

# CITY OF ALBUQUERQUE



February 13, 2018

Mike Balaskovits, PE  
Bohannon Huston, Inc.  
7500 Jefferson St NE  
Albuquerque, NM 87109

**RE: Broadstone Highlands Hotel Block  
Conceptual Grading and Drainage Plan  
Engineer's Stamp Date: 2/12/18  
Hydrology File: K15D034B**

Dear Mr. Balaskovits:

Based on the information provided in the submittal received on 2/12/18 the above-referenced Conceptual Grading and Drainage Plan is approved for Site Plan for Building Permit.

PO Box 1293

Prior to Building Permit a detailed Grading and Drainage Plan will be required. This plan will need to callout the two inlet replacements as private infrastructure (not public); additional comments can also be reasonably expected.

Albuquerque

If you have any questions, please contact me at 924-3695 or [dpeterson@cabq.gov](mailto:dpeterson@cabq.gov).

NM 87103

Sincerely,

[www.cabq.gov](http://www.cabq.gov)

Dana M. Peterson  
Senior Engineer, Planning Dept.  
Development Review Services

Courtyard I  
7500 Jefferson St. NE  
Albuquerque, NM  
87109-4335  
**www.bhinc.com**  
**voice:** 505.823.1000  
**facsimile:** 505.798.7988  
**toll free:** 800.877.5332

## CLIENT/COURIER TRANSMITTAL

**To:** Dana Peterson  
City of Albuquerque  
600 2nd St. NW  
Albuquerque, NM 87102

**Requested by:** Michael Balaskovits

**Date:** February 12, 2018

**Time Due:** ☐ This A.M.  
☒ This P.M.  
☐ Rush  
☐ By Tomorrow \_\_\_\_\_

**Phone:** (505) 924-3880

**Job No.:** 20160155

**Job Name:** Highlands Hotel

### DELIVERY VIA

☒ **Courier** ☐ **Federal Express**  
☐ **Mail** ☐ **UPS**  
☐ **Other**

### PICK UP

**Item:** \_\_\_\_\_

<u>ITEM NO.</u>	<u>QUANTITY</u>	<u>DESCRIPTION</u>
1	1	Drainage Info Sheet
2	1	Comment Response Letter
3	1	Conceptual Grading & Drainage Plan

### COMMENTS / INSTRUCTIONS

Dana,

Please find attached the Conceptual Grading & Drainage plan for the Highlands Hotel. We are requesting Hydrology approval in support of Site Plan for Building Permit Approval.  
Let me if you have any questions.

Thanks,  
Mike

**REC'D BY:** \_\_\_\_\_ **DATE:** \_\_\_\_\_ **TIME:** \_\_\_\_\_



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **City Drainage #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Architect:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- ☐ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

**TYPE OF SUBMITTAL:**

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

February 12, 2018

Mr. Dana M. Peterson, PE  
City of Albuquerque  
Planning Department  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87103

Re: Highlands Hotel / Hydrology File K15D034B

Dear Mr. Peterson:

Enclosed for your review and comment is a re-submittal of the Highlands Hotel Conceptual Grading & Drainage Plan. Please see the responses to your comments dated 02/12/18 below:

1. At the intersection of vacated Mulberry and the alley, provide a clearly defined waterblock, 1' high, to prevent flows from leaving Mulberry and flowing west down the alley.

*Response: A water block will be provided at the intersection of Mulberry and the alley to prevent flows from heading west into the alley.*

2. Clarify the work to be performed on the public and private storm drain at the intersection of vacated Mulberry and the alley. Currently there is a public manhole in the street and a public type-D inlet in the flowline. Will the manhole be replaced with a new inlet, with the street graded towards it? The new inlet does not appear to be placed where it will intercept flows.

*Response: The existing public manhole and public type-D inlet along the flowline which are currently there today are intended to remain. The inlet will be replaced in the same location with a new type-D inlet.*

3. Provide additional flowline elevations at the intersection of vacated Mulberry and Central. Is there anything here to keep flows from entering your site from Central?

*Response: Additional flowline elevations have been added along Mulberry and Central. No water block was provided with the construction of the returns with the ART project. The existing flow today heads north onto Mulberry.*

4. Provide a copy of the recorded easement for the 21" public storm drain passing under the hotel. The original recorded easement will also need to be turned into DRC-Construction Services (Madeline Carruthers, 4<sup>th</sup> floor, Plaza del Sol) prior to any DRB action.

*Response: The 21" public storm drain easement has not yet been recorded due to previous discussions regarding the consolidation of the parcels and the 21" storm drain no longer accepting public drainage. The easement has been prepared and signed and if the project went away, the easement will then be recorded.*

We are requesting Hydrology Approval in support of Site Plan for Building Permit approval. Please feel free to contact me at 823-1000 with questions or comments.

Sincerely,



Mike Balaskovits, PE  
Vice President  
Community Development and Planning

MJB/egn  
Enclosure



