

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

July 27, 2020

Mike Balaskovits
7500 Jefferson St. NE
Albuquerque, NM 87109

RE: **Springhill Suites
Central Ave. and Mulberry St.
Temporary Certificate of Occupancy - Accepted
Grading and Drainage Plan Stamp Date: 11/28/18
Certification Dated: 7/21/20
Drainage File: K15D034B**

Dear Mr. Balaskovits:

PO Box 1293

Based on the submittal received on 7/22/20, this certification is approved in support of Temporary Release of Occupancy by Hydrology.

Albuquerque

If you have any questions, please contact me at 924-3986 or earmijo@cabq.gov.

NM 87103

Sincerely,

www.cabq.gov

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: _____ Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Applicant: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

Check all that Apply:

DEPARTMENT:

_____ HYDROLOGY/ DRAINAGE
_____ TRAFFIC/ TRANSPORTATION

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

_____ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY Temporary

TYPE OF SUBMITTAL:

_____ ENGINEER/ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
_____ GRADING PLAN
_____ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL

_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DATE SUBMITTED: _____ By: _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

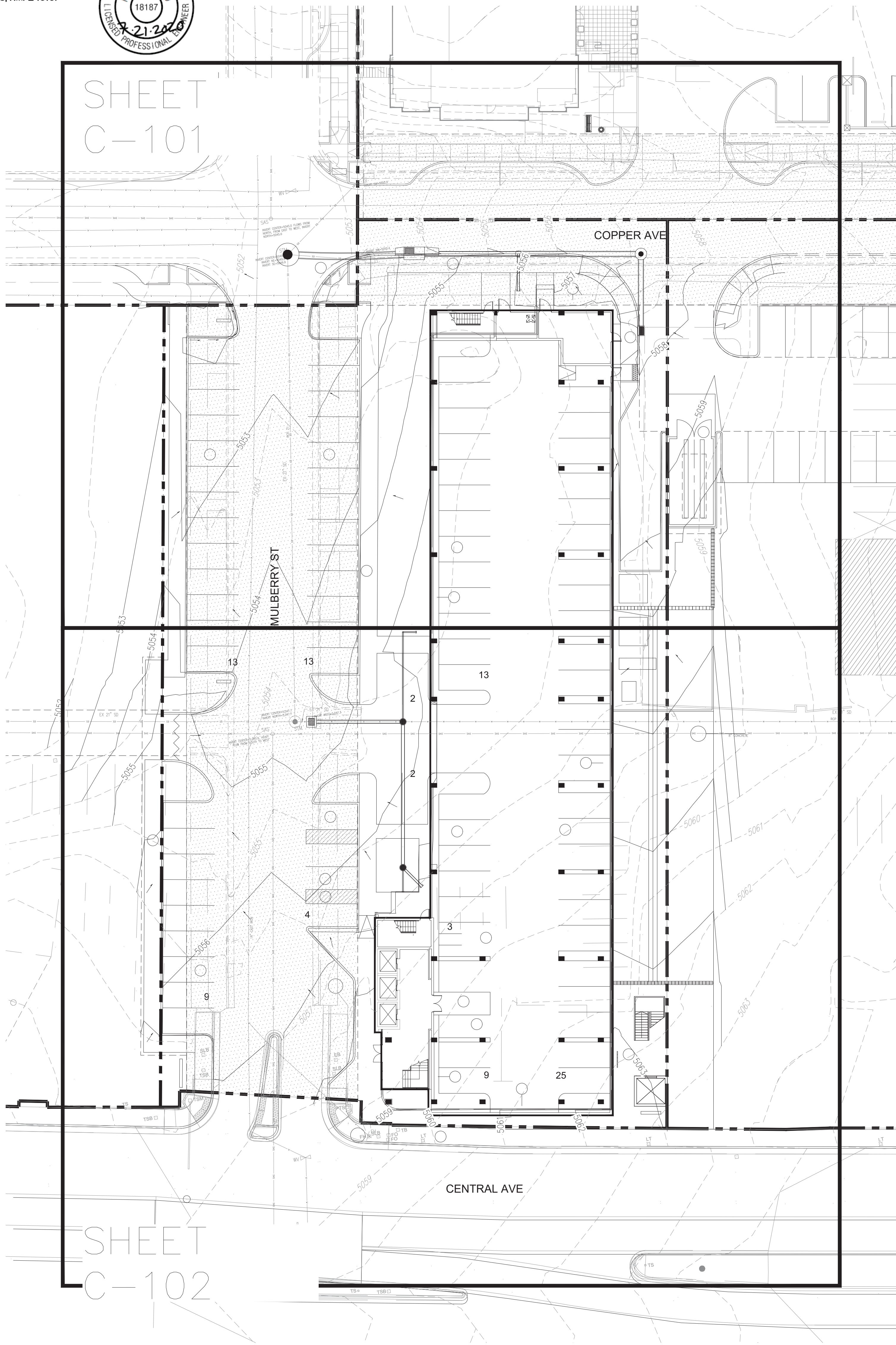
DRAINAGE CERTIFICATION

I, MICHAEL BALASKOVITS, NMPE 18187, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 11/28/2018. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JOSEPH M. SOLOMON, JR., NMPS 15075, OF THE FIRM HIGH MESA CONSULTING GROUP. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 7/21/2020 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A TEMPORARY CERTIFICATE OF OCCUPANCY.

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Michael Balaskovits
MICHAEL BALASKOVITS, NMPE 18187

7/21/2020



NOTE: NO WORK SHALL BE PERFORMED IN THE PUBLIC ROW AND PUBLIC EASEMENTS WITHOUT AN APPROVED PUBLIC WORK ORDER.

NOTE: ALL WORK SHOWN IN THE R/W AND PUBLIC EASEMENTS SHALL BE CONSTRUCTED PER COA PUBLIC WORK ORDER CPN #764783. GRADES SHOWN WITHIN THE R/W AND PUBLIC EASEMENTS ARE FOR REFERENCE ONLY. IF PROPOSED GRADES IN R/W DIFFER FROM ON-SITE GRADES SHOWN, CONTACT ENGINEER IMMEDIATELY.

GENERAL SHEET NOTES

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE. COA PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS, INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, DRIVEWAY PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE TRAFFIC ENGINEERING DEPARTMENT PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
14. THE PROJECT MUST CONFORM WITH THE EROSION AND SEDIMENT REQUIREMENTS OF THE 2003 EPA CONSTRUCTION GENERAL PERMIT OR LOCAL STANDARDS & CODES WHICHEVER IS MORE STRINGENT.

GRADING SHEET NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE COA STANDARD SPECIFICATIONS FOR PUBLIC WORKS.
4. EARTH SLOPES SHALL NOT EXCEED 5 HORIZONTAL TO 1 VERTICAL PER THE GEOTECHNICAL REPORT UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK/DISTURBANCE OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.
11. SIDEWALK CROSS-SLOPES SHALL BE AT A MINIMUM OF 1.0% AND A MAXIMUM OF 2.0%.
12. HOPE PIPE AND FITTINGS SHALL BE INSTALLED AND BACKFILLED PER MANUFACTURER SPECIFICATIONS. CONNECTIONS TO CONCRETE MANHOLES AND CONCRETE DROP INLETS SHALL USE WATER STOP GASKETS AND SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.



ARCHITECT
5G Studio Collaborative, LLC.,
1217 Main Street
Dallas, TX 75202
(214-670-0050) Christine Robbins-Elrod)

CIVIL ENGINEER
Bohannon Huston
7500 Jefferson Street NE
Albuquerque, New Mexico 87109
(505-858-1000) Mike Balaskovits)

LANDSCAPE
Heads Up Landscaping
7525 Second Street NW
Albuquerque, New Mexico 87107
(505-858-9815, John Bray)

STRUCTURAL ENGINEER
MK Engineers and Associates, Inc
400 Chisholm Place, Suite 106
Plano, TX 75075
(214-501-5554) Mohammad Kabir)

MEP ENGINEER
MEP Systems Design & Engineering, Inc.
918 Dragon Street, Suite 500
Dallas, TX 75207
(214-515-0929) Mark Portnoy)

INTERIOR DESIGNER
IRC, LLC
2360 Tower Drive, Suite 101
Monroe, LA 71201
(516-852-7708) Colby Weaver Walker)

OWNER/DEVELOPER
Titan Development
6300 Riverside Plaza Lane NW, Ste 200
Albuquerque, New Mexico 87120
(505-858-0163) Josh Rogers)

OPERATOR
Intermountain Management, LLC
2390 Tower Drive
Monroe, Louisiana 71201
(516-852-7125) Dave Raymond)

DATE	ISSUE TITLE
01/12/18	ISSUE FOR DESIGN DEVELOPMENT
04/27/18	ISSUE FOR PERMIT
06/08/18	ISSUE FOR MARIOTT'S 90% SET

REV.	DATE	ISSUE TITLE
1	08/18/18	CITY PERMIT REVIEW
2	08/27/18	CITY PERMIT REVIEW
3	08/31/18	ISSUE FOR CONSTRUCTION

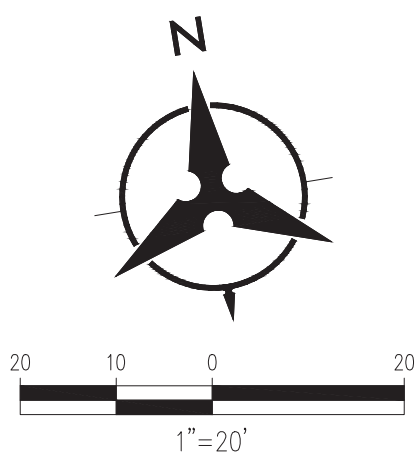


SPRINGHILL SUITES - ALBUQUERQUE
CENTRAL AVE. & MULBERRY ST.
ALBUQUERQUE, NM 87106

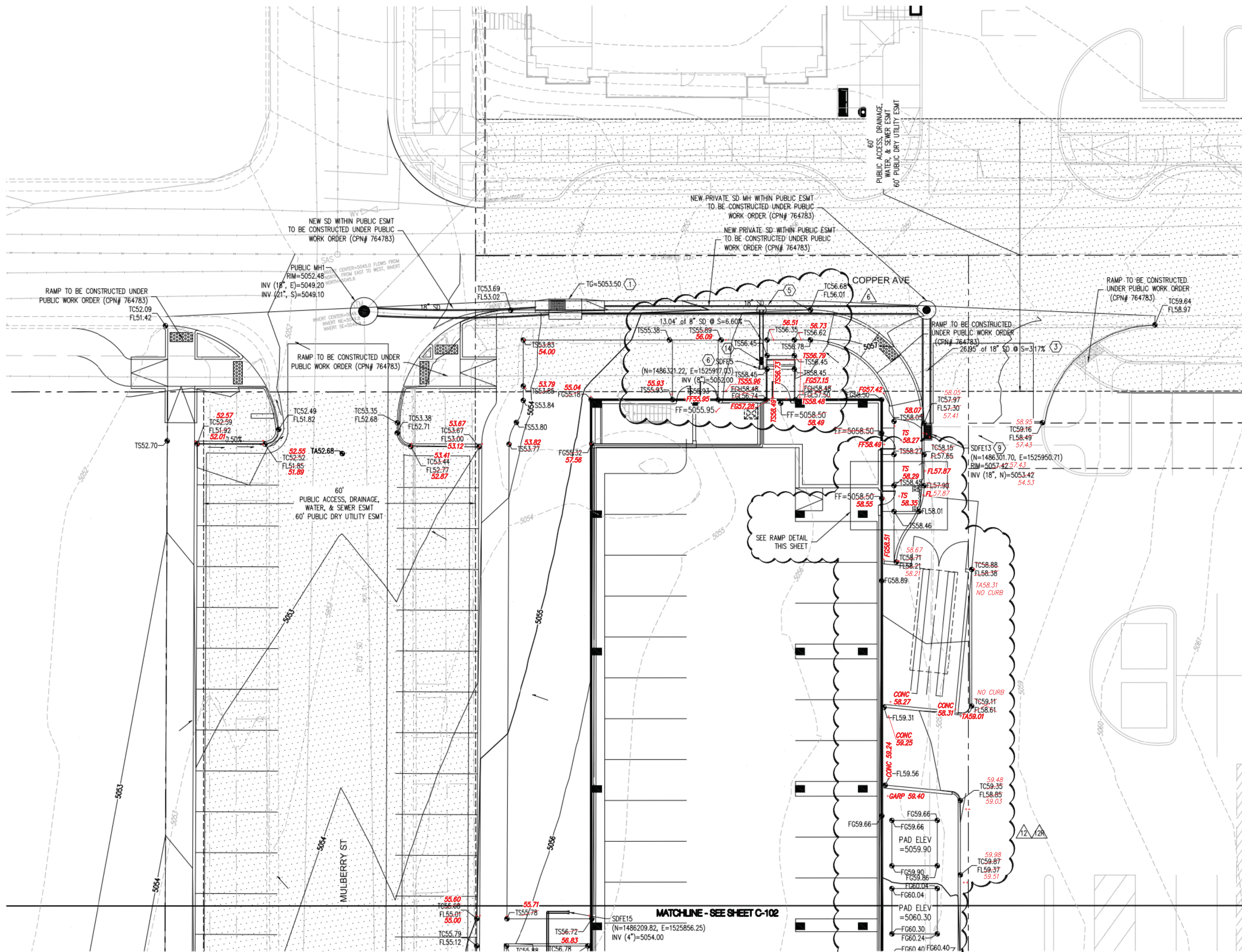
OVERALL GRADING &
DRAINAGE PLAN

IMM012
PROJECT NUMBER

C-100
SHEET NUMBER

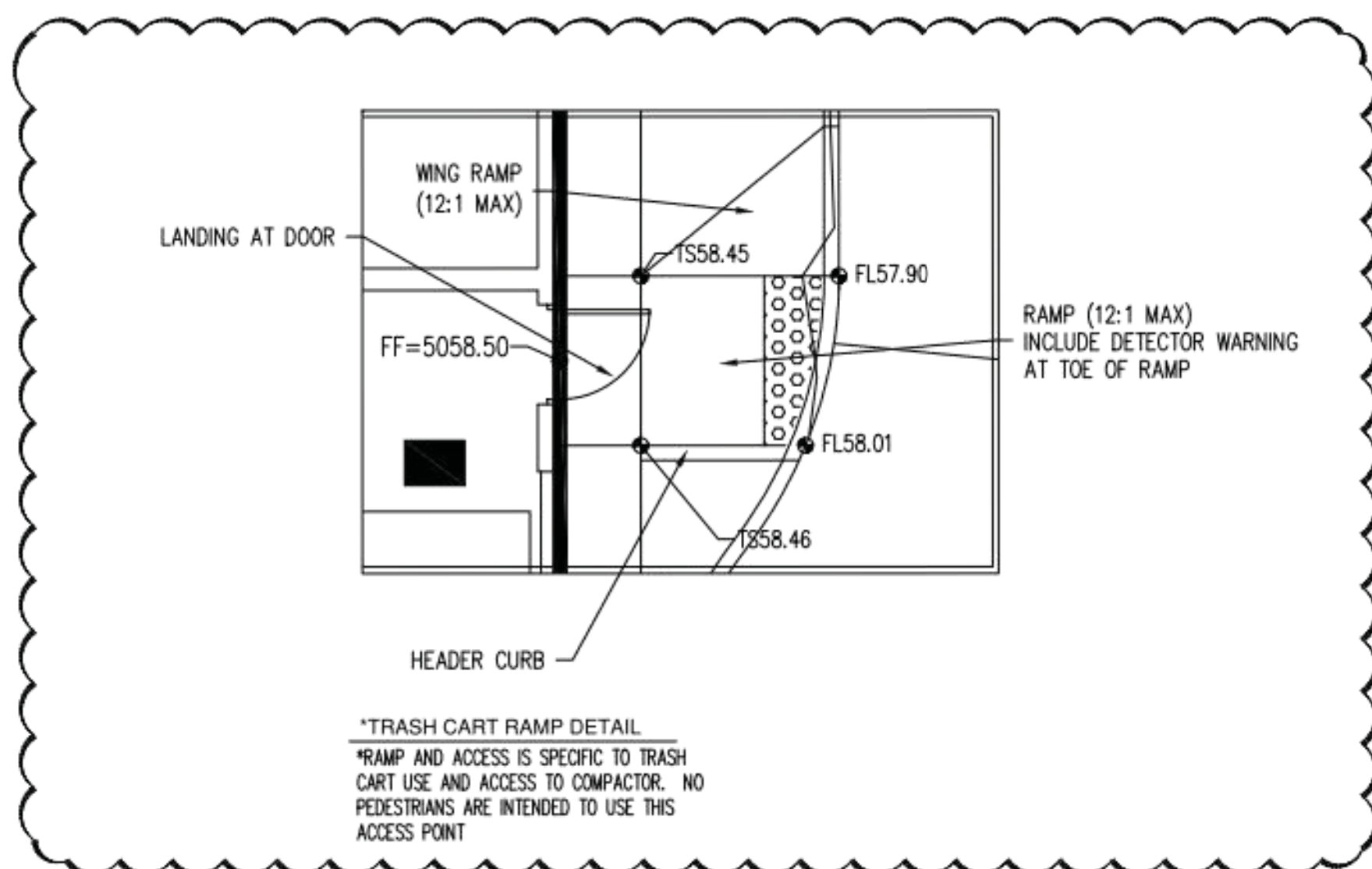


Bohannon & Huston
www.bhinc.com 800.877.5332



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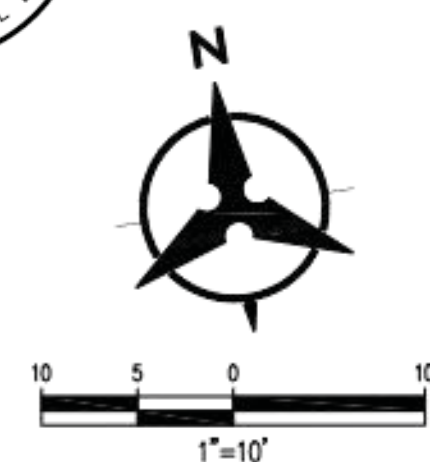


DRAINAGE CERTIFICATION

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Michael Balaskovits
MICHAEL BALASKOVITS, NMPE 18187
7/21/2020



GRADING KEYNOTES

1. PUBLIC SINGLE GRATE TYPE 'A' INLET. SEE PUBLIC WORK ORDER (CPN # 764783). GRATE ELEVATION FOR REFERENCE ONLY.
2. PUBLIC TYPE 'D' INLET. SEE PUBLIC WORK ORDER (CPN #764783). GRATE ELEVATION FOR REFERENCE ONLY.
3. INSTALL HDPE (12\"

AS-BUILT LEGEND

- GARP GRADED AREA ELEVATION
TA TOP OF ASPHALT
✓ AS-CONSTRUCTED = AS-DESIGNED (VERIFIED BY AS-BUILT SURVEY)
+25.2 RECORD INFORMATION FROM AS-BUILT SURVEY
28.98/92 RECORD INFORMATION FROM AS-BUILT SURVEY
- DATE OF SURVEY: JULY 14, 2020

SURVEYOR'S CERTIFICATION

I, Joseph M. Solomon, Jr., a duly qualified Licensed Professional Surveyor under the laws of the State of New Mexico, do hereby certify; that the "as-built" information shown on these drawings was obtained from field construction and "as-built" surveys performed by me or under my supervision; that the "as-built" information shown on these drawings was added by me or under my supervision; and that this "as-built" information is true and correct to the best of my knowledge and belief. I am not responsible for any of the design concepts, calculations, engineering, or intent of the record drawings.

Joseph M. Solomon, Jr.
JOSEPH M. SOLOMON, JR.
NMPS NO. 15075



July 20, 2020
DATE

GRADING LEGEND

- | | |
|--|------------------------------|
| --- PROPERTY LINE | PROPOSED CURB & GUTTER |
| --- PROJECT LIMITS OF GRADING | DIRECTION OF FLOW |
| --- EXISTING INDEX CONTOUR | WATER BLOCK/GRADE BREAK |
| --- EXISTING INTERMEDIATE CONTOUR | PROPOSED STORM DRAIN LINE |
| 5025.25 EXISTING GROUND SPOT ELEVATION | PROPOSED STORM DRAIN MANHOLE |
| 5025 PROPOSED INDEX CONTOUR | PROPOSED STORM DRAIN INLETS |
| 5024 PROPOSED INTERMEDIATE CONTOUR | PROPOSED RETAINING WALL |
| 26.75 PROPOSED FINISHED GRADE SPOT ELEVATION | EASEMENT |
| TC=TOP OF CURB, FL=FLOW LINE, TS=TOP OF SIDEWALK, TG=TOP OF GRADE, FGH=FINISH GROUND HIGH, FGL=FINISH GROUND LOW | |

DATE	ISSUE TITLE
01/12/18	ISSUE FOR DESIGN DEVELOPMENT
04/23/18	ISSUE FOR PERMIT REVIEW
08/08/18	ISSUE FOR MAINTENANCE SET

REV.	DATE	ISSUE TITLE
1	06/18/18	CITY PERMIT REVIEW
2	08/27/18	CITY PERMIT REVIEW
3	08/31/18	ISSUE FOR CONSTRUCTION
6	03/04/19	ASI 03
12	12/20/19	ASI 12
12R	01/09/20	ASI 12R

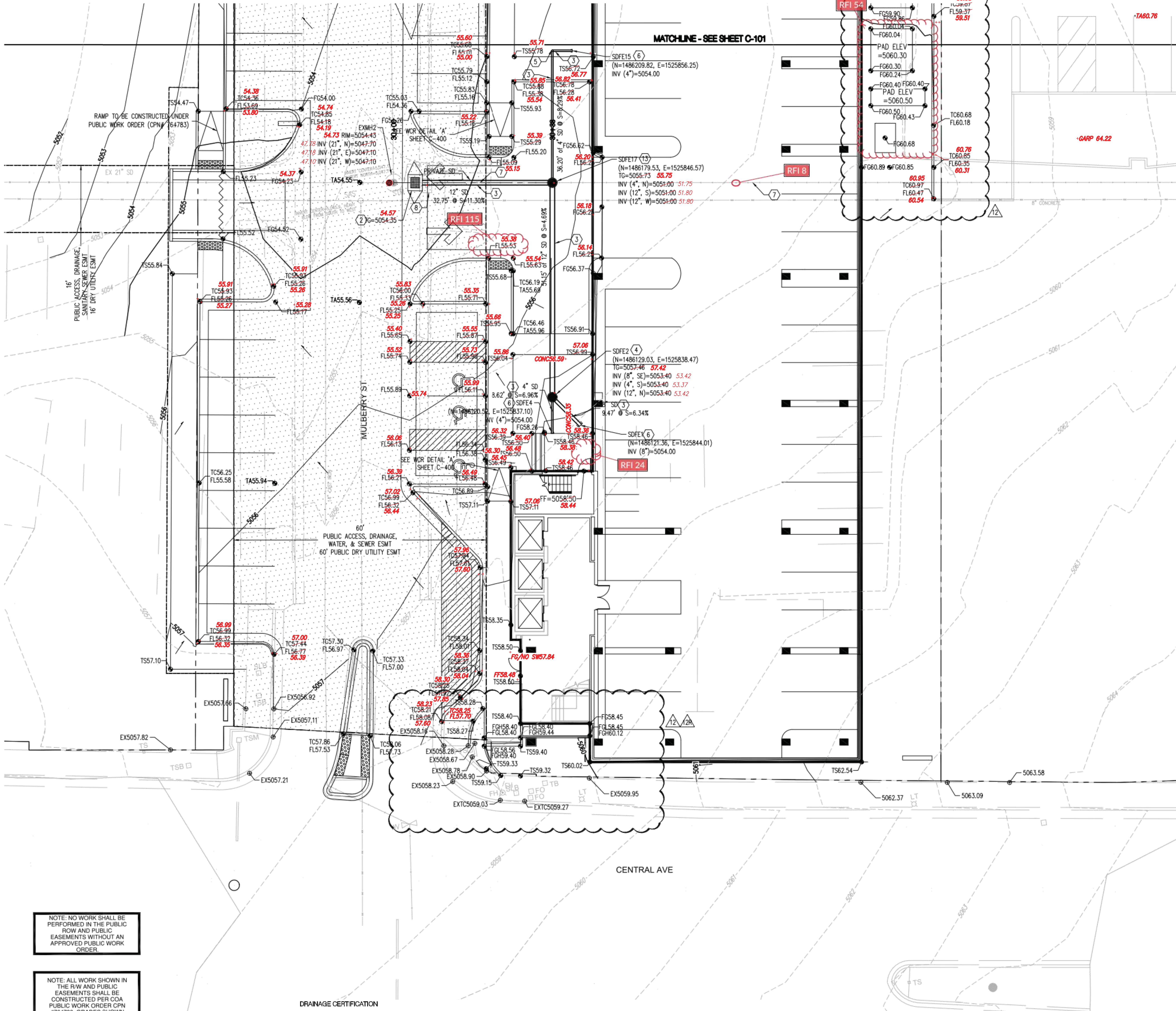


SPRINGHILL SUITES - ALBUQUERQUE
CENTRAL AVE. & MULBERRY ST.
ALBUQUERQUE, NM 87106

GRADING &
DRAINAGE PLAN

C-101
PROJECT NUMBER SHEET NUMBER

Bohannon & Huston
www.bhinc.com 800.877.5332



GRADING KEYNOTES

- PUBLIC SINGLE GRATE TYPE 'A' INLET. SEE PUBLIC WORK ORDER (CPN # 764783), GRATE ELEVATION FOR REFERENCE ONLY.
- PUBLIC TYPE 'D' INLET. SEE PUBLIC WORK ORDER (CPN #764783), GRATE ELEVATION FOR REFERENCE ONLY.
- INSTALL HDPE (N12WT, OR APPROVED EQUAL) STORM DRAIN PIPE (SIZE PER PLAN).
- INSTALL 18\"/>
- INSTALL PRE-FABRICATED STORM DRAIN FITTING.
- STUB PROPOSED ROOF DRAIN CONNECTIONS WITHIN 5' OF THE BUILDING. SEE PLUMBING PLANS FOR CONTINUATION. CONTRACTOR TO PROVIDE APPROPRIATE FITTINGS.
- REMOVE EXISTING STORM DRAIN.
- EXISTING STORM DRAIN INLET TO BE REMOVED. SEE PUBLIC WORK ORDER (CPN # 764783).
- INSTALL 18\"/>
- INSTALL HDPE (N12WT, OR APPROVED EQUAL) STORM DRAIN REDUCER FITTING (SIZE PER PLAN).
- INSTALL 6\"/>
- INSTALL 30\"/>
- INSTALL DOUBLE CLEANOUT. SEE DETAIL A2 ON SHEET C-409.

AS-BUILT LEGEND

- GARP GRADED AREA ELEVATION
TA TOP OF ASPHALT
✓ AS-CONSTRUCTED = AS-DESIGNED (VERIFIED BY AS-BUILT SURVEY)
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DATE OF SURVEY: JULY 14, 2020

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Joseph M. Solomon, Jr.
JOSEPH M. SOLOMON, JR.
NMPS NO. 15075



July 20, 2020
DATE

GRADING LEGEND

- PROPERTY LINE
PROJECT LIMITS OF GRADING
EXISTING INDEX CONTOUR
EXISTING INTERMEDIATE CONTOUR
EXISTING GROUND SPOT ELEVATION
PROPOSED INDEX CONTOUR
PROPOSED INTERMEDIATE CONTOUR
PROPOSED FINISHED GRADE SPOT ELEVATION
TO-TOP OF CURB, FL-FLOW LINE, TS-TOP OF SIDEWALK
TO-TOP OF GRATE, FGL-FINISH GROUND LOW
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DIRECTION OF FLOW
WATER BLOCK/GRADE BREAK
PROPOSED STORM DRAIN LINE
PROPOSED STORM DRAIN MANHOLE
PROPOSED STORM DRAIN INLETS
PROPOSED RETAINING WALL
EASEMENT

DATE	ISSUE TITLE
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04/23/18	ISSUE FOR PERMIT
06/08/18	ISSUE FOR MARKBERRY'S 30% SET

REV.	DATE	ISSUE TITLE
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2	08/27/18	CITY PERMIT REVIEW
3	08/31/18	ISSUE FOR CONSTRUCTION
12	12/20/19	ASI 12
12R	01/09/20	ASI 12R



SPRINGHILL SUITES - ALBUQUERQUE
CENTRAL AVE. & MULBERRY ST.
ALBUQUERQUE, NM 87102

GRADING &
DRAINAGE PLAN

C-102

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Michael Balaskovits
MICHAEL BALASKOVITS, NMPE 18187

7/21/2020

