



July 28, 2020

Mike Balaskovits, PE
Bohannon Huston Inc.
7500 Jefferson St. NE
Albuquerque, NM 87109

**Re: Highlands Hotel (Spring Hill Suites)
Central Ave & Mulberry St., 87106
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection**
Engineer's/Architect's Stamp dated 4-23-20 (AA) (K15D034B)
Certification dated 7-23-20

Dear Mr. Balaskovits,

Based upon the information provided in your submittal received 7-24-20, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

Albuquerque

NM 87103

www.cabq.gov

- Please attach easement for sidewalk relocation.
- Please add bike rack
- Please remove construction debris and equipment from parking under hotel.
- Please fill gaps on brick pavers.
- Please correct traffic signal box to be flush with brick pavers.

Once corrections are complete resubmit

1. The approved and stamped Administrative Amendment with changes drawn in red.
2. Transportation Certification letter on either the plan or applicants letterhead.
3. A Drainage Transportation Information Sheet (DTIS)
4. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
5. The \$75 re-submittal fee for log in and evaluation by Transportation.

CITY OF ALBUQUERQUE



If you have any questions, please contact me at (505) 924-3981.

Sincerely,

A handwritten signature in blue ink, appearing to be "Ernie Gomez", is written over a large, faint watermark of the city seal.

Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

ADMINISTRATIVE AMENDMENT

FILE # ^{SI-2019} -00371 **PROJECT #** ^{PR-2019} -003078

Re-locate trash enclosure, revised
landscape plan, and signage details.

RBrito Digitally signed by RBrito
DN: cn=RBrito, o=CABQ Planning Dept,
ou=JDRD, email=rbrito@cabq.gov, c=US
Date: 2020.04.23 16:51:25 -0600 **23 Apr 2020**

APPROVED BY **DATE**

I, MICHAEL J. BALASKOVITS, NMPE 18187, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THE TRAFFIC AND PEDESTRIAN RELATED IMPROVEMENTS HAVE BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED SITE PLAN AMENDMENT DATED 4/23/2020. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 07/21/2020 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SITE INFORMATION SHOWN ON THIS DRAWING IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A TEMPORARY CERTIFICATE OF OCCUPANCY.

PRIOR TO PERMANENT CERTIFICATE OF OCCUPANCY, THE FOLLOWING ITEMS NEED TO BE ADDRESSED/COMPLETED

1. BRICK PAVERS ALONG CENTRAL AND MULBERRY AT THE SOUTHWEST CORNER OF MULBERRY AND CENTRAL TO BE COMPLETED AS PART OF THE PUBLIC WORK ORDER # 764783
2. TWO PARKING STRIPES AT THE SOUTHERN EDGE OF THE PODIUM PARKING LOT NEED TO BE COMPLETED.
3. BIKE RACK LOCATED AT THE SOUTHWEST CORNER OF THE BUILDING
4. RECORDING OF THE PUBLIC ACCESS EASEMENT TO ACCOMMODATE REALIGNED SIDEWALK.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

MICHAEL J. BALASKOVITS, NMPE 18187 DATE



LEGEND

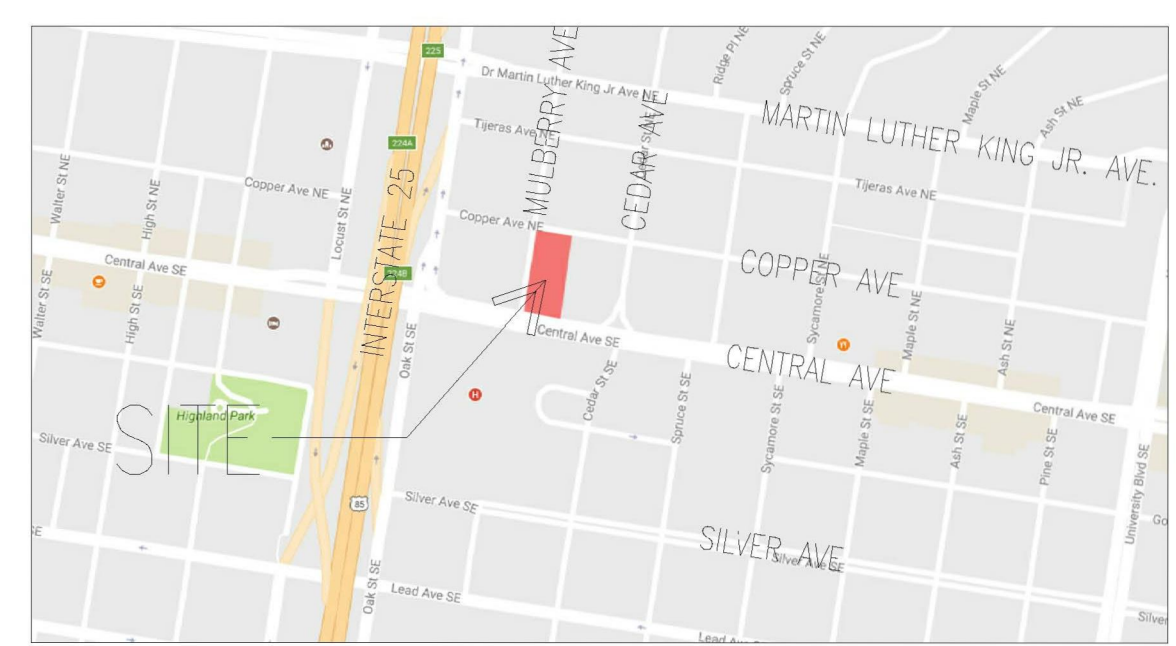
- DENOTES PROPERTY LINE
- ① BUILDING NUMBER
- TYPE 2 BUILDING TYPE
- Ⓜ DENOTES ACCESSIBLE PARKING AND ANSI TYPE 'A' DWELLING UNIT
- T DENOTES TRANSFORMER LOCATION
- Ⓜ DENOTES WATER METER LOCATION
- Ⓜ FIRE HYDRANT

LIGHTING LEGEND

- LED POLE LIGHT, +15' T.O.F. TYPE AS SHOWN ON PLAN.
- LED POST TOP LIGHT, +15' T.O.F. OR UNLESS NOTED OTHERWISE ON PLAN. TYPE AS SHOWN ON PLAN.
- LED CARPORT LIGHT. TYPE 'CP'.
- Ⓜ LED WALL MINI WALL PACK, +10' B.O.F. TYPE 'WP'.
- Ⓜ LED WALL SCONCE, DECORATIVE, +6' B.O.F. TYPE 'WS'.

GENERAL NOTES

1. THE PROPOSED BUILDING TYPE IS A FLEX BUILDING, PER THE FLEX BUILDING REQUIREMENTS, THE MARRIOTT SPRINGHILL SUITES WILL BE A STANDARD RECTANGULAR URBAN BUILDING FORM, AND ACCESS TO THE LEVELS ABOVE THE STRUCTURED PARKING WILL BE PROVIDED VIA A GROUND FLOOR LOBBY WITH DIRECT ACCESS TO THE STREET. PARKING WILL BE LOCATED UNDER THE PRINCIPAL BUILDING AND IN A COMMON ON-STREET PARKING AREA. THE GROUND LEVEL FRONTAGE FOR THE BUILDING'S GROUND FLOOR LOBBY WILL BE GLASS STOREFRONT. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER WITH DRC APPROVED PLANS.
2. PREVIOUS BUILDINGS WILL BE DEMOLISHED. ALL EXISTING DOORS, STRUCTURES, SIDEWALKS, CURBS, DRIVE PADS, WALL AND ANYTHING THAT INFLUENCES THE PARKING AND CIRCULATION ARE IDENTIFIED ON THE SITE PLAN.
3. LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
4. PROVIDE NEW CURB AND GUTTER WITH ON STREET PARKING ON ALL 4 SIDE PER STD DWG 2415A, 2418, 2406 AND ANY OTHER THAT MAY APPLY. ALL UNUSED CURB CUTS SHALL BE REPLACED WITH NEW CURB & GUTTER AND SIDEWALKS.
5. THE PROPOSED DEVELOPMENT WILL FEATURE AN APPROXIMATELY 15-FOOT-WIDE URBAN PEDESTRIAN REALM ALONG CENTRAL AVENUE AND MULBERRY STREET THAT WILL INTERACT WITH THE BUILDING FRONTAGE AND ADJACENT RIGHT-OF-WAY. THE PEDESTRIAN AREA WILL BE AN INVITING AND PLEASANT ENVIRONMENT FOR WALKERS, GUESTS, AND OTHER VISITORS. THIS AREA WILL FEATURE STREET TREES, PLANTERS, SPECIALTY PAVING, GLAZING, AND OTHER AMENITIES. THIS AREA IS CONSISTENT WITH THE FORM BASED CODE, WHICH SPECIFIES A "USABLE PEDESTRIAN REALM" THAT ACCOMMODATES STREET DESIGN AND APPROPRIATE BUILDING PLACEMENT.
6. ACCESSIBLE PARKING SPACES MUST HAVE A SIGN THAT INCLUDES THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND STATE "RESERVED PARKING." ACCESSIBLE VAN PARKING SPACES WILL STATE "VAN ACCESSIBLE." ACCESSIBLE SIGN WILL BE 12"X18"X1/4" AND VAN ACCESSIBLE SIGN WILL BE 12"X18"X1/4" SYMBOL OF ACCESSIBILITY SHOULD BE 4" H. SIGNS WILL HAVE GREEN LETTERING AND BORDER ON A WHITE BACKGROUND. SIGNS SHOULD BE MOUNTED AT LEAST 60 INCHES ABOVE PARKING SURFACE.
7. THE ADA ACCESS AISLES SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED. (66-1-4.1.B NMSA 1978)
8. PER ZONING CODE, A 6 FT. WIDE ADA ACCESSIBLE PEDESTRIAN PATHWAY WILL BE PROVIDED FROM THE PUBLIC SIDEWALK TO THE BUILDING ENTRANCES.
9. WHEELCHAIR RAMPS REQUIRED BY ADA, WILL BE PROVIDED. WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE DETECTABLE WARNING SURFACES. "CAST-IN-PLACE" TRUNCATED DOMES. ALL CURB RAMPS WILL MEET THE 2010 ADA STANDARD REQUIREMENTS FOR NEWLY CONSTRUCTED OR ALTERED STREETS AND STREET-LEVEL PEDESTRIAN WALKWAYS.
10. WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
11. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
12. REFER TO SHEET 7 OF 8 FOR PEDESTRIAN REALM DIAGRAMS.
13. 6 FT SIDEWALKS SURROUNDING BUILDING MUST BE KEPT FREE AND CLEAR WITHIN THE WALKING ZONE.
14. FUTURE CHANGES TO PROPOSED SIGNAGE CAN BE AMENDED ADMINISTRATIVELY. SIGNAGE WILL COMPLY WITH 14-16-3-22(B)(3)(N) AND 14-16-3-22(C)(7) AND WILL REMAIN WITHIN THE PROPERTY LINE. BUILDING MOUNTED LIGHTS SHALL BE BETWEEN 6' AND 14' ABOVE ADJACENT GRADE. SEE 14-16-3-22(C)(6) FOR DETAILS AND OTHER REFERENCES.
15. EQUIPMENT SCREENING WILL COMPLY WITH SCREENING REQUIREMENTS IN SECTION 14-16-3-18(C)(6)(A) OF THE CITY OF ALBUQUERQUE ZONING CODE.
16. THE 20 PERCENT BUILDING HEIGHT MODIFICATION WILL COMPLY WITH SECTION 14-16-3-22(A)(6)(B)(1)(C) OF THE CITY OF ALBUQUERQUE ZONING CODE.
17. MULBERRY STREET AND COPPER AVENUE RIGHTS-OF-WAY HAVE BEEN VACATED. AN OFFICIAL NOTICE OF DECISION WAS ISSUED BY THE CITY PLANNING DEPARTMENT ON JANUARY 23, 2017 FOR PROJECT #1010879, 16DRB-70447. THE PLAT ASSOCIATED WITH THIS ACTION WAS RECORDED ON JUNE 13, 2017 FOR PROJECT #1010879, 17DRB-70119.
18. DETAIL TO BE PROVIDED IN BUILDING PERMIT SET FOR FIRE AND SOLID WASTE.



VICINITY MAP NOT TO SCALE

DEVELOPMENT DATA

NET SITE AREA:
1.23 ACRES (53,549 S.F.)

ZONING AND LAND USE:
CURRENT: SU-2 FOR CMU (C-2)
PROPOSED: SU-2/SU-1 FOR MIXED USE (FORM BASED CODE)
LAND USE: COMMERCIAL

BUILDING HEIGHT:

	SIDE (W)	REAR (N)	SIDE (E)	FRONT (S)
ALLOWED:	72 FEET*	72'	72'	72'
PROPOSED:	72'	67'	67'	67'

*60 FEET, PLUS AN ADDITIONAL 20% DUE TO LOCATION ALONG TRANSIT CORRIDOR. REFER TO GENERAL NOTE #19.

BUILDING GSF:
90,450 SF

SETBACKS REQUIRED:

	SIDE (W)	REAR (N)	SIDE (E)	FRONT (S)
BUILDINGS	0	10'-0"	0	0

SETBACKS PROVIDED:

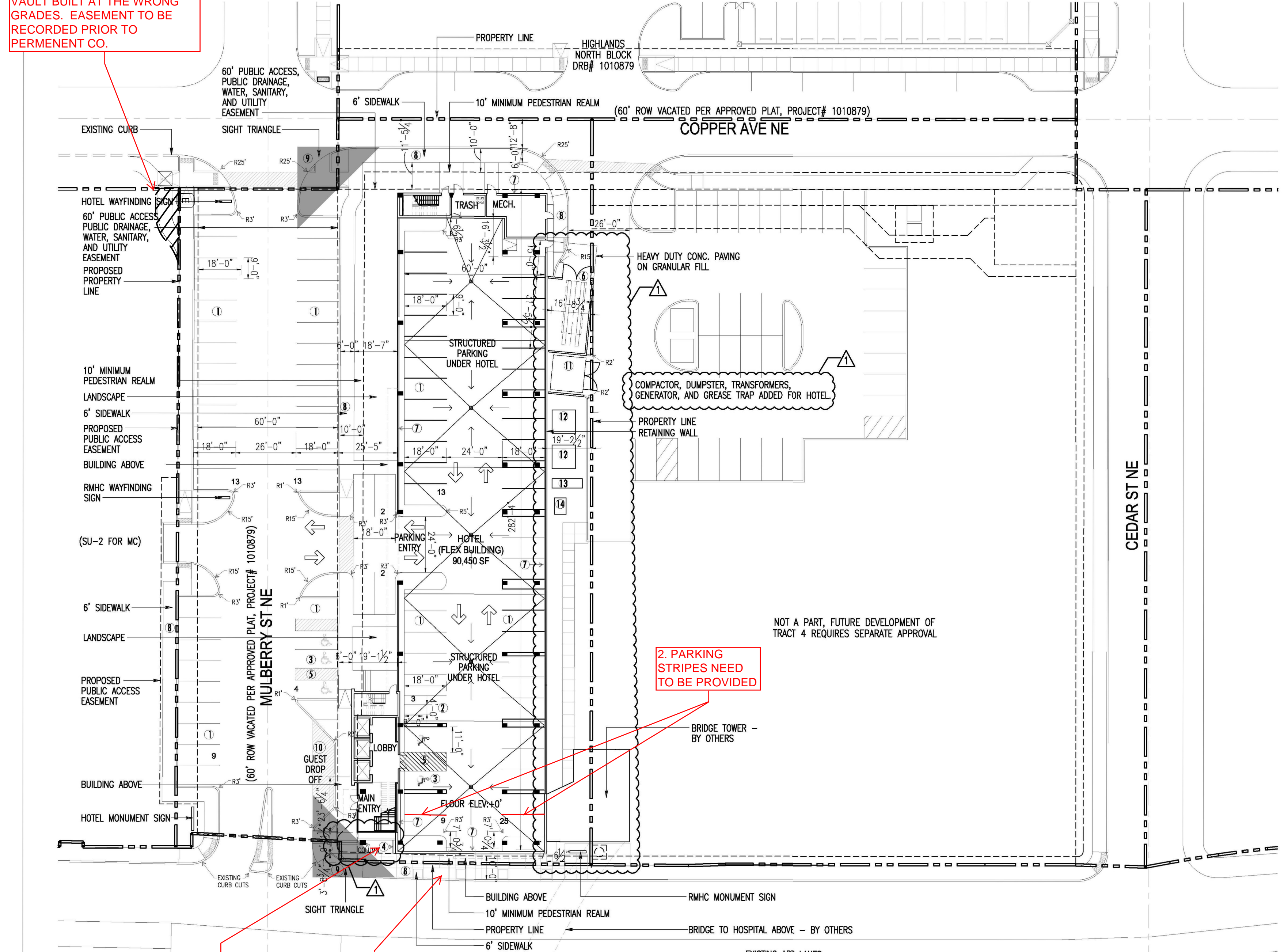
	SIDE (W)	REAR (N)	SIDE (E)	FRONT (S)
BUILDINGS	71'-1"	30'-1"	19'-1"	2'-8"

MINIMUM USABLE OPEN SPACE REQUIRED AND PROVIDED	
REQUIRED (10% OF SITE AREA)	5,355 SQ FT
PROVIDED (INCLUDING LANDSCAPING AND PEDESTRIAN-ORIENTED HARDSCAPE)	11,784 SQ FT

PARKING SPACE REQUIREMENTS	
PARKING RATIO REQUIRED - 1 SPACE PER 1,000 SF REDUCE BY 15% PER TRANSIT REDUCTION	
	PARKING SPACES
Total Parking Spaces Required	73
ON-STREET PARKING PROVIDED	39
OFF-STREET PARKING PROVIDED	47
Total Vehicle Parking Provided	86
Accessible Parking Required	5
ON-STREET PARKING PROVIDED	3
OFF-STREET PARKING PROVIDED	2
Total Accessible Parking Provided	5
Total Motorcycle Parking Required	3
Total Bicycle Parking Provided	5

GLAZING CALCULATIONS FOR STREET FACING FACADES (NORTH, WEST, AND SOUTH FACADES)		
TOTAL AVAILABLE STREET-FACING GROUND FLOOR FACADE AREA (EXCLUDES WALL ASSEMBLIES)	403 SF	1,518 SF
PERCENTAGE OF GROUND FLOOR STREET FRONTAGE GLAZING	26.55%	
TOTAL AVAILABLE STREET-FACING FACADE AREA AT UPPER FLOORS (EXCLUDES FLOOR, WALL, AND ROOF ASSEMBLIES)	5,358 SF	18,574 SF
PERCENTAGE OF STREET FRONTAGE GLAZING AT UPPER FLOORS	28.85%	

4. REALIGNED SIDEWALK TO ACCOMMODATE EXISTING PNM VAULT BUILT AT THE WRONG GRADES. EASEMENT TO BE RECORDED PRIOR TO PERMENENT CO.



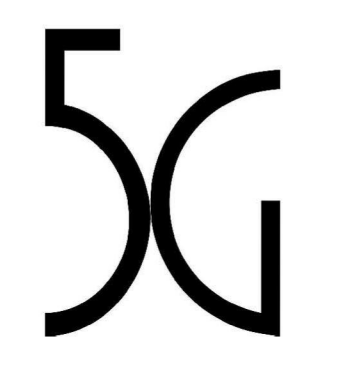
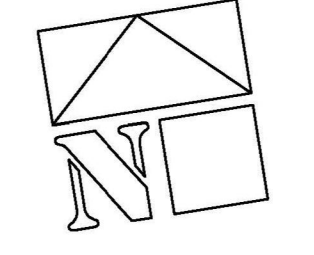
2. PARKING STRIPES NEED TO BE PROVIDED

3. BIKE RACK WILL BE INSTALLED ONCE BRICK PAVERS ARE COMPLETE

1. BRICK PAVERS ARE CURRENTLY BEING CONSTRUCTED UNDER COA WORK ORDER # 764783 AND WILL BE COMPLETED PRIOR TO PERMENENT CO

PRELIMINARY SITE PLAN

SCALE: 1" = 30'-0"



ARCHITECT
5G Studio Collaborative, LLC.
1217 Main Street
Dallas, TX 75202
(214-670-0050 Christine Robbins-Eldrod)

CIVIL ENGINEER
Bohannan Huston
7500 Jefferson Street NE
Albuquerque, New Mexico 87109
(505-823-1000 Mike Balaskovits)

LANDSCAPE
Heads Up Landscaping
7525 Second Street NW
Albuquerque, New Mexico 87107
(505-988-9615 John Braly)

STRUCTURAL ENGINEER
MK Engineers and Associates, Inc
400 Chisholm Place, Suite 106
Plano, TX 75075
(214-501-3354 Mohammad Kabir)

MEP ENGINEER
MEP Systems Design & Engineering, Inc.
918 Dragon Street, Suite 500
Dallas, TX 75207
(214-915-0929 Mark Portnoy)

INTERIOR DESIGNER
IRC, L.L.C.
2360 Tower Drive, Suite 101
Monroe, LA 71201
(318-812-7706 Colby Weaver Walker)

OWNER/DEVELOPER
Titan Development
6300 Riverside Plaza Lane NW, Ste 200
Albuquerque, New Mexico 87120
(505-998-0163 Josh Rogers)

OPERATOR
Intermountain Management, LLC
2390 Tower Drive
Monroe, Louisiana 71201
(318-812-7126 Dave Raymond)

DATE	ISSUE TITLE
01/12/16	100% DESIGN DEVELOPMENT
04/23/16	ISSUE FOR PERMIT
06/06/16	ISSUE FOR MARRIOTT'S 80% SET
11/29/18	REVISIONS FOR CITY

REV.	DATE	ISSUE TITLE
1	01/07/20	CITY REVISIONS

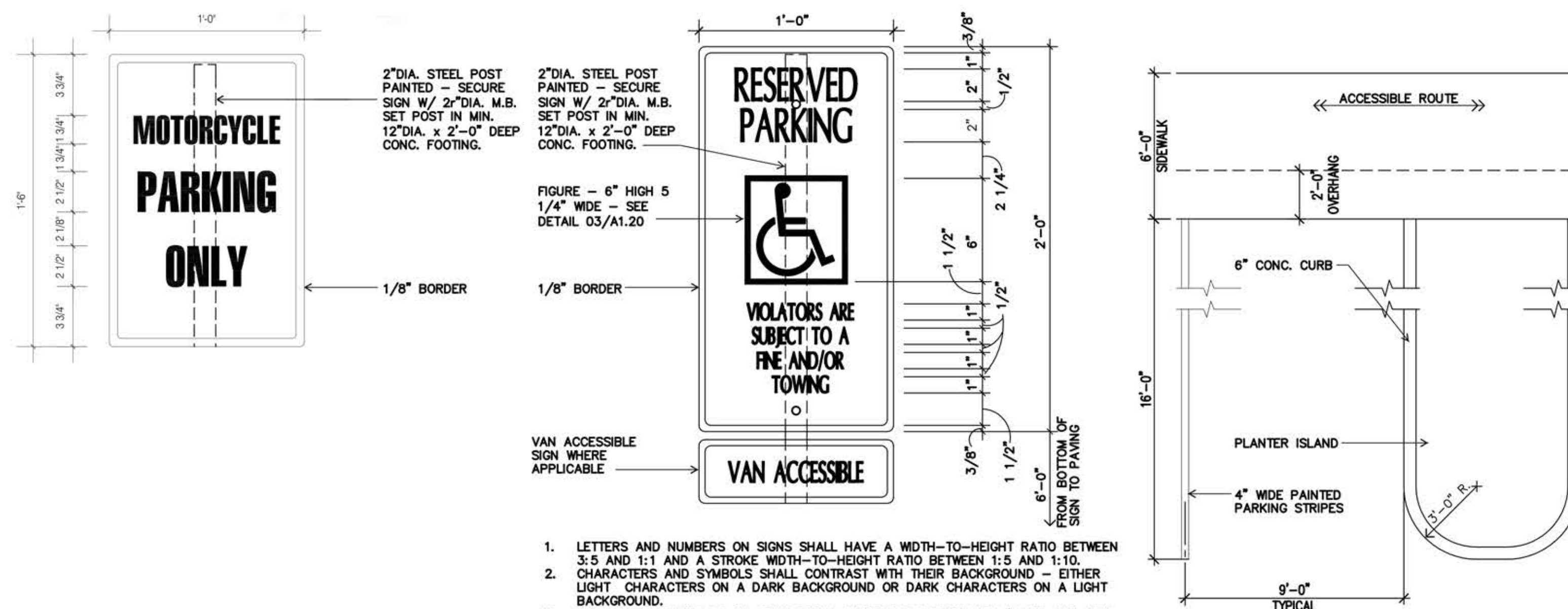


SPRINGHILL SUITES - ALBUQUERQUE
CENTRAL AVE. & MULBERRY ST.
ALBUQUERQUE, NM 87106

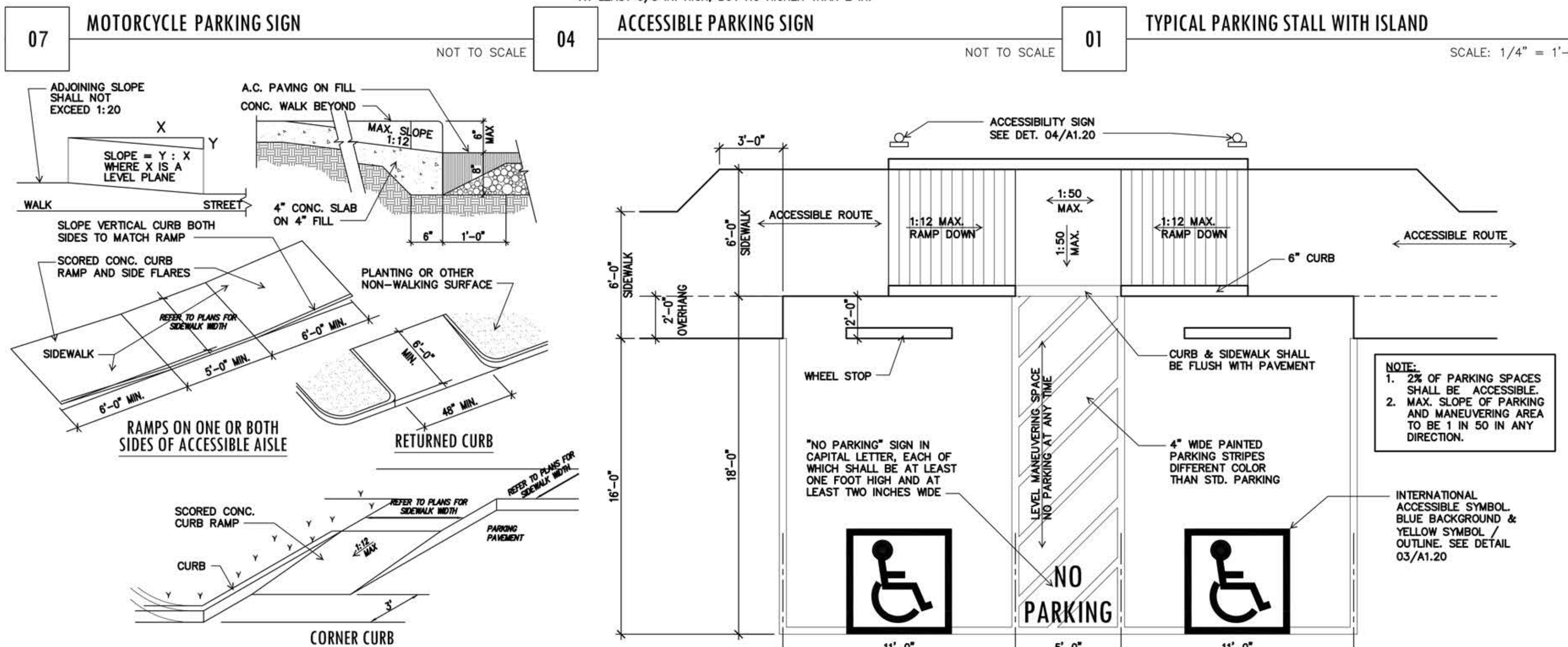
SITE PLAN



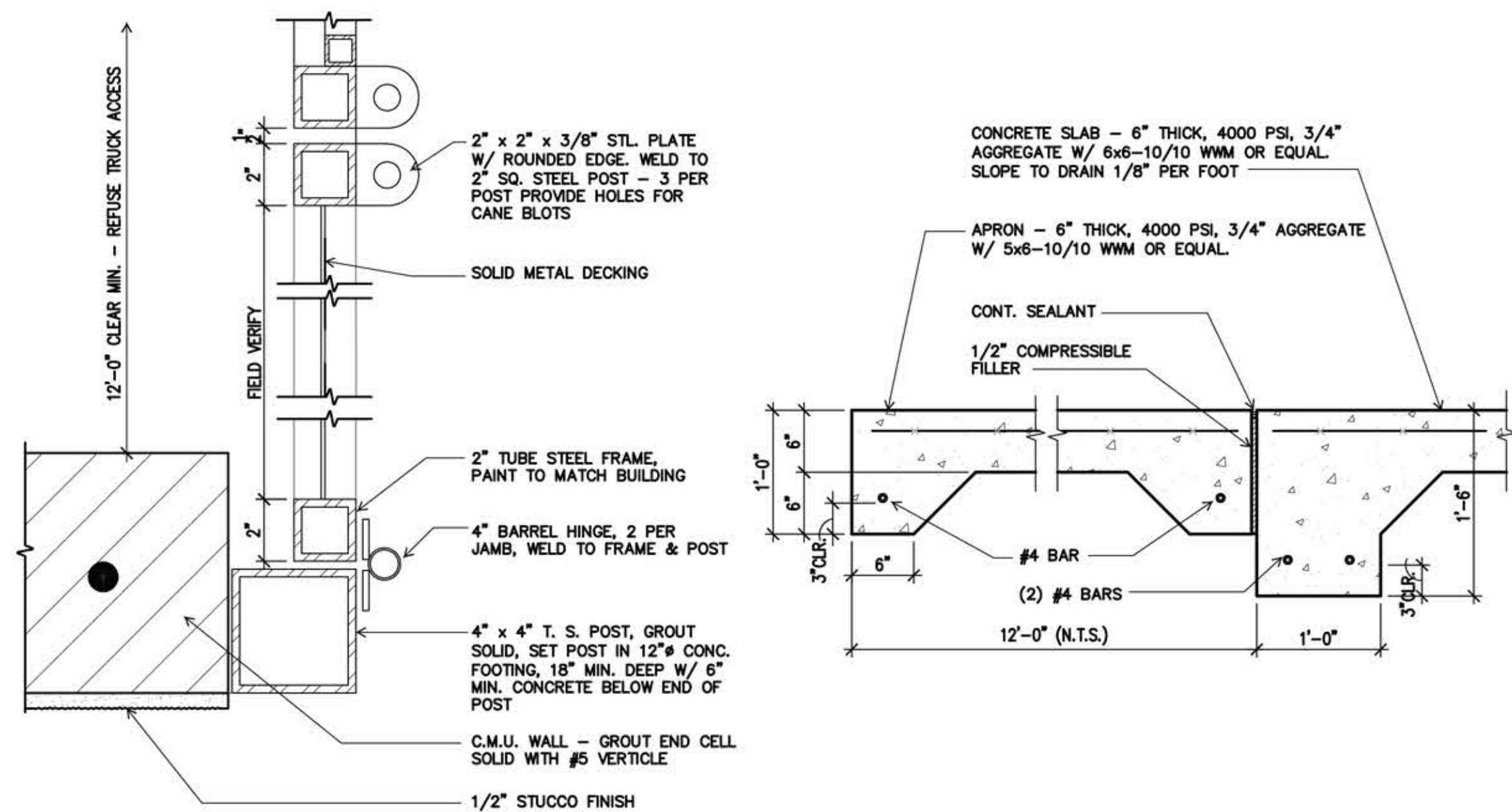
REV.	DATE	ISSUE
-	2.14.18	DRB SUBMITTAL



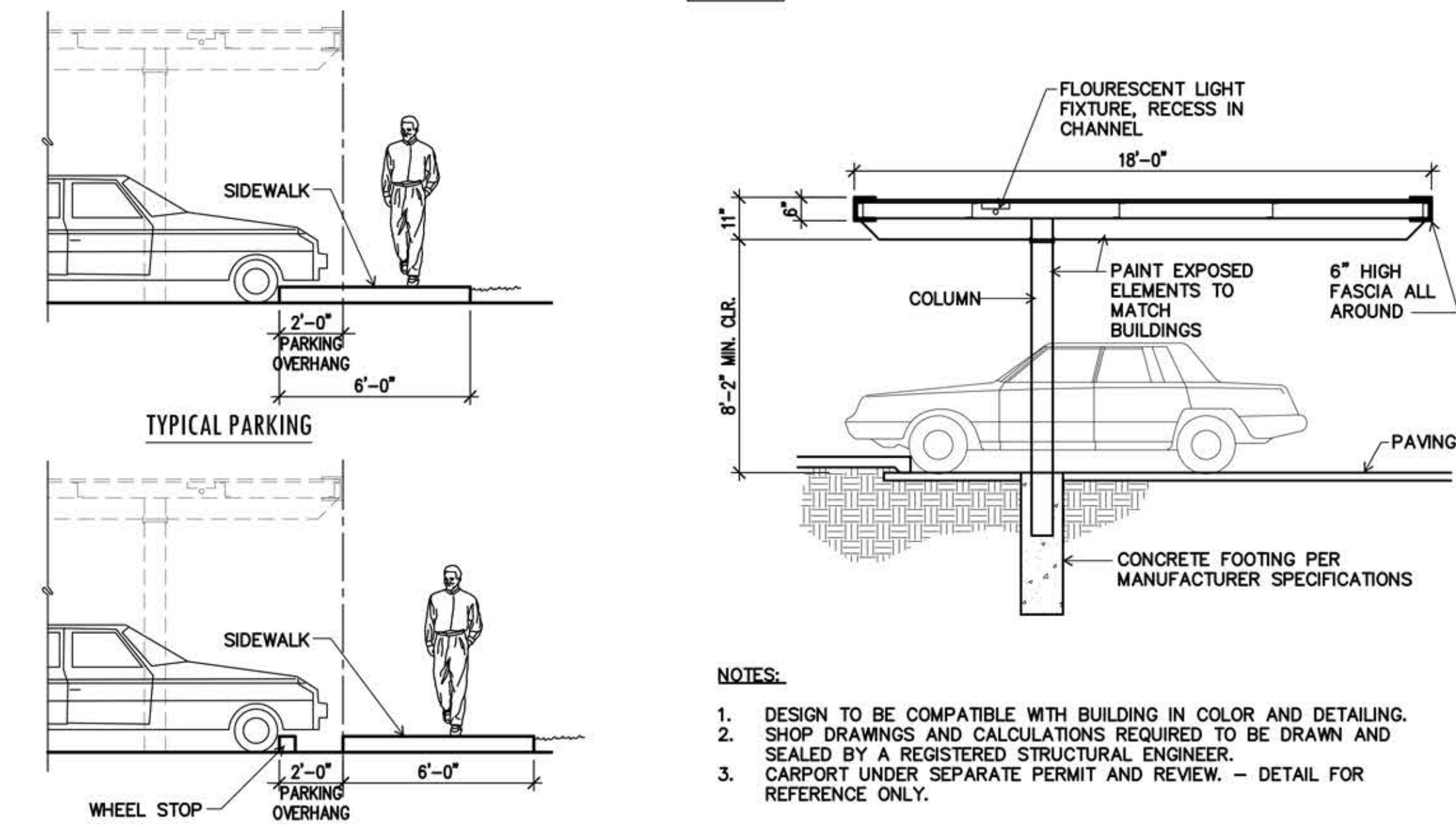
- LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO BETWEEN 3:5 AND 1:1 AND A STROKE WIDTH-TO-HEIGHT RATIO BETWEEN 1:5 AND 1:10.
- CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND - EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
- LETTERS AND NUMBERS ON SIGNS SHALL BE RAISED OR INCISED 1/32 IN. MIN. AND SHALL BE SANS SERIF CHARACTERS. RAISED CHARACTERS OR SYMBOLS SHALL BE AT LEAST 5/8 IN. HIGH, BUT NO HIGHER THAN 2 IN.



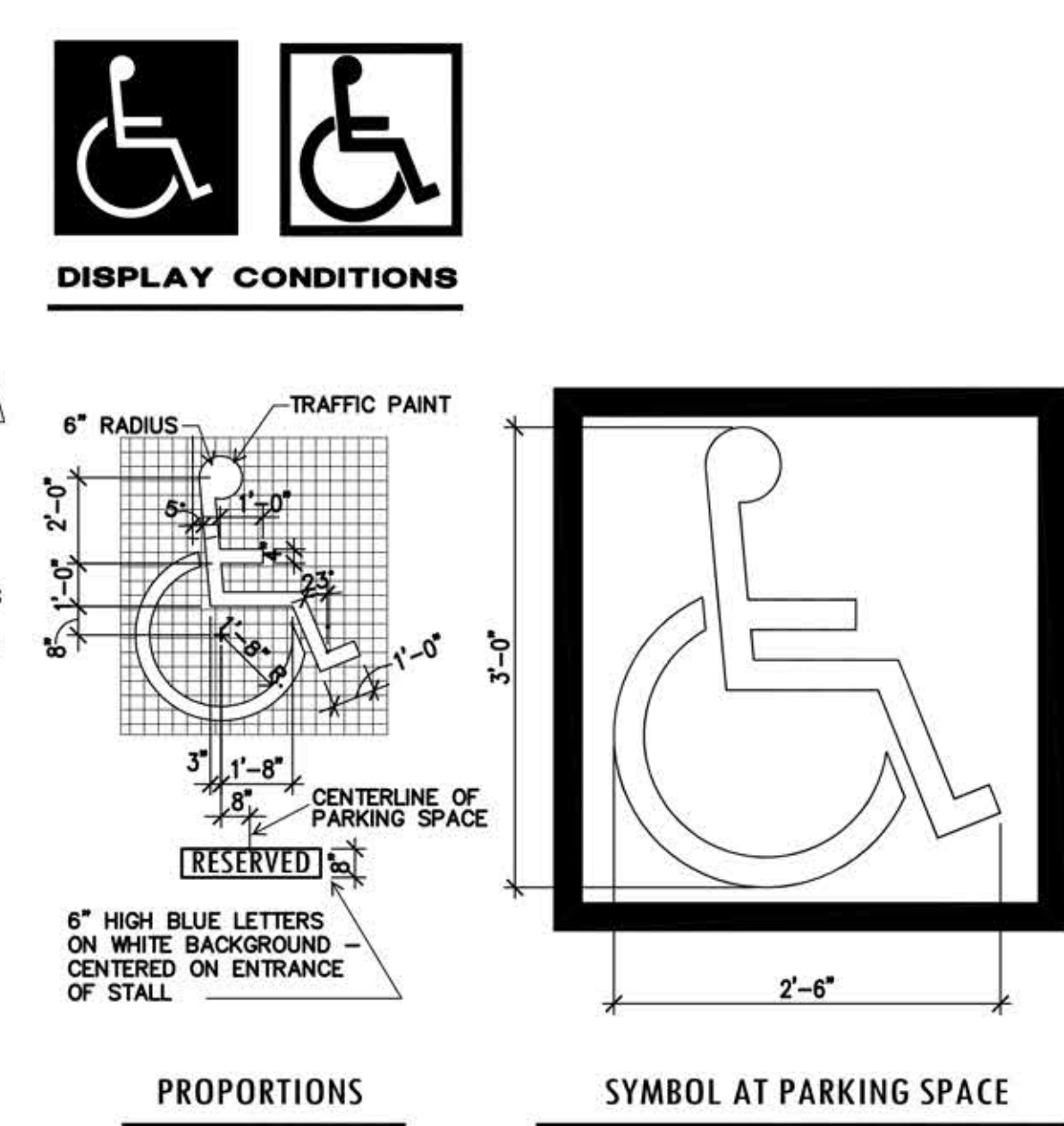
08 TYPICAL ON-SITE ACCESSIBLE RAMP NOT TO SCALE | 05 TYPICAL ACCESSIBLE PARKING STALL SCALE: 1/4" = 1'-0"



15 TRASH ENCLOSURE GATE SCALE: 3" = 1'-0" | 12 REFUSE ENCLOSURE SLAB JOINT SCALE: 1" = 1'-0"



09 SIDEWALK AT PARKING SCALE: 1/4" = 1'-0" | 06 CARPORT DETAIL SCALE: 1/4" = 1'-0"



03 INTERNATIONAL SYMBOL OF ACCESSIBILITY NOT TO SCALE

- NOTES:**
- DESIGN TO BE COMPATIBLE WITH BUILDING IN COLOR AND DETAILING. SHOP DRAWINGS AND CALCULATIONS REQUIRED TO BE DRAWN AND SEALED BY A REGISTERED STRUCTURAL ENGINEER.
 - REPORT UNDER SEPARATE PERMIT AND REVIEW. - DETAIL FOR REFERENCE ONLY.



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: _____
City Address: _____

Applicant: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: PLAT RESIDENCE DRB SITE ADMIN SITE

Check all that Apply:

DEPARTMENT:
 HYDROLOGY/ DRAINAGE
 TRAFFIC/ TRANSPORTATION

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
 BUILDING PERMIT APPROVAL
 CERTIFICATE OF OCCUPANCY Temporary

TYPE OF SUBMITTAL:
 ENGINEER/ARCHITECT CERTIFICATION
 PAD CERTIFICATION
 CONCEPTUAL G & D PLAN
 GRADING PLAN
 DRAINAGE REPORT
 DRAINAGE MASTER PLAN
 FLOODPLAIN DEVELOPMENT PERMIT APPLIC
 ELEVATION CERTIFICATE
 CLOMR/LOMR
 TRAFFIC CIRCULATION LAYOUT (TCL)
 TRAFFIC IMPACT STUDY (TIS)
 STREET LIGHT LAYOUT
 OTHER (SPECIFY) _____
 PRE-DESIGN MEETING?

PRELIMINARY PLAT APPROVAL
 SITE PLAN FOR SUB'D APPROVAL
 SITE PLAN FOR BLDG. PERMIT APPROVAL
 FINAL PLAT APPROVAL

 SIA/ RELEASE OF FINANCIAL GUARANTEE
 FOUNDATION PERMIT APPROVAL
 GRADING PERMIT APPROVAL
 SO-19 APPROVAL
 PAVING PERMIT APPROVAL
 GRADING/ PAD CERTIFICATION
 WORK ORDER APPROVAL
 CLOMR/LOMR
 FLOODPLAIN DEVELOPMENT PERMIT
 OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: Yes No

DATE SUBMITTED: _____ By: _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____