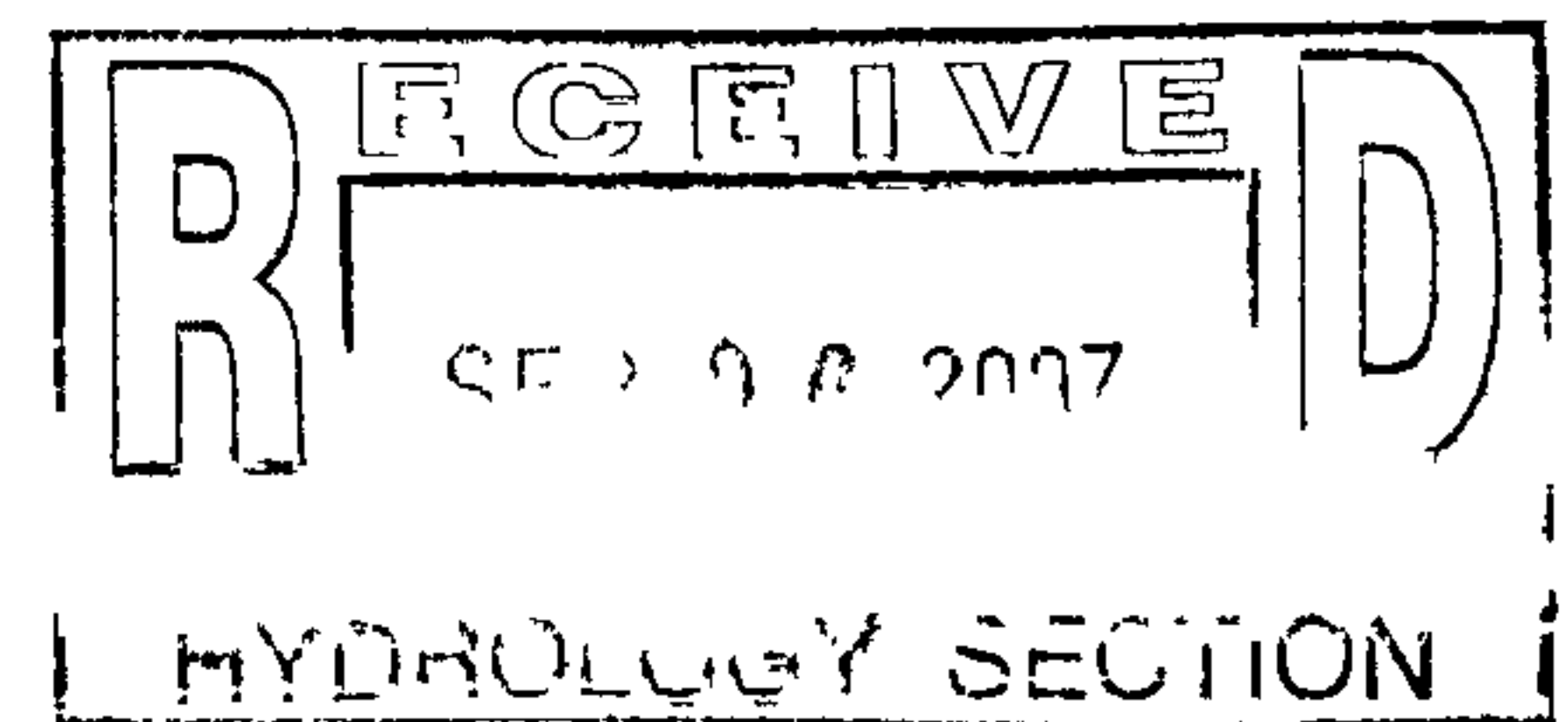
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☒ OTHER; SO-19

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ OTHER; SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

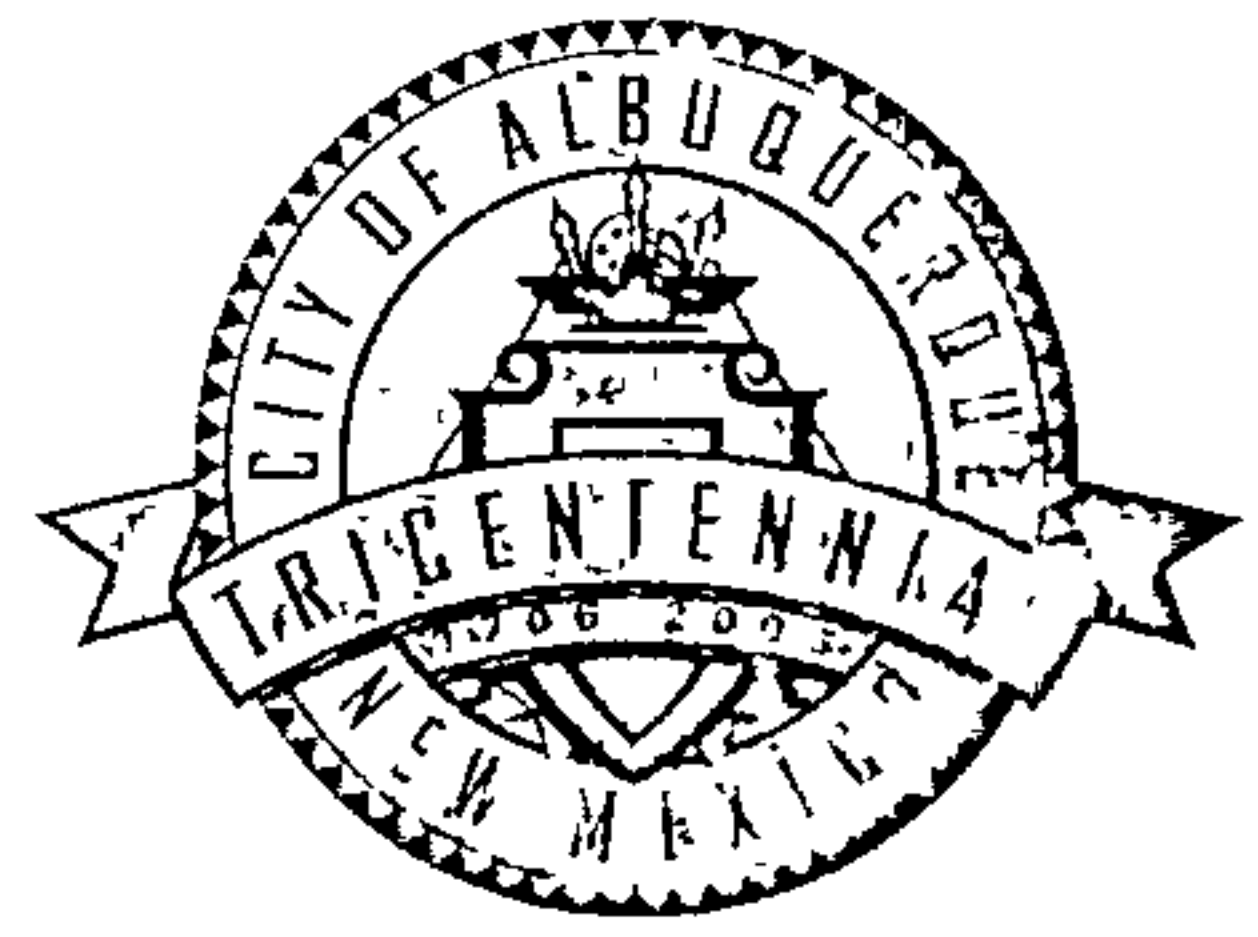


DATE SUBMITTED: September 5, 2007 BY: Glenn Broughton

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

October 25, 2007

William Q. Sabatini, Registered Architect
7601 Jefferson NE, Ste. 100
Albuquerque, NM 87109

Re: Certification Submittal for Final Building Certificate of Occupancy for
Prebyterian Hospital Parking Garage, [K-15 / D22A]
1100 Central SE
Architect's Stamp Dated 10/24/07

Dear Mr. Sabatini:

The TCL / Letter of Certification submitted on October 24, 2007 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: PRESBYTERIAN HOSPITAL PARKING GARAGE ZONE MAP/DRG. FILE # K 15 / DOZZA
 DRB#: 06 088-00722 EPC#: 100057 / 06 EPC - 00279 WORK ORDER#: _____

LEGAL DESCRIPTION: TRACTS 1 THROUGH 9, PRESBYTERIAN HOSPITAL - MAIN CAMPUS
 CITY ADDRESS: 300 CEDAR SE ALBUQUERQUE, NEW MEXICO

ENGINEERING FIRM: BOHANNAN HUSTON, INC
 ADDRESS: 7500 JEFFERSON, NE
 CITY, STATE: ALBUQUERQUE, NM

CONTACT: GLENN BROUGHTON
 PHONE: 82-31000
 ZIP CODE: 87109

OWNER: PRESBYTERIAN HEALTHCARE SERVICES
 ADDRESS: 1100 CENTRAL AVE SE
 CITY, STATE: ALBUQUERQUE NM 87106

CONTACT: ERIC CORNISH
 PHONE: 563-6635
 ZIP CODE: 87106

ARCHITECT: DEKKER / PERICH / SABATINI
 ADDRESS: 7001 JEFFERSON ST NE SUITE 100
 CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: MIKE LA VALLEY
 PHONE: 761-9700
 ZIP CODE: 87109

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: KLINCK CONSTRUCTORS
 ADDRESS: P.O. BOX 90850 - 8701 WASHINGTON
 CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: GLENN KITCHENS
 PHONE: 822-9990
 ZIP CODE: 87199

TYPE OF SUBMITTAL:

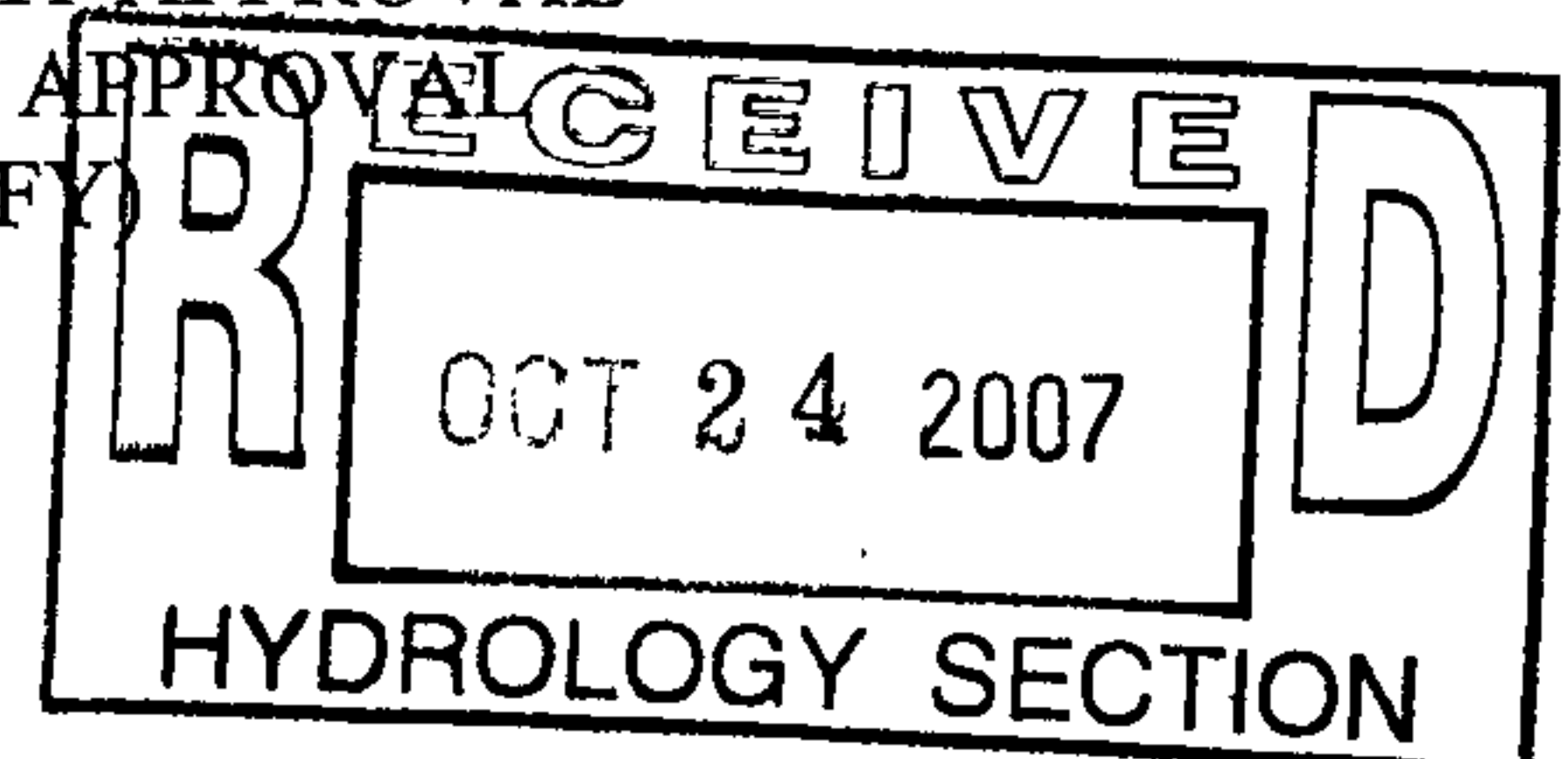
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☒ ENGINEER/ARCHITECT CERT (TCL)
- ☒ ENGINEER/ARCHITECT CERT (DRB S.P.)
- ☐ ENGINEER/ARCHITECT CERT (AA)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



SUBMITTED BY: _____ DATE: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

October 24, 2007



Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development & Building Services; Planning Dept.
600 2nd Street NW
Albuquerque, NM 87102

Re: Traffic Certification for
Permanent Certification of Occupancy

Dear Mr. Fernandez:

I Bill Sabatini, NMRA No. 3203, of the firm Dekker/Perich/Sabatini, hereby certify that this project has been completed and is in substantial compliance with and in accordance with the design intent of the approved Site Development Plan dated May 5, 2006. I further certify that I have personally visited the project site on October 24, 2007 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certification of Occupancy.

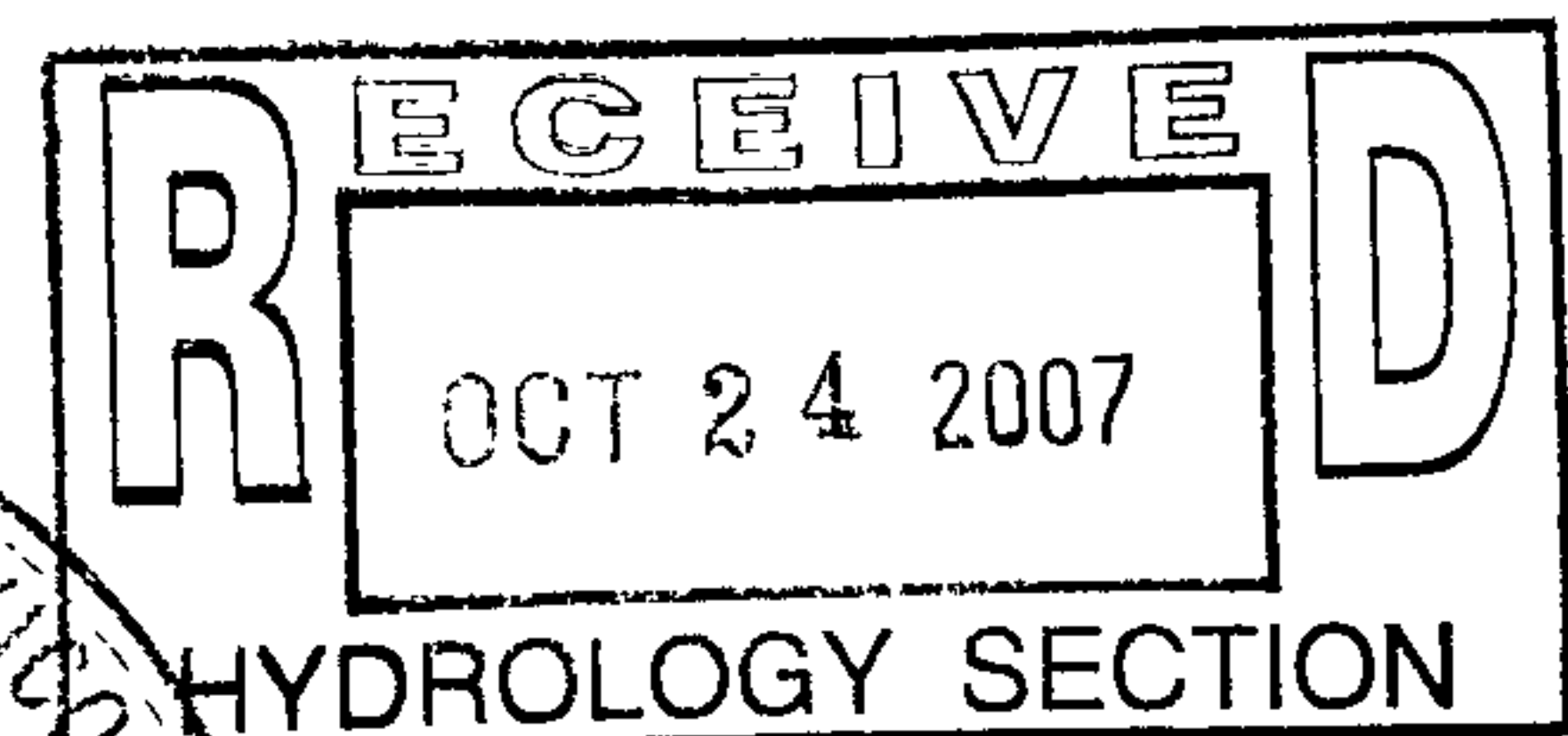
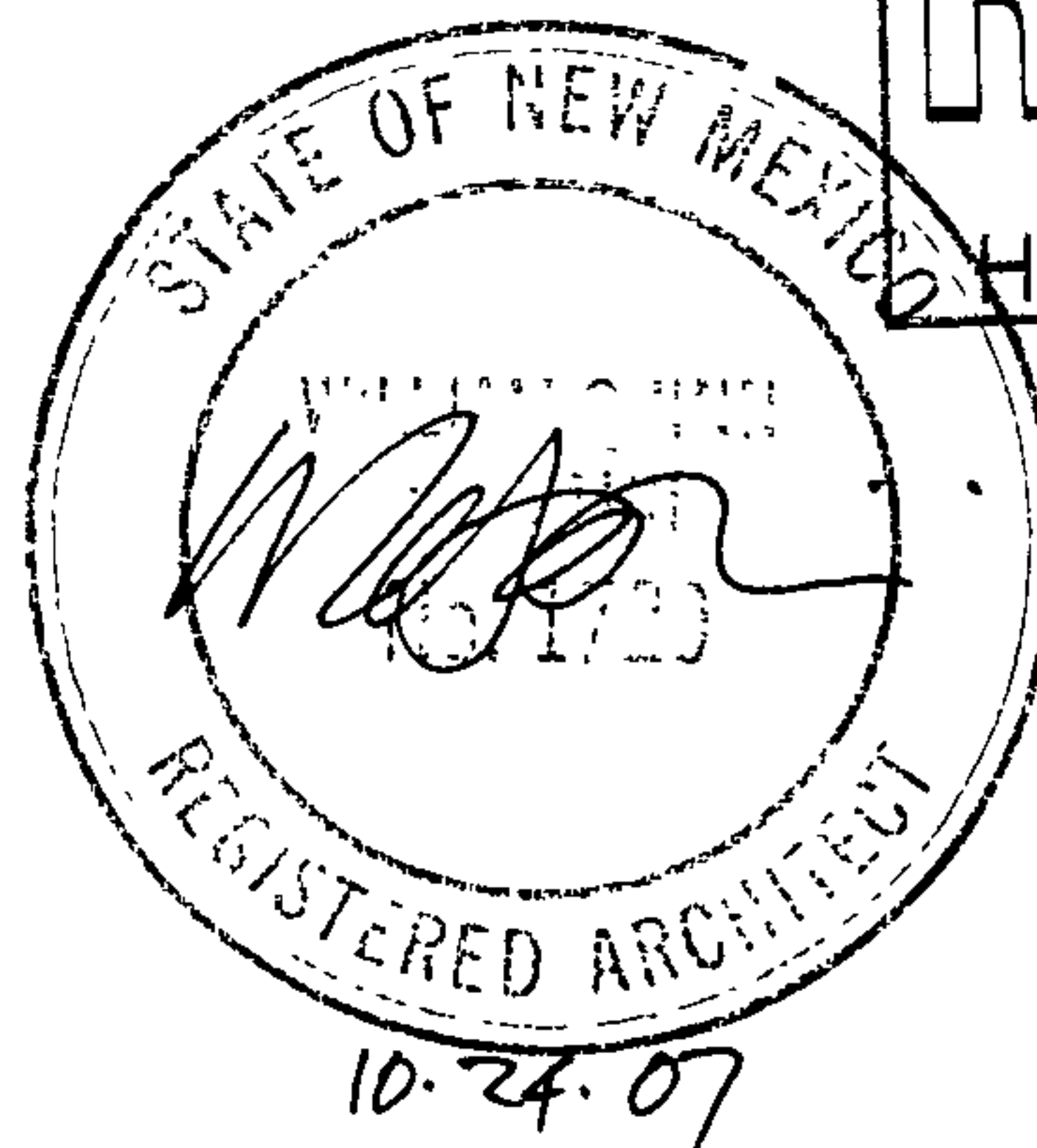
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Very truly yours,

Dekker/Perich/Sabatini Ltd.

A handwritten signature in black ink, appearing to read 'W. Sabatini'.

William Q. Sabatini, AIA
Principal



architecture

interiors

landscape

planning

engineering

CITY OF ALBUQUERQUE



May 31, 2006

Glenn S. Broughton, P.E.
Bohannon Huston
7500 Jefferson NE- Courtyard I
Albuquerque, NM 87109

**Re: Presbyterian Hospital Parking Garage Conceptual Grading and Utility Plan
Engineer's Stamp dated 5-10-06 (K15/D22A)**

Dear Mr. Broughton,

Based upon the information provided in your submittal dated 5-11-06, the above referenced plan is approved for Site Development Plan for Building Permit Approval.

If you have any questions, you can contact me at 924-3695.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Sincerely,

Curtis A. Cherne, E.I.
Engineering Associate, Planning Dept.
Development and Building Services

Pub

C: file

CITY OF ALBUQUERQUE



September 7, 2006

Glenn Broughton, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE – Courtyard 1
Albuquerque, NM 87109

Re: Presbyterian Hospital Parking Garage, Engineer's Stamp dated 8-22-06
Request for Building Permit Approval, (K15/D22A)

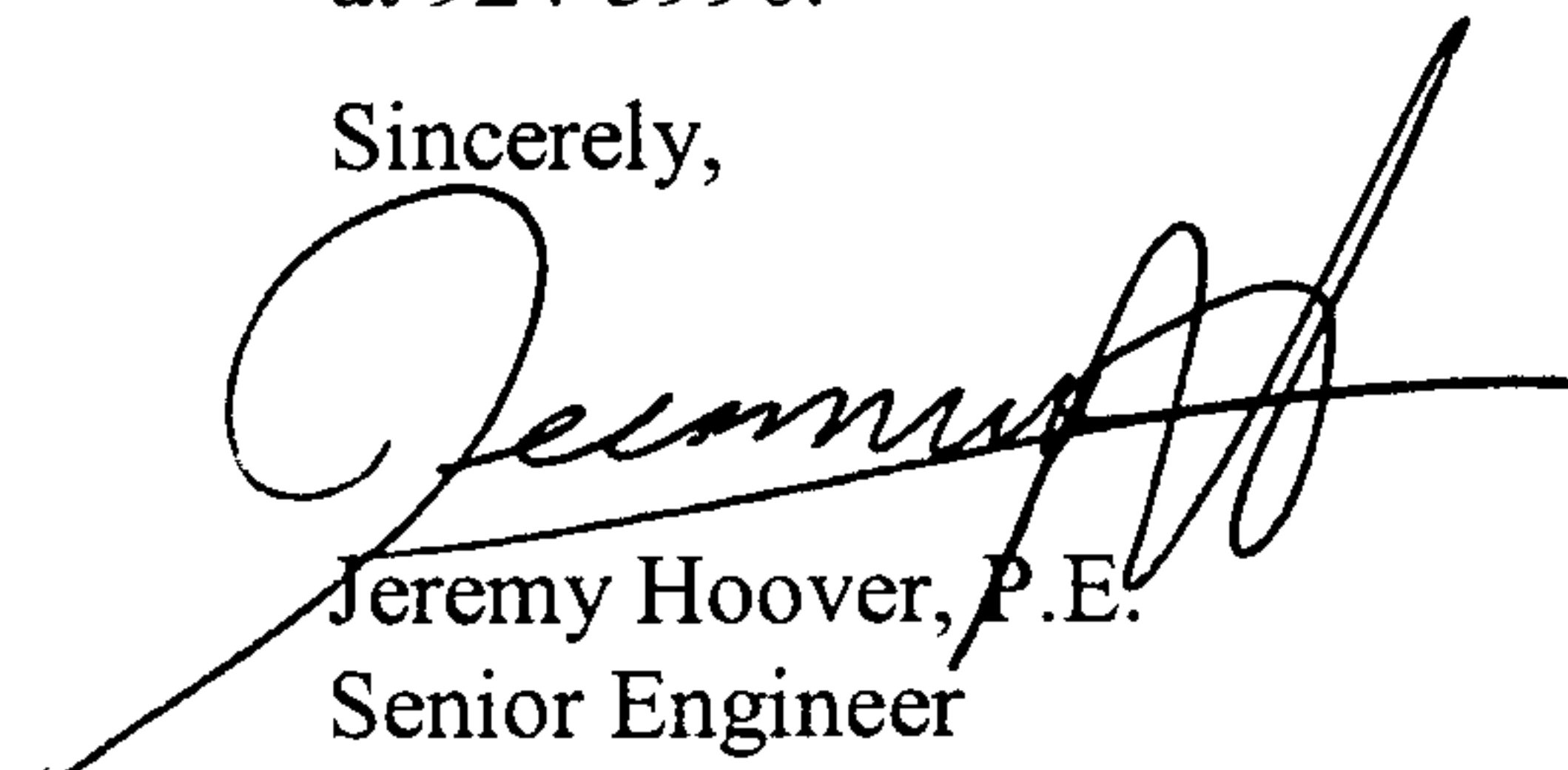
Dear Mr. Broughton,

Based on the information contained in your submittal received on August 29, 2006, there some additional items that must be included prior to Building Permit approval. Those items are detailed below.

- Please include the proper legal description and a zone atlas page with the project site highlighted.
- Demolition notes 3 and 4 both point to the sidewalk culvert at the southwest corner of the site. Is this to remain or be removed? An undefined symbol is also shown at this location. Is this a light pole and will it need to be removed / relocated as part of the site work?
- The SO-19 notes need to be revised to reference New Mexico One Call at 260-1990 for the line spots.
- Please define the extents of the sidewalk removal and replacement at the southwest corner of the site in a similar fashion as was shown at the northwest corner. Also define the associated symbology on the legend.
- Grading note 2 is utilized at the Spruce entrance but no sidewalk culvert is shown. Based on the drainage narrative, this appears to be a typographical error. If this is intended to represent sidewalk removal and replacement, please define the extents and modify the construction notes accordingly.
- Do the area drains (general note 6) outfall to the sanitary sewer or the sidewalk culvert(s)? Please address this in the narrative.

If you have any questions or need additional information, feel free to contact me at 924-3990.

Sincerely,


Jeremy Hoover, P.E.
Senior Engineer
Hydrology Section
Development and Building Services

cc: file (K15/D22A)

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



August 28, 2007

Glenn Broughton, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE – Courtyard 1
Albuquerque, NM 87109

Re: Presbyterian Hospital Parking Garage, No Engineer's Stamp, (K15/D22A)

Dear Mr. Broughton,

Based on the information contained in your submittal received on August 24, 2007, the above referenced plan cannot be approved for SO-19 Permit until the following items are revised.

- The sidewalk culvert geometry must be revised such that the flow line is orthogonal to the Silver Ave. right-of-way.
- A signature block must be included for the drainage inspector.
- The standard SO-19 construction notes must be included on the plan drawings.
- The plan must be stamped, signed, and dated.
- Please resubmit the plan on a standard 24" x 36" plan sheet.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If you have any questions or need additional information, feel free to contact me at 924-3990.

Sincerely,

Jeremy Hoover, P.E., C.F.M.
Senior Engineer
Hydrology Section
Development and Building Services

cc: file K15/D22A

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Presbyterian Hospital
AGENT Bohannon Huston
ADDRESS 1100 Central SE
PROJECT & APP # Presbyterian Hospital Parking Garage
PROJECT NAME _____

\$ _____ 441032/3424000 Conflict Management Fee

\$ _____ 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ 50 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan ☒ Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 50 TOTAL AMOUNT DUE

mail to Eng.
along w/ ^{review} ~~response~~
letter
Thanks

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

Bohannon Huston

COURTYARD I, 7500 JEFFERSON STREET NE
ALBUQUERQUE, NM 87109-4335
505.823.1000

BANK OF AMERICA
ALBUQUERQUE, NEW MEXICO

95-32 / 1070

139488

8/28/2006

NO. 139488

PAY *****50

DOLLARS & *****00

Cit. of Albuquerque
TREASURY DIVISION *****50.00

TO THE CITY OF ALBUQUERQUE
ORDER P.O. Box 1293
OF Albuquerque, NM 87103 US

8/28/2006
RECEIPT# 00037307 WSH 007 TRANS# 0048
Account 441006 Fund 0110
ACTIVITY 4983000 AUTHORIZED SIGNATURE
Trans Amt \$50.00
AUTHORIZED SIGNATURE

139488 107000327 002865399404

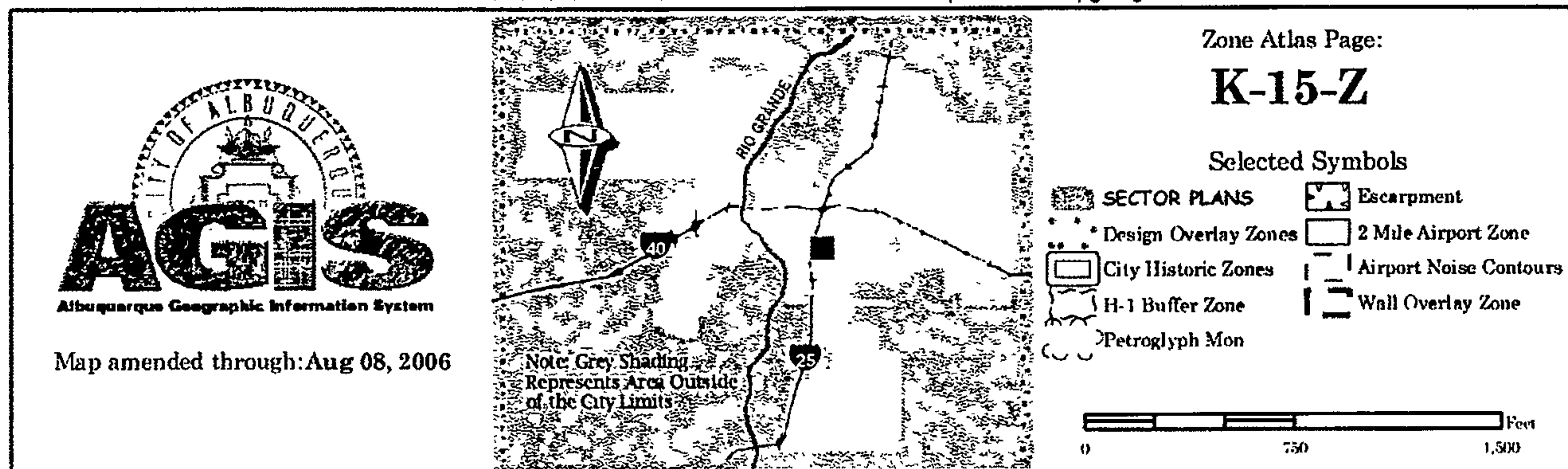
CHANGE

\$50.00
\$0.00

Thank You



For more current information and more details visit: <http://www.cabq.gov/gis>





Hydro Conduit Division
3700 Hwy 528, P.O. Box 5190
Bernalillo, NM 87004
Business 505-867-2394, Fax 505-867-2563

DATE 5-31-06
PAGE 1 OF 1 PAGES

PROJECT Dres parking garage

Note: For building permit:
Need to show floor drains

and
Label All Streets
cc 5-31-06