

CITY OF ALBUQUERQUE



September 22, 2009

Martin J. Garcia, P.E.
ABQ Engineering, Inc.
6739 Academy Rd NE Ste. 130
Albuquerque, NM 87109

**Re: Albuquerque Public Schools-Tract C-1, 940 Oak Street SE,
(K-15/D026A)
Approval of Permanent Certificate of Occupancy,
Engineer's Stamp Dated: 03-16-09
Engineer's Certification Date: 9-21-09**

PO Box 1293

Dear Mr. Garcia,

Albuquerque

Based upon the information provided on 9/21/09, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

NM 87103

If you have any questions, you can contact me at 924-3982.

Sincerely,

www.cabq.gov

Timothy E. Sims
Plan Checker-Hydrology, Planning Dept
Development and Building Services

C: CO Clerk—Katrina Sigala
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

ROA TESTING WAREHOUSE

PROJECT TITLE: Albuquerque Public Schools
DRB #: _____ EPC#: _____

ZONE MAP/DRG. FILE #: K-15 / DDZ 6A.
WORK ORDER#: _____

LEGAL DESCRIPTION: Tract C-1, Plat of TRS B-1 & C-1 A.P.S. Central Office Addition
CITY ADDRESS: 940 DAK ST.

ENGINEERING FIRM: ABQ Engineering
ADDRESS: 6739 Academy NE Suite 130
CITY, STATE: Albuquerque, NM

CONTACT: Martin J. Garcia
PHONE: 255-7802
ZIP CODE: 87109

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: Claudio Vigil Architects
ADDRESS: 1801 Rio Grande Blvd. NW
CITY, STATE: Albuquerque, NM

CONTACT: _____
PHONE: 842-1113
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
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- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

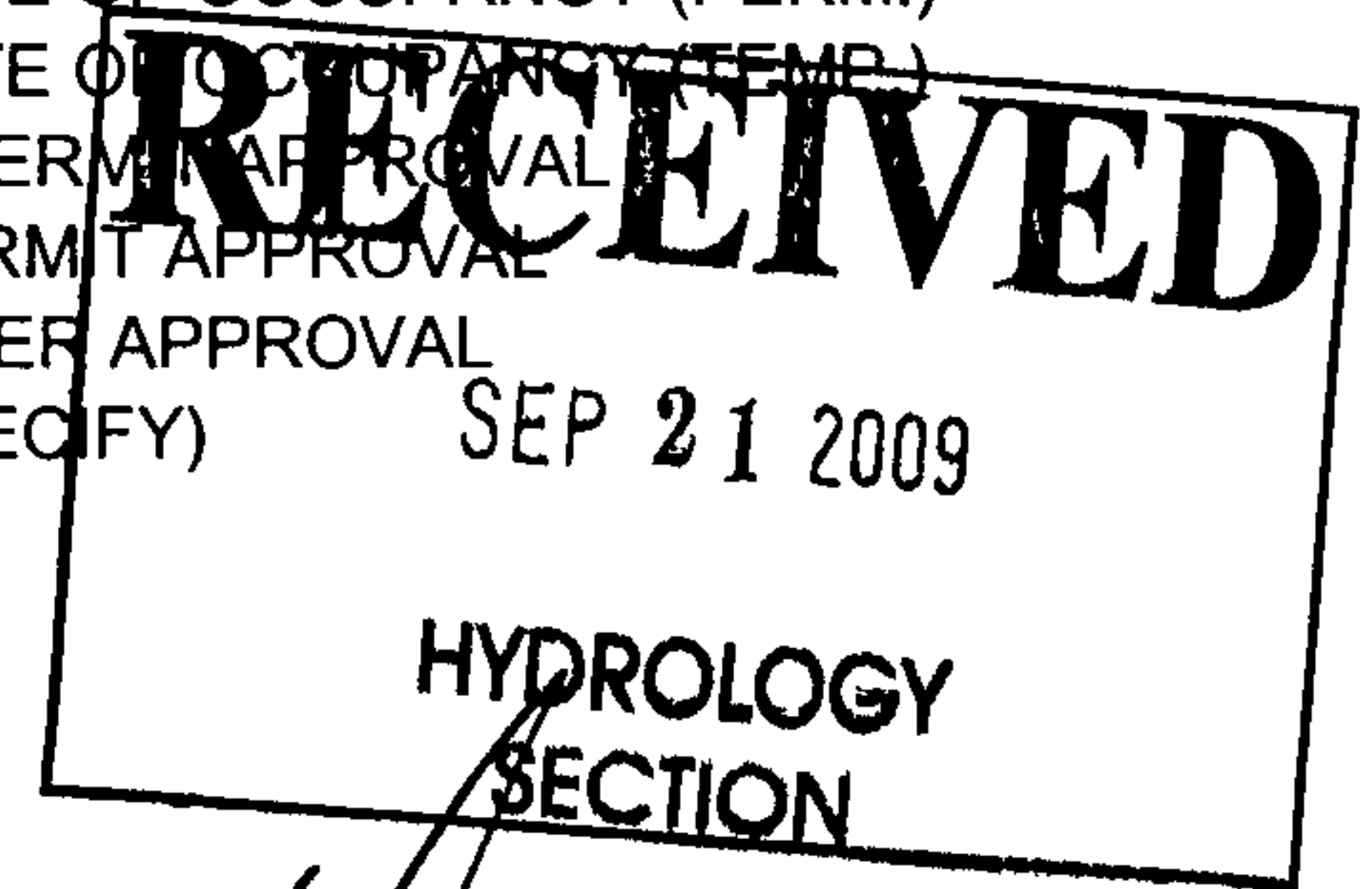
- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: September 21, 2009

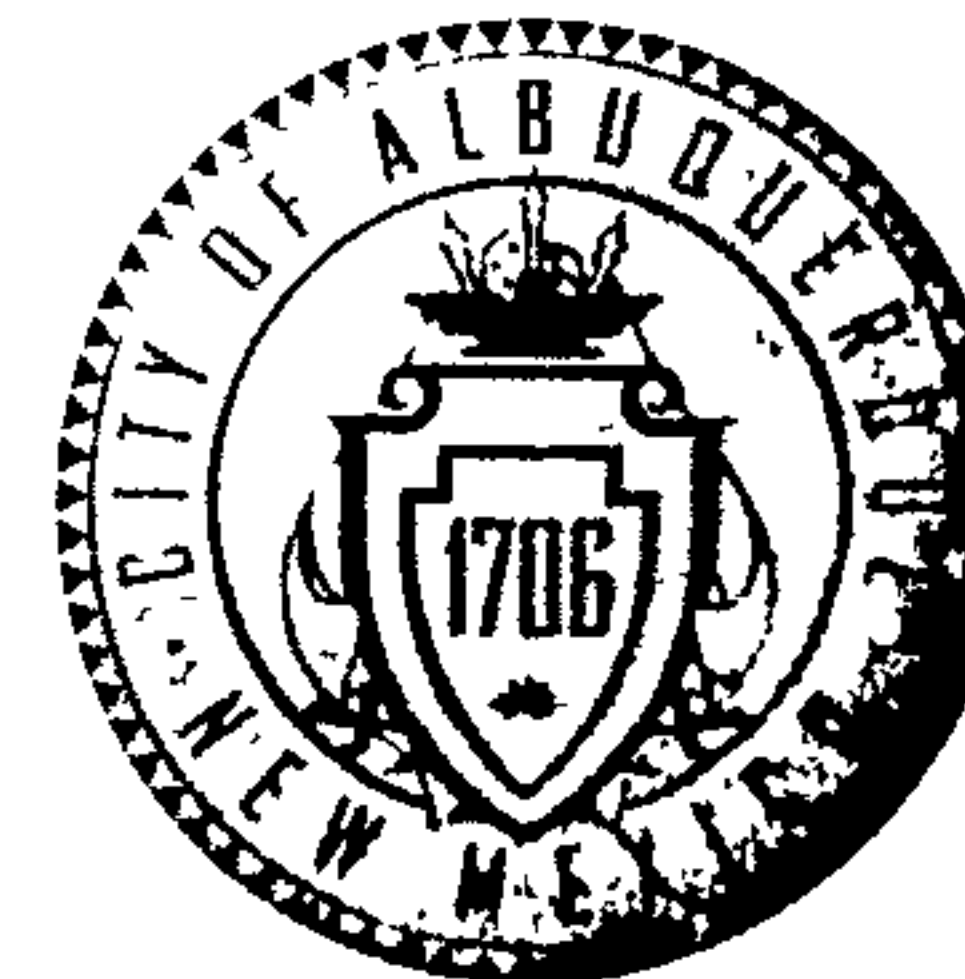
BY: Martin J. Garcia

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

September 16, 2009

Martin J. Garcia, P.E.
ABQ Engineering
6739 Academy NE, Ste. 130
Albuquerque, NM 87109

Re: Certification Submittal for Final Certificate of Occupancy (C.O.)
RDA Testing Warehouse & Offices, [K-15 / D026A]
940 Oak Street S.E.
Architect's Stamp Dated 09/15/09

Dear Mr. Garcia:

The TCL/Letter of Certification submitted on September 15, 2009 **is approved** by this office for Final Certificate of Occupancy (C.O). Notification has been made to the Building and Safety Section.

If you have any questions, please contact me at 505-924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Albuquerque Public Schools

DRB #: _____

EPC#: _____

ZONE MAP/DRG. FILE #: K-15/DOJLA

WORK ORDER#: _____

LEGAL DESCRIPTION: Tract C-1 Plat of TRS B-1 & C-1 A.P.S. Central Office Addition

CITY ADDRESS: _____

ENGINEERING FIRM: ABQ Engineering

ADDRESS: 6739 Academy NE Suite 130

CITY, STATE: Albuquerque, NM

CONTACT: Martin J. Garcia

PHONE: 255-7802

ZIP CODE: 87109

OWNER: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

ARCHITECT: Claudio Vigil Architects

ADDRESS: 1801 Rio Grande Blvd. NW

CITY, STATE: Albuquerque, NM

CONTACT: _____

PHONE: 842-1113

ZIP CODE: _____

SURVEYOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

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- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
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- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
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- ☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

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- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: September 15, 2009

BY: Ashley Tanner for Martin J. Garcia

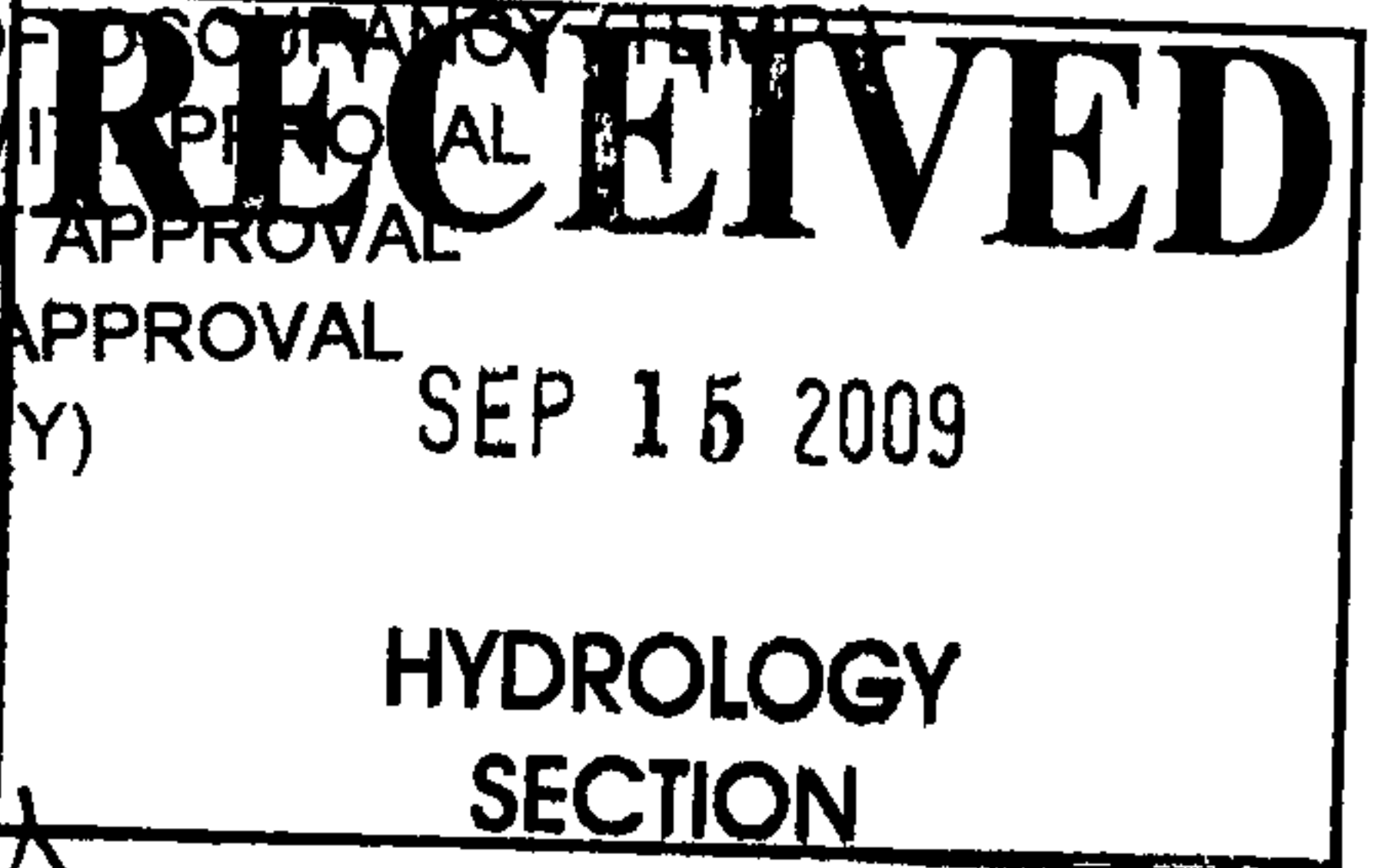
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.

2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five

(5)

acres.



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

September 10, 2009

Claudio Vigil, Registered Architect,
Claudio Vigil Architects
1801 Rio Grande Blvd NW
Albuquerque, NM 87104

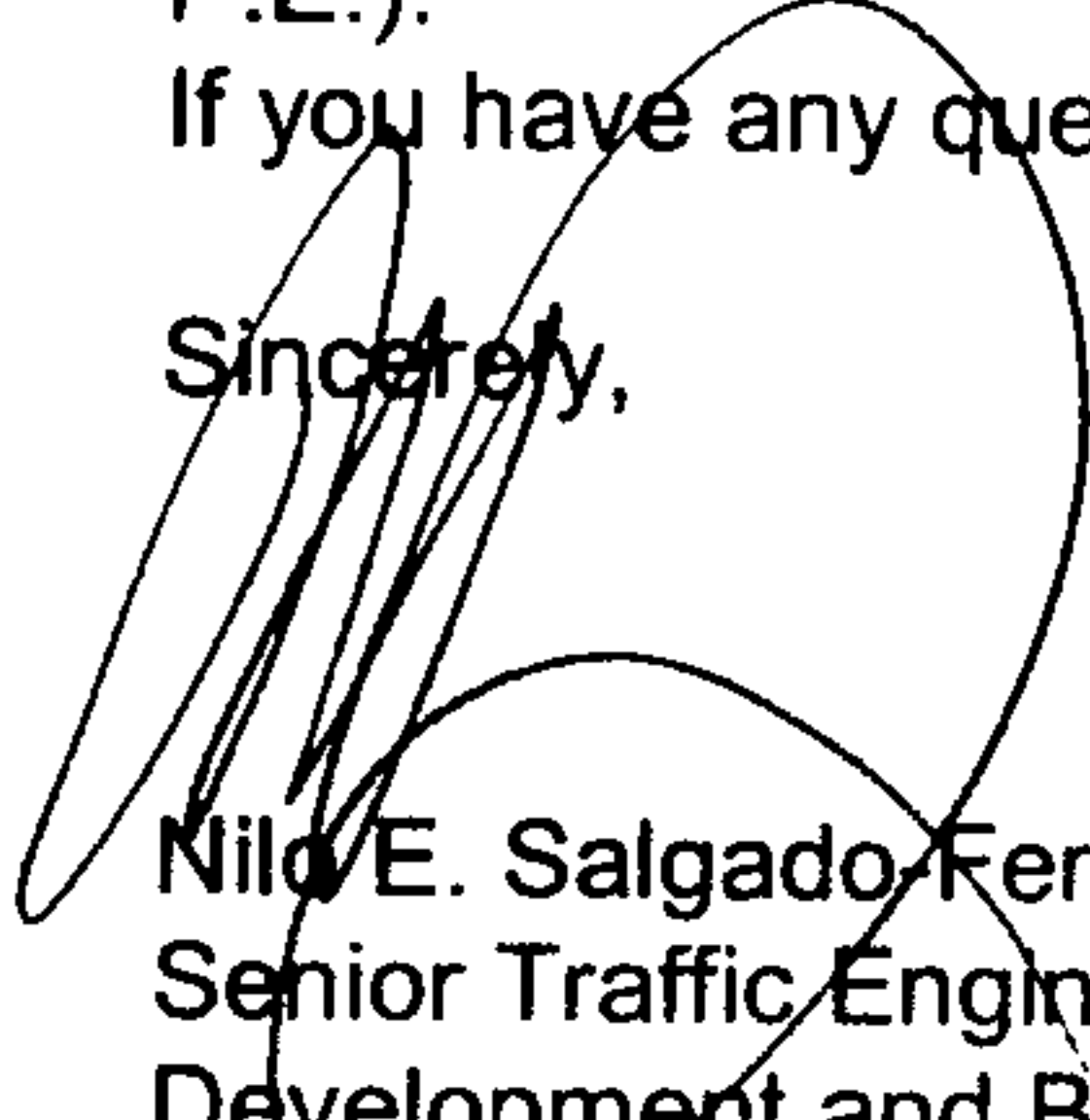
Re: Certification Submittal for Final Certificate of Occupancy (C.O.)
RDA Testing Warehouse & Offices, [K-15 / D026A]
940 Oak Street S.E.
Architect's Stamp Dated 09/09/09

Dear Mr. Vigil:

The TCL/Letter of Certification submitted on September 9, 2009 **will not be accepted** by this office for Final Certificate of Occupancy (C.O.) because an Architect cannot stamp and certify plans that was stamped and initially certified by an Engineer (Martin Garcia, P.E.).

If you have any questions, please contact me at 505-924-3630, thank you.

Sincerely,


Nilda E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file

PO Box 1293

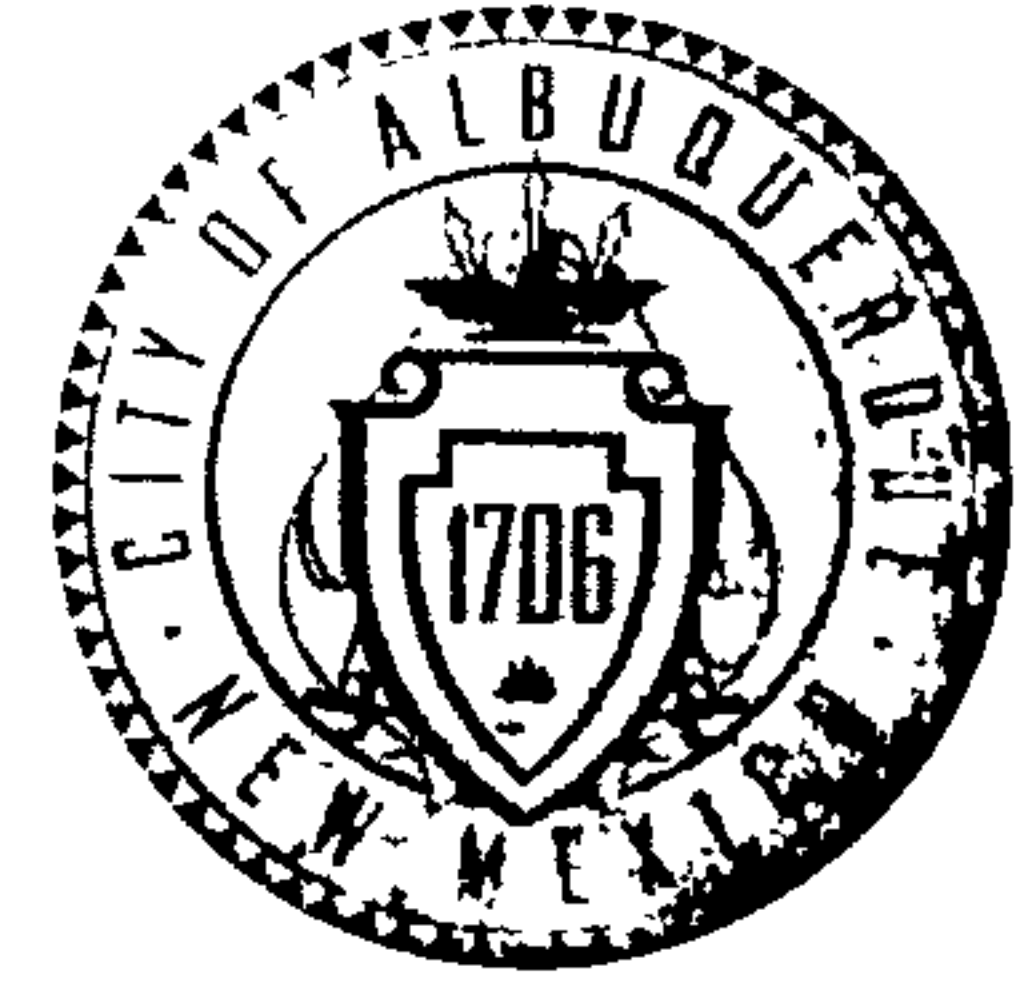
Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services



March 17, 2009

Martín Garcia, P.E.
ABQ Engineering
6739 Academy Road NE, Suite 130
Albuquerque, New Mexico 87109

RE: APS RDA Testing Warehouse – part of 915 Oak Street SE (K15 – D 026 A)
Grading and Drainage Plan for Building Permit (PE Stamped 03-16-09)

Dear Mr. Garcia:

Based upon the information provided in your submittal received 3/16/09, the above referenced Grading and Drainage Plan is approved for Building Permit.

PO Box 1293

Please attach a copy of this approved plan to the Building Permit plan sets prior to requesting sign-off by the Hydrology Section.

Albuquerque

Prior to Certificate of Occupancy approval, an Engineer's Certification of compliance with this plan is required per the DPM.

If I can be of further assistance, please feel free to contact me at 924-3981.

NM 87103

Sincerely,

www.cabq.gov

 3/17/09

Gregory R. Olson, P.E.
Hydrology Section

XC: Bradley Bingham, COA-PLN/Hydrology
➔ Drainage file: K15 – D 026 A

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: New APS Warehouse and Office
DRB #: _____ EPC#: _____

ZONE MAP/DRG. FILE #: K-15
WORK ORDER#: _____

17026A

LEGAL DESCRIPTION: Tract C-1 plat of TRS B-1 and C-1 A.P.S Central Office Addition
CITY ADDRESS: 915 Oak Street, S.E. Albuquerque, NM

ENGINEERING FIRM: ABQ Engineering
ADDRESS: 6739 Academy NE Suite 130
CITY, STATE: Albuquerque, NM

CONTACT: Martin J. Garcia
PHONE: 255-7802
ZIP CODE: 87109

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: Claudio Vigil Architects
ADDRESS: 1801 Rio Grande Blvd.
CITY, STATE: Albuquerque, NM

CONTACT: _____
PHONE: 505-842-1113
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

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- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☒ DRAINAGE PLAN RESUBMITTAL
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- ☐ EROSION CONTROL PLAN.
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

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- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☒ SECTOR PLAN APPROVAL
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- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
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- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

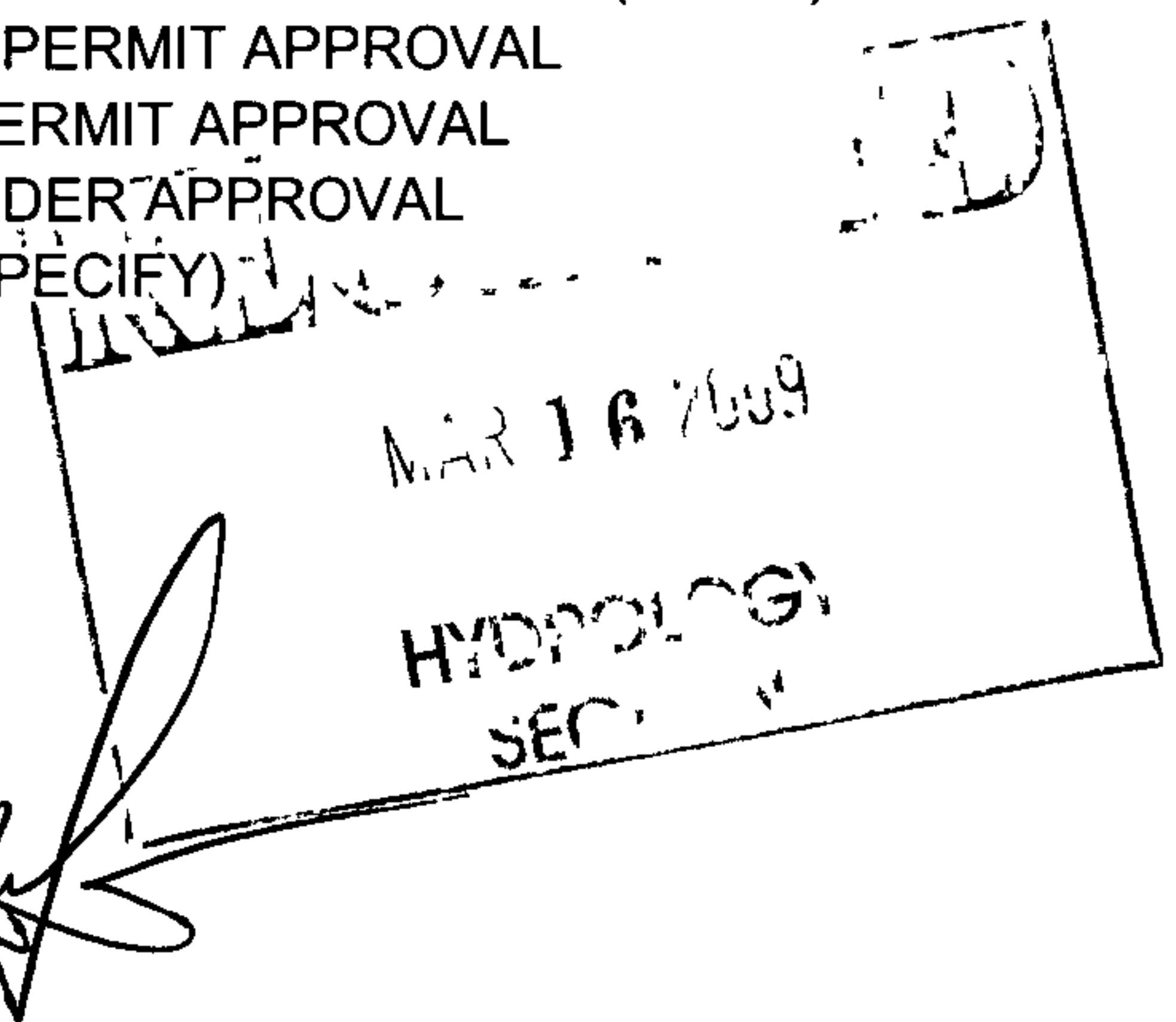
- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: March 16, 2009

BY: Nick Garcia

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



March 16, 2009

Mr. Gregory R. Olson, P.E., Planning Department
Development and Building Services, Hydrology Section
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

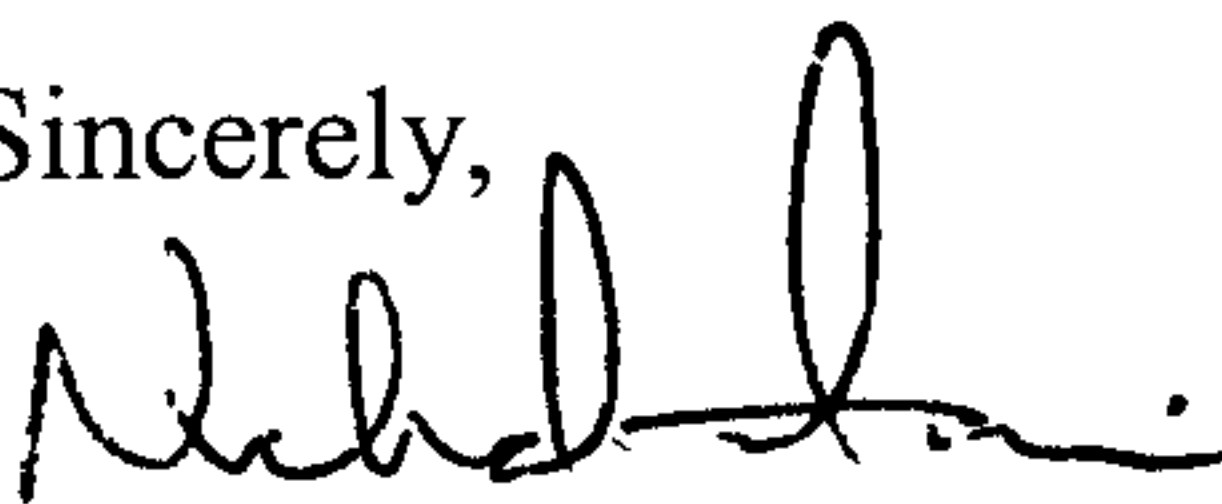
RE: New Warehouse and Office, Grading and Drainage Plan (K15-D026A)

Dear Mr. Olson,

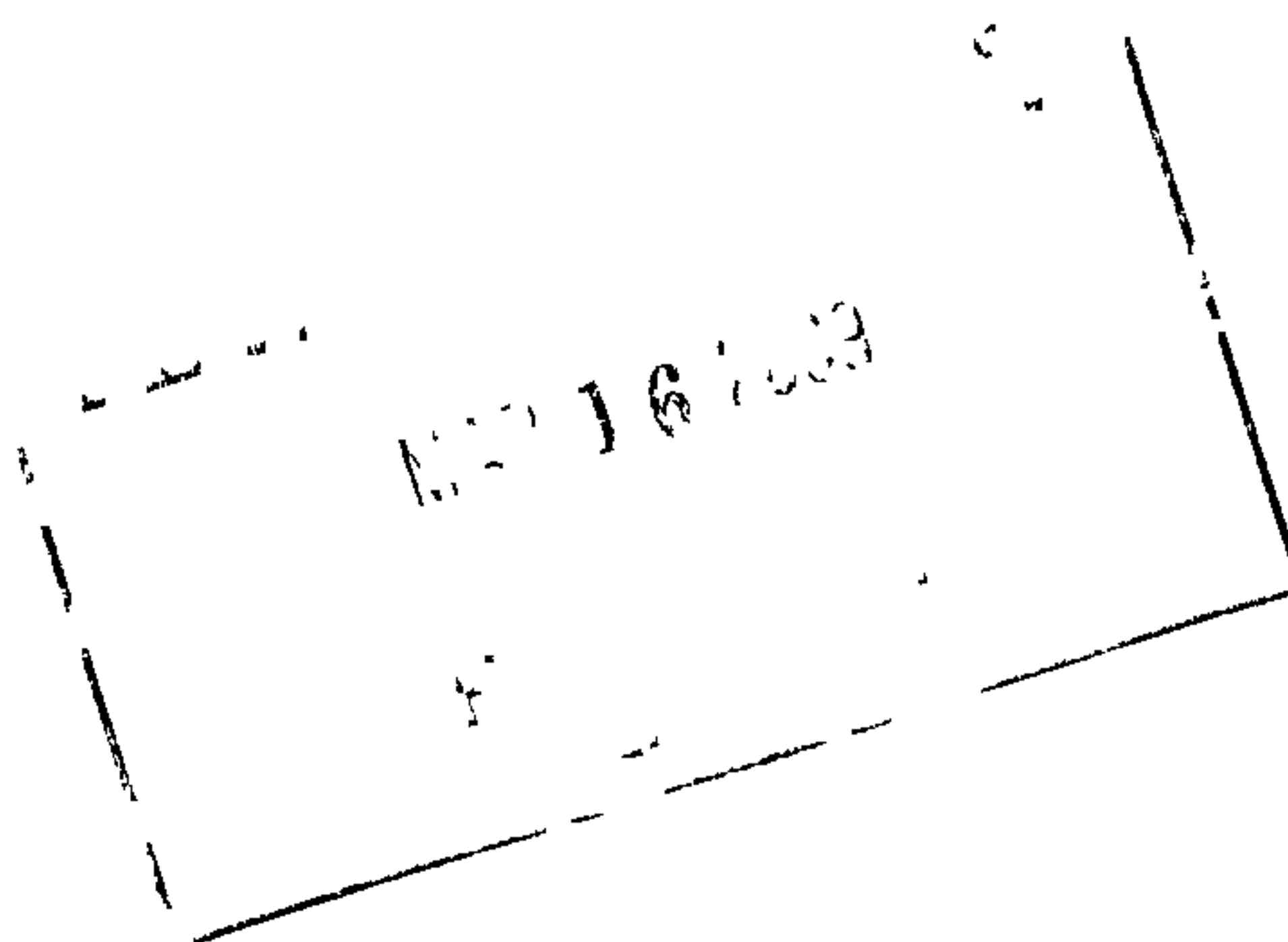
I am in receipt of your letter of denial for the grading and drainage plan dated March 11, 2009, to be submitted in conjunction with a revised plan. The comments received have been addressed as follows: the new and existing concrete slabs for the new building are more clearly depicted on the grading and drainage plan, all existing asphalt, concrete pads and dirt areas are shown, and existing spot elevations have been added to the plan for a better representation of how the existing drainage moves water from the north east to the south west. With these revisions, I believe the grading and drainage plan is ready for approval.

If you have any questions or require additional information, please call me at 255-7802.

Sincerely,



Martin J. Garcia, P.E.
Nicholas Garcia,
ABQ Engineering Inc.
28202



CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services



March 11, 2009

Martín Garcia, P.E.
ABQ Engineering
6739 Academy Road NE, Suite 130
Albuquerque, New Mexico 87109

RE: **APS RDA Testing Warehouse – part of 915 Oak Street SE (K15 – D 026 A)**
Grading and Drainage Plan for Building Permit (PE Stamped 01-13-09)

Dear Mr. Garcia:

Based upon the information provided in your submittal received on 2/11/09, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Since this building will occupy only a portion of a much larger site, clearly show (to scale) on the location map where the building will be located.
2. Show on the plan the limits of the existing concrete slab (to be removed?). Also label other existing **and proposed** conditions relating to drainage and run-off in the proximity of the building (e.g. - asphalt pavement, conc. pads, dirt parking areas, etc.).
3. The Drainage Narrative states that existing run-off flows NE to SW, yet contours on the plan appear to show flows westerly across the parking lot N of the building. Provide additional grade information on E, S and W sides of building.
4. My review of available aerial photos show the apparent concrete slab to only cover about 2/3 of the proposed building pad, and the remainder to be part of a larger, dirt parking area. Clarify existing conditions and drainage patterns, as well as proposed improvements, such as roof drainage points from the new building and drainage/surface treatments on the east side of this building. .
5. Clarify the purpose of the 4" PVC Drain line proposed near NW corner of building and provide associated grades and invert elevations.

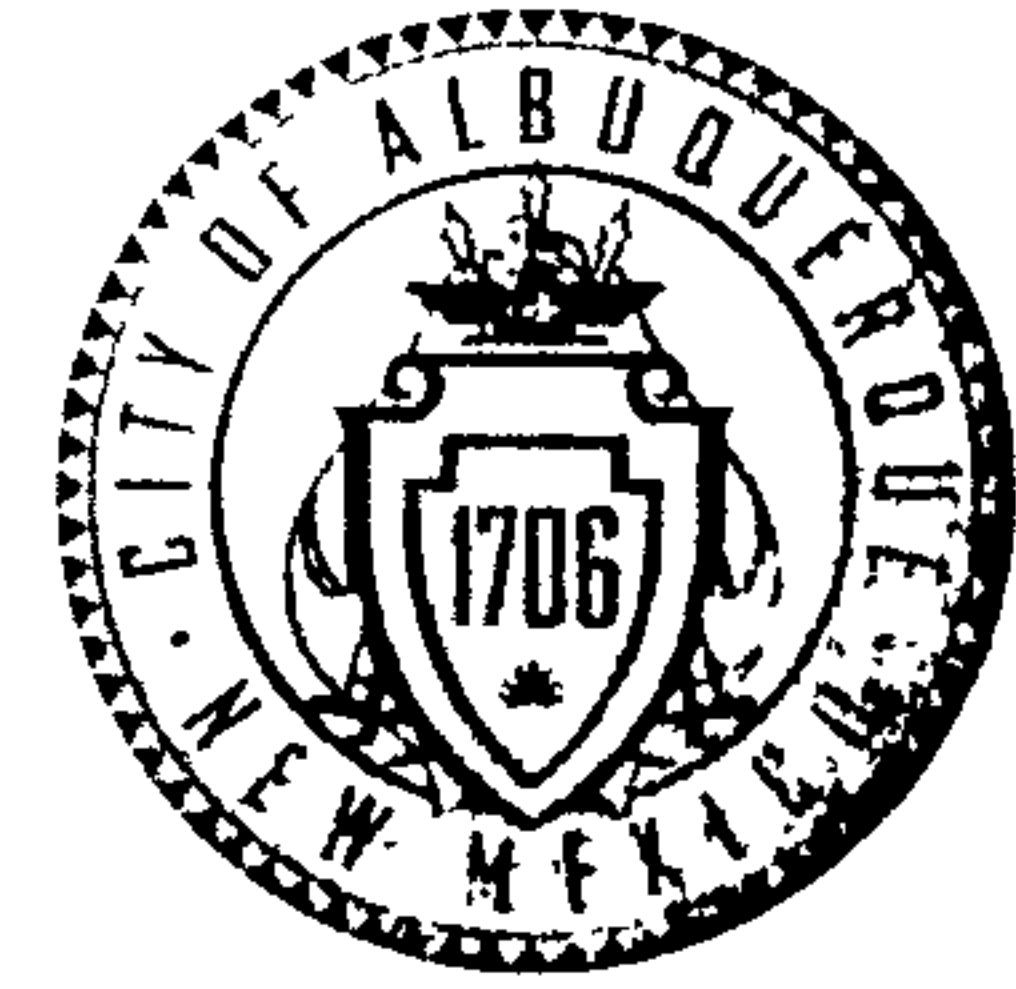
If you have any questions or would like to schedule a meeting to discuss this, you may contact me at 924-3981.

Sincerely,

Gregory R. Olson, P.E.
Hydrology Section

XC: Bradley Bingham, COA-PLN/Hydrology
file K15-D 26 A

CITY OF ALBUQUERQUE



March 13, 2009

Martin J. Garcia, P.E.
ABQ Engineering, Inc.
6739 Academy Rd NE Ste. 130
Albuquerque, NM 87109

Re: New Warehouse & Office, 915 Oak Street SE, Traffic Circulation Layout
Engineer's Stamp dated 03-04-09 (K15-D026A)

Dear Mr. Garcia,

The TCL submittal received 03-05-09 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: New APS Warehouse and Office

DRB #: _____

EPC#: _____

ZONE MAP/DRG. FILE #: K-15 / Doz 6A

WORK ORDER#: _____

LEGAL DESCRIPTION: Tract C-1 plat of TRS B-1 and C-1 A.P.S Central Office Addition

CITY ADDRESS: 915 Oak Street, S.E. Albuquerque, NM

ENGINEERING FIRM: ABQ Engineering

ADDRESS: 6739 Academy NE Suite 130

CITY, STATE: Albuquerque, NM

CONTACT: Martin J. Garcia

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ARCHITECT: Claudio Vigil Architects

ADDRESS: 1801 Rio Grande Blvd.

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PHONE: _____

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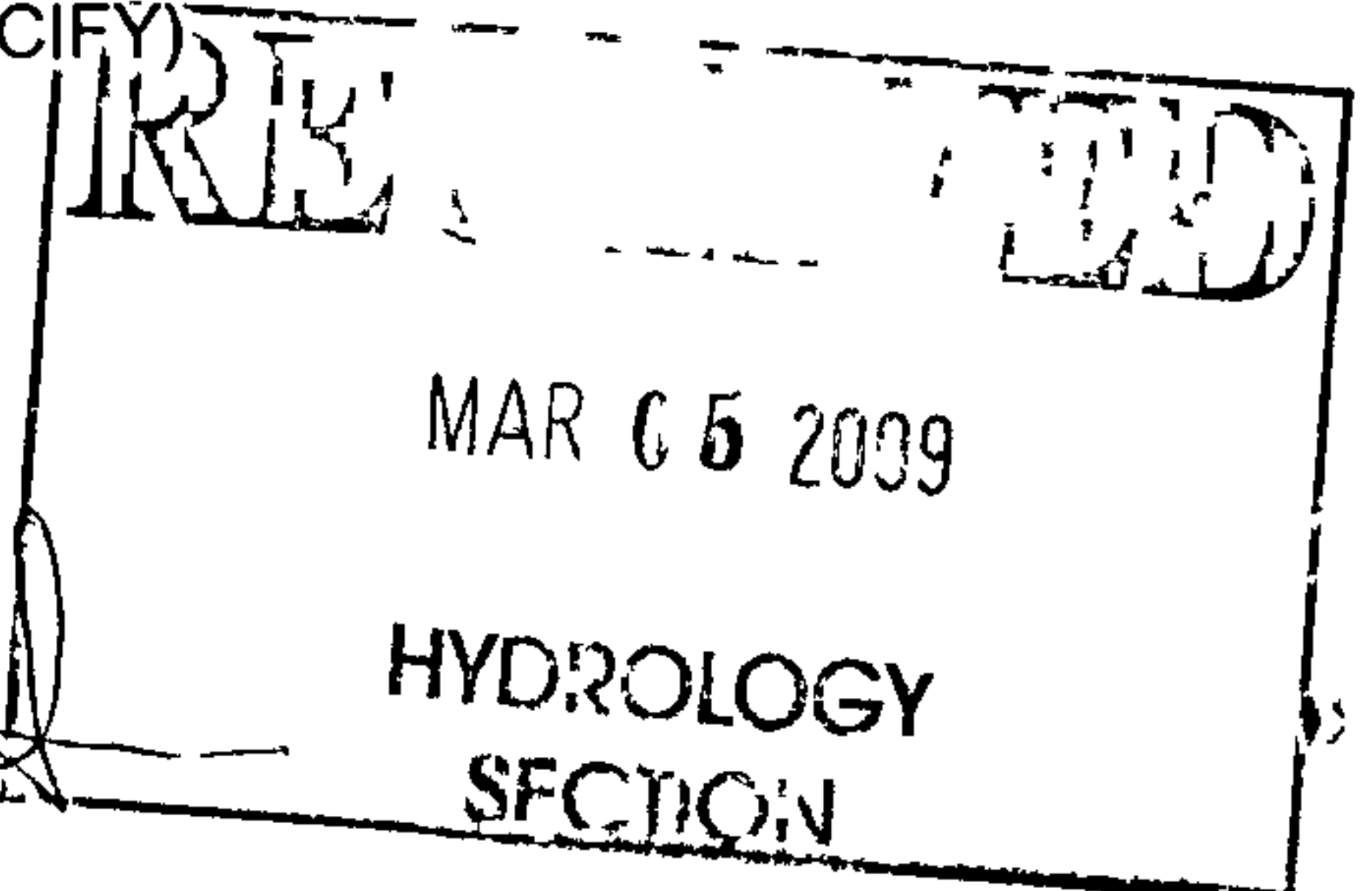
- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: March 4, 2009

BY: Nick Garcia

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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CITY OF ALBUQUERQUE



February 17, 2009

Martin J. Garcia, P.E.
ABQ Engineering, Inc.
6739 Academy Rd NE Ste. 130
Albuquerque, NM 87109

Re: New Warehouse & Office, 915 Oak Street SE, Traffic Circulation Layout
Engineer's Stamp dated 1-12-09 (K15-D026A)

Dear Mr. Garcia,

Based upon the information provided in your submittal received 2-11-09, the above referenced plan cannot be approved for Building Permit until the following comment is addressed:

PO Box 1293

- The proposed parking space located in the southwest corner of the site appears to conflict with existing parking. Please provide additional geometric information.

Albuquerque

If you have any questions, you can contact me at 924-3991.

NM 87103

Sincerely,

www.cabq.gov

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File