

Site Plan PRESBYTERIAN HOSPITAL SITE DEVELOPMENT PLAN

SCALE: 1" = 50'

NOTE:
THIS AMMENDMENT TO THE SITE DEVELOPMENT PLAN IS FOR ADDITIONAL SURFACE PARKING ONLY. THERE ARE NO BUILDING ADDITIONS OR FACADE CHANGES INCLUDED IN THIS AMMENDMENT.

- LEGEND**
- EXISTING LIGHT POLE
 - EXISTING TRAFFIC SIGN
 - EXISTING FIRE HYDRANT
 - EXISTING BOLLARD LIGHT TYPE "E"
 - EXISTING LIGHTING TYPE "D"
 - EXISTING LIGHTING TYPE "C"
 - EXISTING LIGHTING TYPE "B"
 - EXISTING LIGHTING TYPE "A"
 - EXISTING FENCE
 - EXISTING TRAFFIC FLOW
 - EXISTING BICYCLE RACK
 - EXISTING BOLLARD OUT LINE TO BE REMOVED
 - EXISTING PROPERTY LINE
 - PROPOSED AREA OF 5TH, 6TH & 7TH FLOORS

EXISTING SITE AREA

TOTALS	1,147,086 SF	26.38 ACRES
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REQUIRED PARKING

HOSPITAL	470 BEDS (PROJECTED) / 2 BEDS/PARKING SPACE = 235
POB	284,880 CSF X .8 = 227,904 NSF / 1750/DOCTOR = 130 DOCTORS
	X5 PARKING SPACES/DOCTORS = 650 SPACES
DAY SURGERY	16,184 CSF X .8 = 12,947 NSF / 1,750/DOCTOR = 8 DOCTORS
	X5 PARKING SPACES/DOCTORS = 40 SPACES
TOTAL SPACES REQUIRED	= 690 TOTAL REQUIRED SPACES

EXISTING PARKING COUNT

83 HANDICAP PARKING STALLS	1 HANDICAP PARKING STALL (INCLUDES REMOVAL OF 3 STALLS)	TOTAL SITE PARKING
1,488 STANDARD PARKING STALLS	73 STANDARD PARKING STALLS (INCLUDES REMOVAL OF 25 STALLS)	94 HANDICAP PARKING STALLS
454 COMPACT PARKING STALLS	33 COMPACT PARKING STALLS	1571 STANDARD PARKING STALLS
2,045 TOTAL PARKING STALLS	109 TOTAL NEW PARKING STALLS	487 COMPACT PARKING STALLS
		2154 TOTAL SITE PARKING STALLS

COMPACT SPACES ALLOWED

25% OF TOTAL PARKING PROVIDED MAY BE COMPACT

2156 X .25 = 539 (487 PROVIDED)

BICYCLE PARKING COUNT (REQUIRED PARKING NUMBERS DO NOT CHANGE SO NO ADDITIONAL BICYCLE SPACES ARE REQUIRED)

1 BICYCLE PARKING SPACE IS REQUIRED FOR EVERY 20 REQUIRED AUTOMOBILE PARKING SPACES.

REQUIRED BICYCLE PARKING = 925 X 1/20 = 47

EXISTING BICYCLE PARKING = 68

AN ADDITIONAL 500 SQ. FT. LOCKED, CHAIN LINK FENCE ENCLOSED, COVERED BICYCLE LOCKER IS AVAILABLE FOR EMPLOYEES

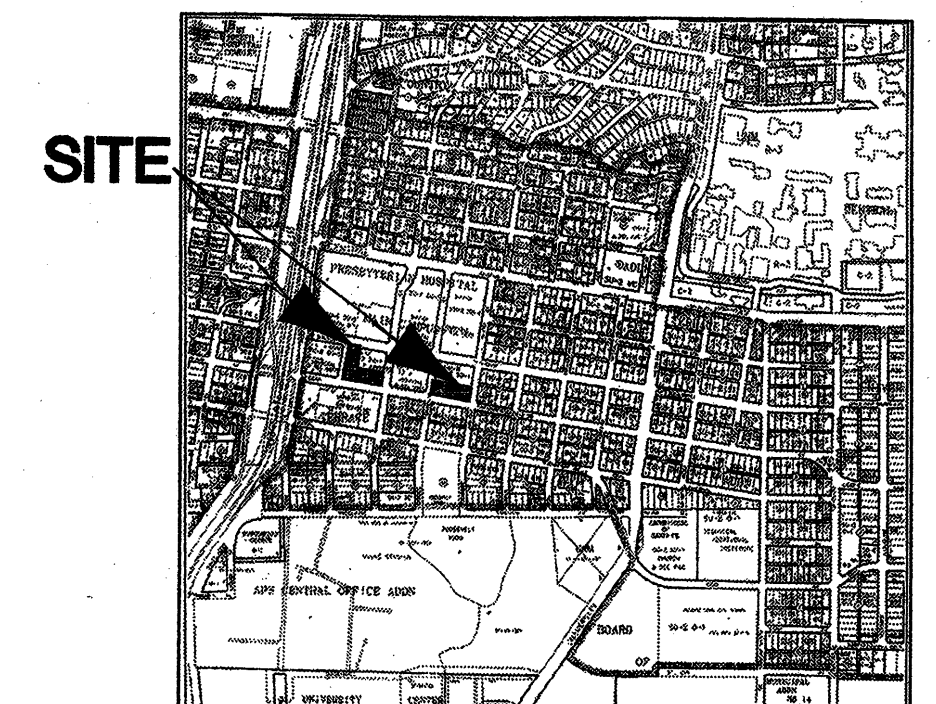
BUILDING AREA CALCULATIONS

EXISTING BUILDING AREAS	
HOSPITAL	598,920 SF
PROFESSIONAL OFFICE BLDG.	284,880 SF
DAY SURGERY CENTER	16,184 SF
ENERGY CENTER	16,888 SF
PAINT SHOP	4,782 SF
SERVICE STATION	1,694 SF
2A BUILDING	16,916 SF
CASA CORAZON (RESIDENCE)	1,584 SF
PARKING GARAGE	196,859 SF
HOSPITAL LOBBY	6,100 SF
TOTAL EXISTING BUILDING AREA	1,144,786 SF
PROPOSED BUILDING AREAS	
EAST EXPANSION	150,000 SF
2A BUILDING (REMOVAL)	(16,916) SF
TOTAL PROPOSED BUILDING AREA	133,084 SF
NEW TOTAL CAMPUS BUILDING AREA	1,277,850 SF

APD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
SIGNATURE & DATE
5/19/04

GENERAL NOTES

- ALL PARKING ON SITE IS EXISTING UNLESS OTHERWISE NOTED
- ALL CURB CUTS ARE EXISTING
- ALL DEMOLITION AND RECONSTRUCTION SHALL COMPLY WITH REQUIREMENTS OF THE ENVIRONMENTAL HEALTH DEPARTMENT FOR REMOVAL AND DISPOSAL OF ASBESTOS AND OTHER HAZARDOUS BUILDING PRODUCTS
- ALL EXISTING CURB RADIUS AT STREET INTERSECTIONS ARE 15'-0" UNLESS OTHER WERE NOTED
- CONSTRUCTION STAGING AREAS AND CONTRACTOR PARKING AREAS SHALL BE LOCATED ON THE HOSPITAL CAMPUS BOUNDED BY CENTRAL AVE. TO THE NORTH, LEAD AVE. TO THE SOUTH, SIVACMORSE ST. TO THE EAST AND OAK ST. TO THE WEST
- THE 2A BUILDING IS TO BE DEMOLISHED BY NO LATER THAN OCTOBER 31, 2004. WITH PARKING AREA IMPROVEMENTS (INCLUDING LANDSCAPING AND LOW WALL ALONG CENTRAL AVE) TO BE COMPLETED BY OCTOBER 31, 2004.
- ANY NEW OR REPLACEMENT SITE LIGHTING SHALL BE OF A HEIGHT NO GREATER THAN 30 FEET AND NO GREATER THAN 10 FEET WITHIN 50 FEET OF A RESIDENTIAL ZONE. ANY NEW OR REPLACEMENT FIXTURES SHALL BE FULL CUT-OFF (E.G. SHOE BOX FIXTURES) TO PREVENT FUGITIVE LIGHT.
- ALL COMPACT PARKING STALLS NEED TO HAVE THE TEXT "COMPACT" PAINTED AT EACH STALL TYPICAL.



VICINITY MAP

This plan is consistent with the specific Site Development Plan (SDP) approved by the Environmental Planning Commission (EPC), dated February 15, 2004, and the Findings and conditions in the Official Notification of Decision are satisfied.

PROJECT NUMBER: 160057

APPLICATION NUMBER: 04 DRB - 00813

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION

UTILITIES DIVISION

PARKS AND RECREATION DEPARTMENT

CITY ENGINEER

SOLID WASTE MANAGEMENT

DRB CHAIRPERSON, PLANNING DEPARTMENT

DATE: 6-3-04

DATE: 6/2/2004

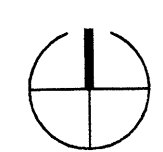
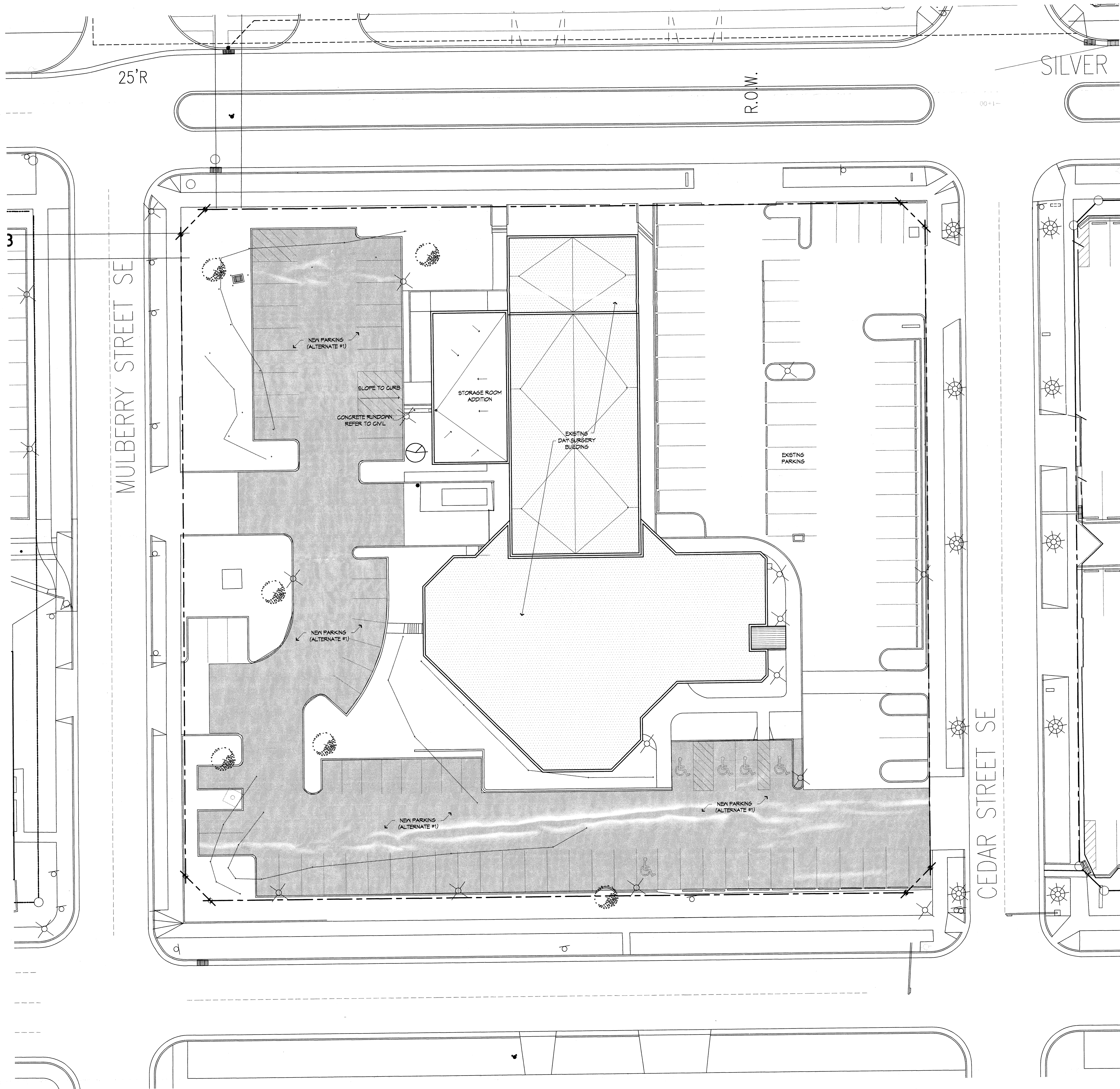
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DATE: 6/2/04

DATE: 5-20-04

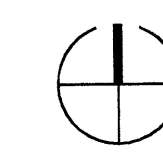
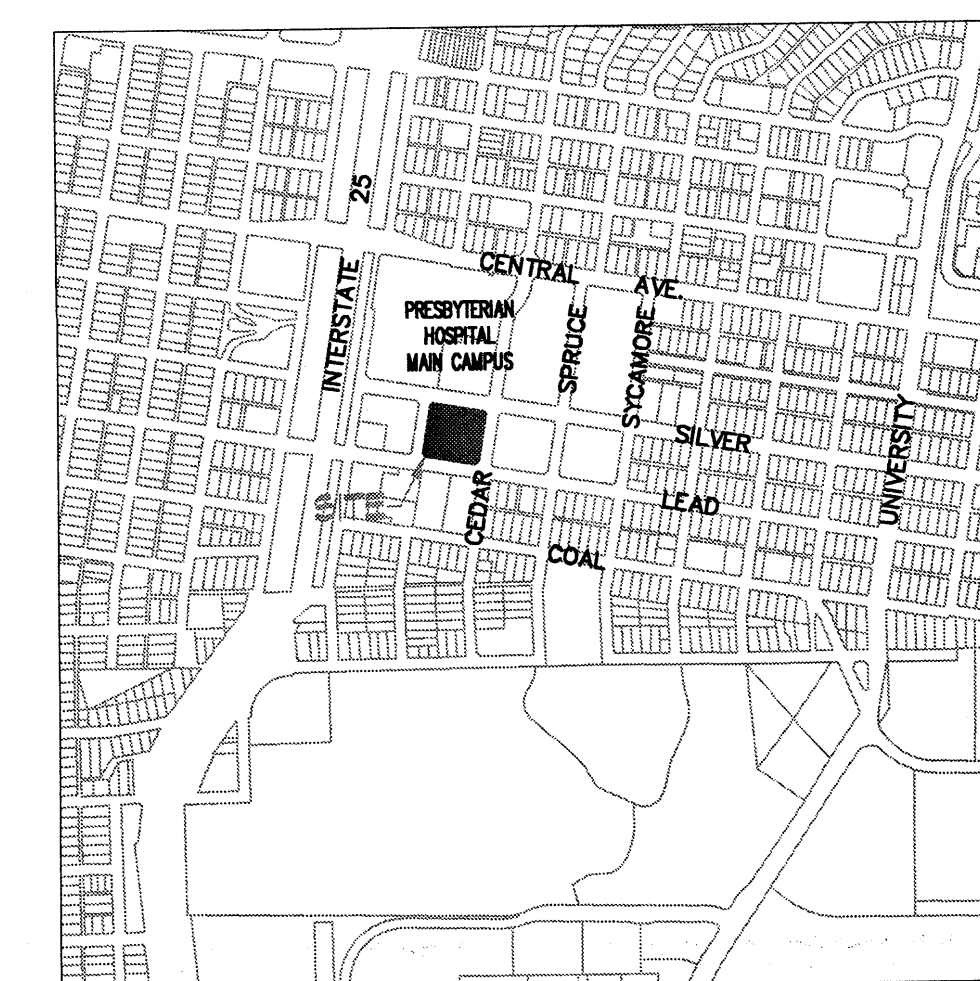
DATE: 6/3/04

Dekker/Perich/Sabatini
architecture - interiors - planning - engineering
6801 Jefferson NE, Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
05-25-2004



SITE PLAN

1/16" = 1'-0"



KEY PLAN

N.T.S.



**Presbyterian Healthcare Services
Day Surgery / Storage Room Addition
Albuquerque, NM**

REVISIONS

- △ 8-23-04 BULLETIN #1
- △
- △
- △
- △
- △

DRAWN BY DFM

REVIEWED BY DFB

DATE 8-17-05

PROJECT NO. 01045.026

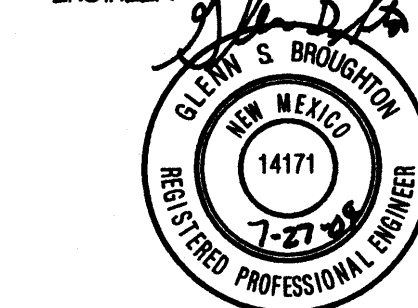
DRAWING NAME

SITE PLAN

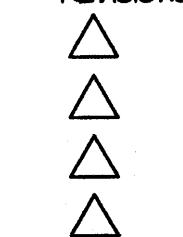
SHEET NO.

A001

OF

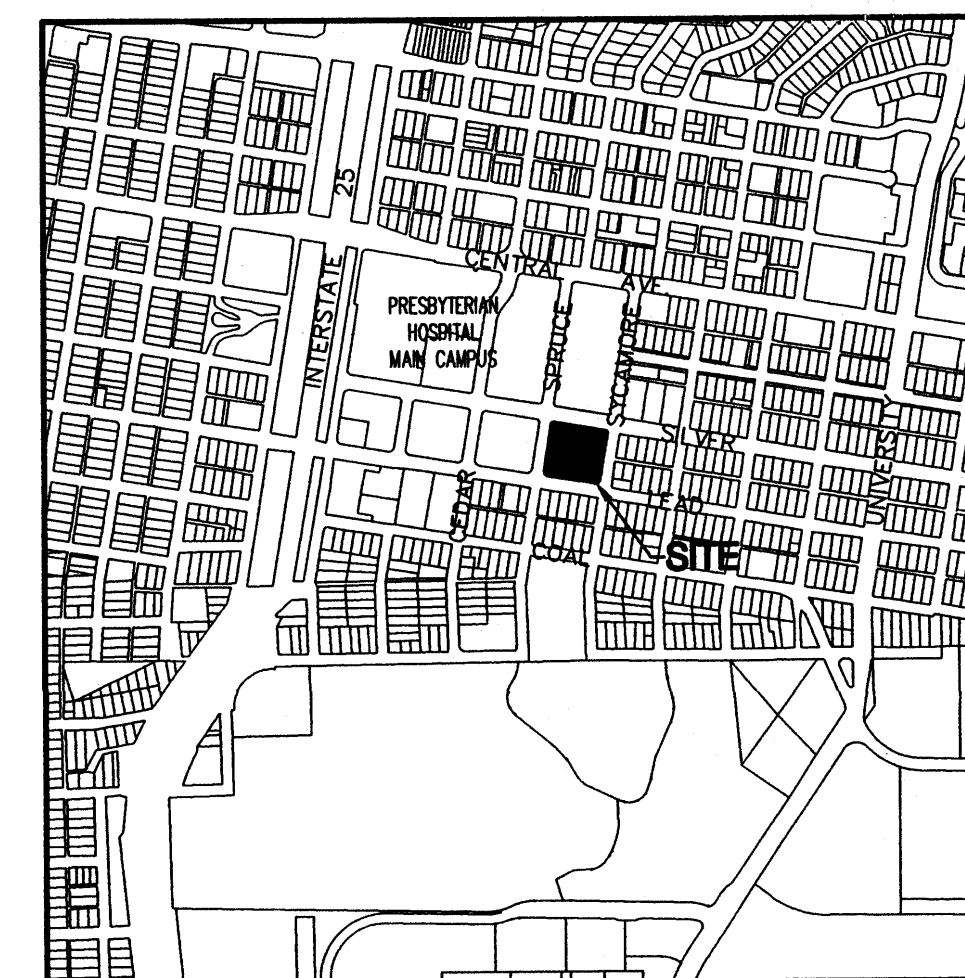
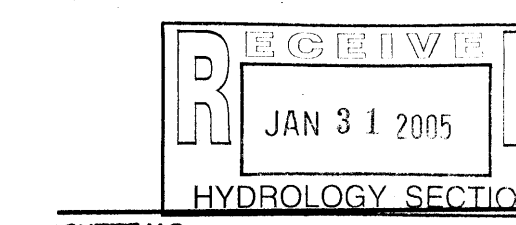


Presbyterian Hospital
East Expansion
South East Parking Lot
Albuquerque, NM



DRAWN BY MJB
REVIEWED BY GBB
DATE 11-21-08
PROJECT NO.
DRAWING NAME

GRADING &
DRAINAGE PLAN



VICINITY MAP
ZONE ATLAS PAGE K-15-Z

LEGEND

- PROPERTY LINE
- EXISTING CONTOURS
- EXISTING ELECTRICAL POLE
- PROPOSED SPOT ELEVATION
- TO-TOP OF CURB, FLOW LINE
- FISH-FINISHED GRADE ON HIGH SIDE OF WALL
- FISH-FINISHED GRADE ON LOW SIDE OF WALL
- EX-EXISTING, TO-TOP OF GRADE, 1A-TOP OF ASPHALT
- PROPOSED DIRECTION OF FLOW
- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED CURB & GUTTER
- EXISTING TREE
- PROPOSED LIGHTING
- NEW ASPHALT CONCRETE PAVEMENT. SEE PAVEMENT SECTION THIS SHEET

NOTICE TO CONTRACTORS (SO 19)

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECS FOR PUBLIC WORKS CONSTRUCTION, 1986.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATION SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE TO ARTERIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY

DESIGN APPROVAL:

HYDROLOGY SECTION DATE

INSPECTION APPROVAL:

TRANS/STREET MAINT. DATE

ACCEPTANCE:

CONSTRUCTION MGT. DIV. DATE

GRADING & DRAINAGE KEYED NOTES

- INSTALL 24" WIDE SIDEWALK CULVERT/CONCRETE RIBBON CHANNEL AS PER CITY OF ALBUQUERQUE STD DWG. 2236. SPECIAL SO-19 PERMIT AND INSPECTION REQUIRED, SEE NOTICE TO CONTRACTOR, THIS SHEET
- MATCH EXISTING CURB AND GUTTER HORIZONTAL AND VERTICAL
- SAW CUT AND MATCH EXISTING PAVEMENT, SEE DETAIL THIS SHEET
- INSTALL SLEEVE FOR CHAIN LINK FENCE PER DETAIL ON THIS SHEET

Bohannon & Huston

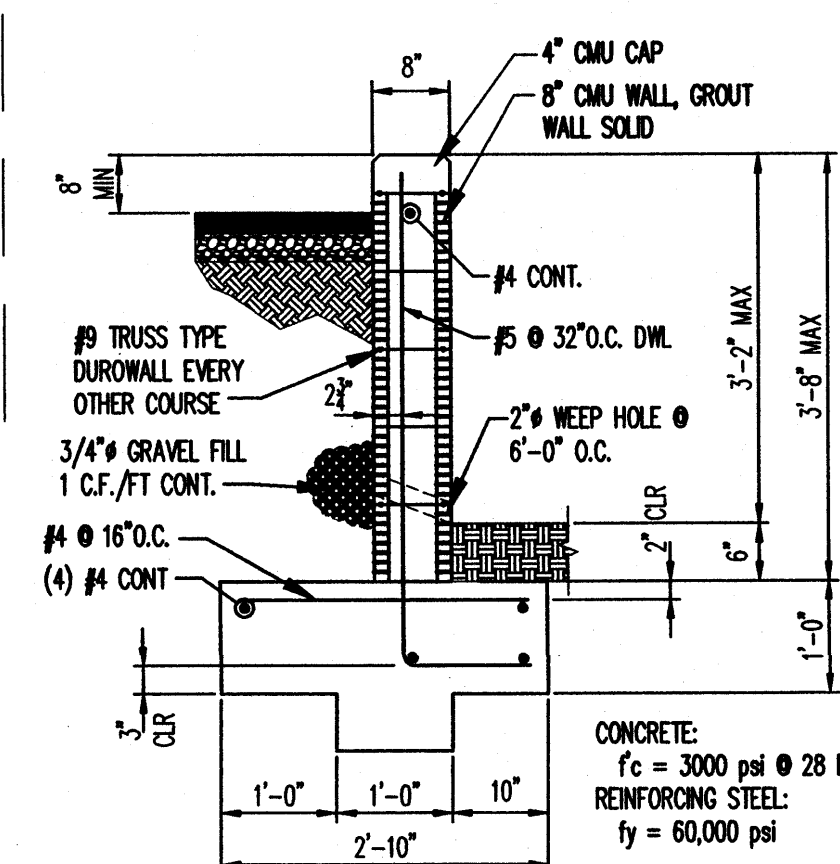
Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADEING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SHOWING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SHOWING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SHOWING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING SILT FENCE S OR TEMPORARY BERMS AT THE PROPERTY LINES.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

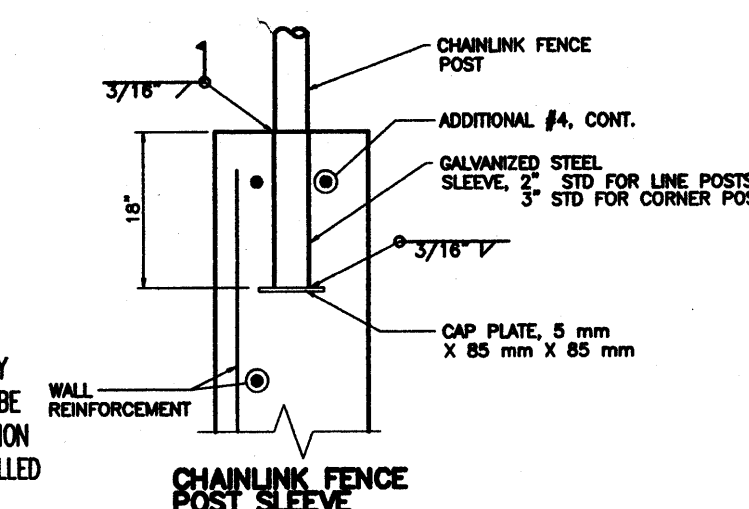


RETAINING WALL DETAIL

SCALE: NTS

STEP FOOTING DETAIL

NO SCALE



CHAIN LINK FENCE POST SLEEVE

- THE CONTRACTOR SHALL BE RESPONSIBLE TO SEE THAT ALL REBAR IS PROPERLY ALIGNED AND TIED IN PLACE BEFORE PLACING CONCRETE. ALL STEEL SHALL BE ACCURATELY LOCATED AND SECURED IN PLACE SO THAT IT REMAINS IN POSITION DURING THE PLACEMENT OF THE CONCRETE. ANY REBAR IMPROPERLY INSTALLED SHALL BE REMOVED AT NO ADDITIONAL COST TO THE OWNER.
- WEEP HOLES: PLACE A 2'x1' PIECE OF MIRAFI 140N FILTER FABRIC ON THE BACK OF WALL AT EACH WEEP LOCATION. OMIT HEAD JOINT ON BOTTOM TWO COURSES AT 48" O.C.
- THE FIRST COURSE OF CMU BLOCK MAY BE PLACED IN FRESH FOOTING CONCRETE. SUBSEQUENT COURSES OF CMU BLOCK SHALL NOT BE PLACED UNTIL 7 DAYS AFTER THE FOOTING IS CAST.
- ALL CMU BLOCK JOINTS SHALL BE TOOLED.

SILVER AVENUE SE

SCALE: 1"=20'

DRAINAGE CERTIFICATION

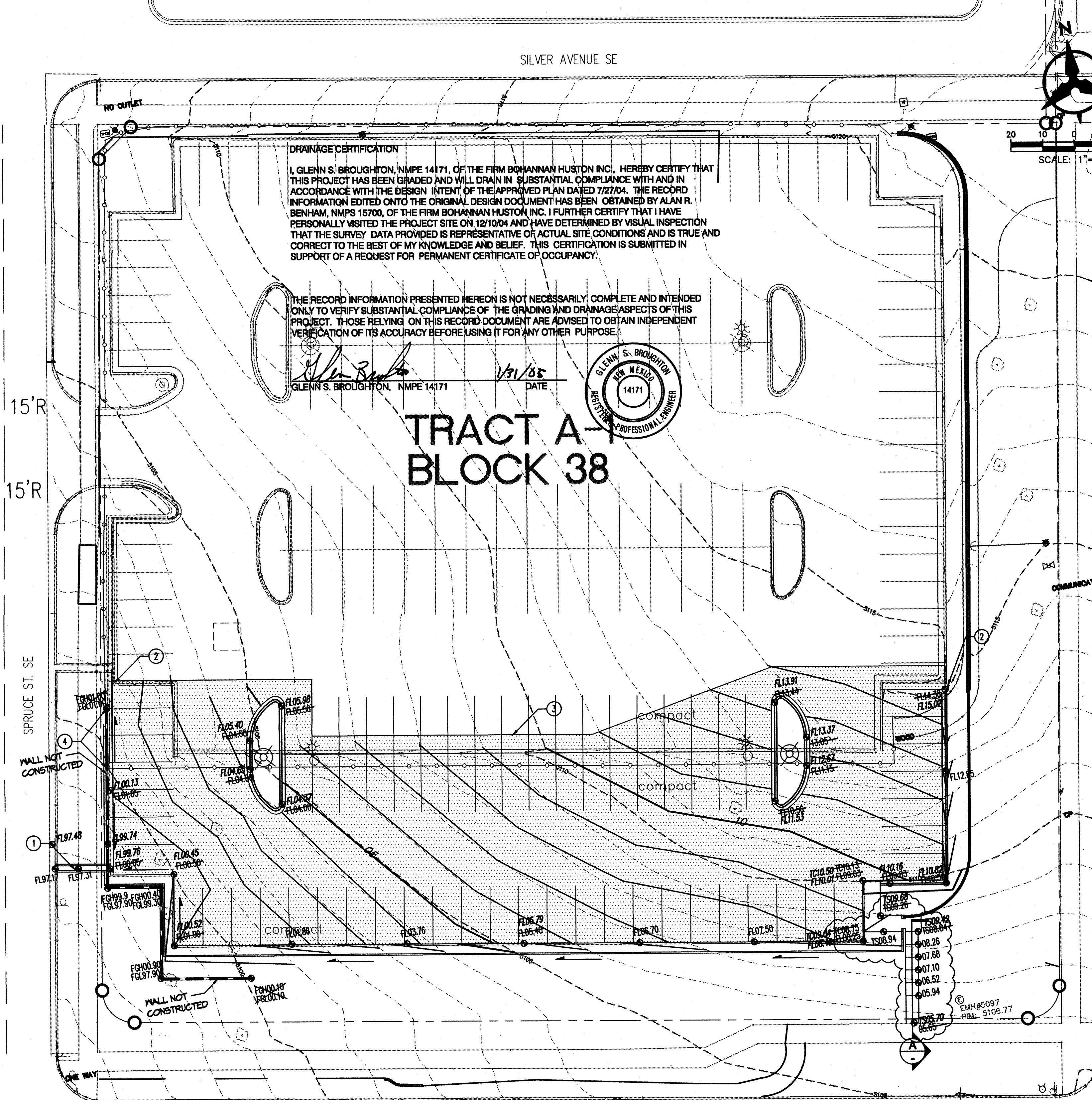
I, GLENN S. BROUGHTON, NMPE 14171, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 11/21/04. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ALAN R. BENHAM, NMPS 15700, OF THE FIRM BOHANNAN HUSTON INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/10/04 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

GLENN S. BROUGHTON
NMPE 14171
DATE 1/31/05



TRACT A-1
BLOCK 38



DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION

The purpose of this submittal is to present a final grading and drainage plan for the Presbyterian parking lot on the corner of Lead and Sycamore. This submittal is made in order to support paving approval.

II. SITE LOCATION AND EXISTING CONDITIONS

The project site is located on the northwest corner of Lead and Sycamore. Prior to proposed work, the total existing area includes landscaped land (42% Treatment B), and parking lot (58% Treatment D). The site currently drains to the southwest corner of the parking lot through a sidewalk culvert into Spruce Street. According to the DPM chapter 22.2-A.6, the total peak discharge from the site in the 100 year storm is approximately 7.10cfs. Site slopes are 8% to 10%. The site is located within zone atlas map # K-15-Z, and hydrologic zone 2.

III. PROPOSED HYDROLOGIC CONDITIONS

The proposed project consists of the addition of 74 new parking spaces to the south side of the existing parking lot. A new sidewalk culvert will be installed in the southwest corner of the parking lot to aid in properly draining the site. The site will still drain into Spruce Street. After completion of the proposed construction, 78.6% will be impervious and 21.4% will consist of land treatment B which will generate a peak discharge of 8.06cfs in the 100 year storm (DPM chapter 22-A.6).

The total discharge to adjacent public streets under proposed conditions is 0.96cfs more than existing peak flows.

IV. OFFSITE CONSIDERATIONS

There are no upstream offsite flows which will impact this site. In addition, the site will not have any detrimental impact on downstream drainage infrastructure since proposed conditions discharge is slightly more than existing.

V. CONCLUSION

The improvements proposed with this final grading and drainage plan are capable of safely passing the 100 year storm and meet city requirements. With this submittal, we are seeking city hydrology approval for paving permit.

DRAINAGE CALCULATIONS

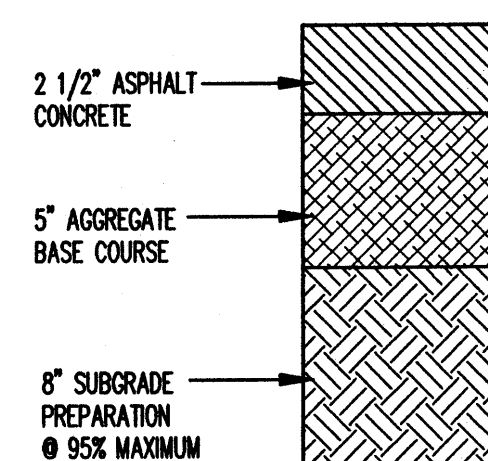
EXISTING CONDITIONS:

TREATMENT -> 52.0% = D, 48.0% = B
(0.52)(1.93AC)(4.70) + (0.48)(1.93AC)(2.28) = 7.10cfs

PROPOSED CONDITIONS:

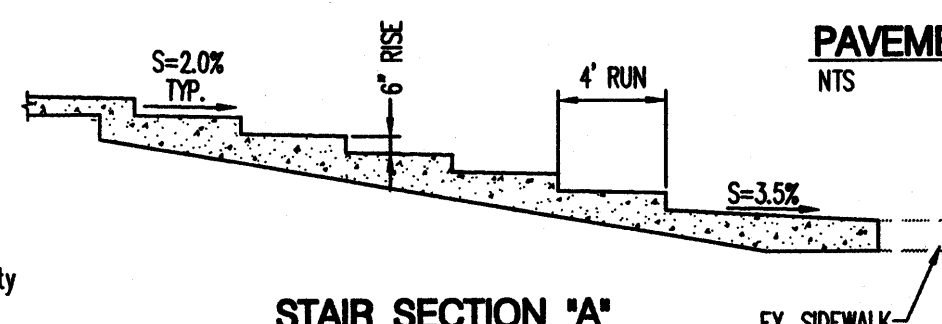
TREATMENT -> 78.6% = D, 21.4% = B
(0.786)(1.93AC)(4.70) + (0.214)(1.93AC)(2.28) = 8.06cfs

NET DIFFERENCE = 8.06 - 7.10 = .96cfs



PAVEMENT SECTION

NTS



STAIR SECTION 'A'

NTS

LEAD AVENUE SE

SYCAMORE STREET SE