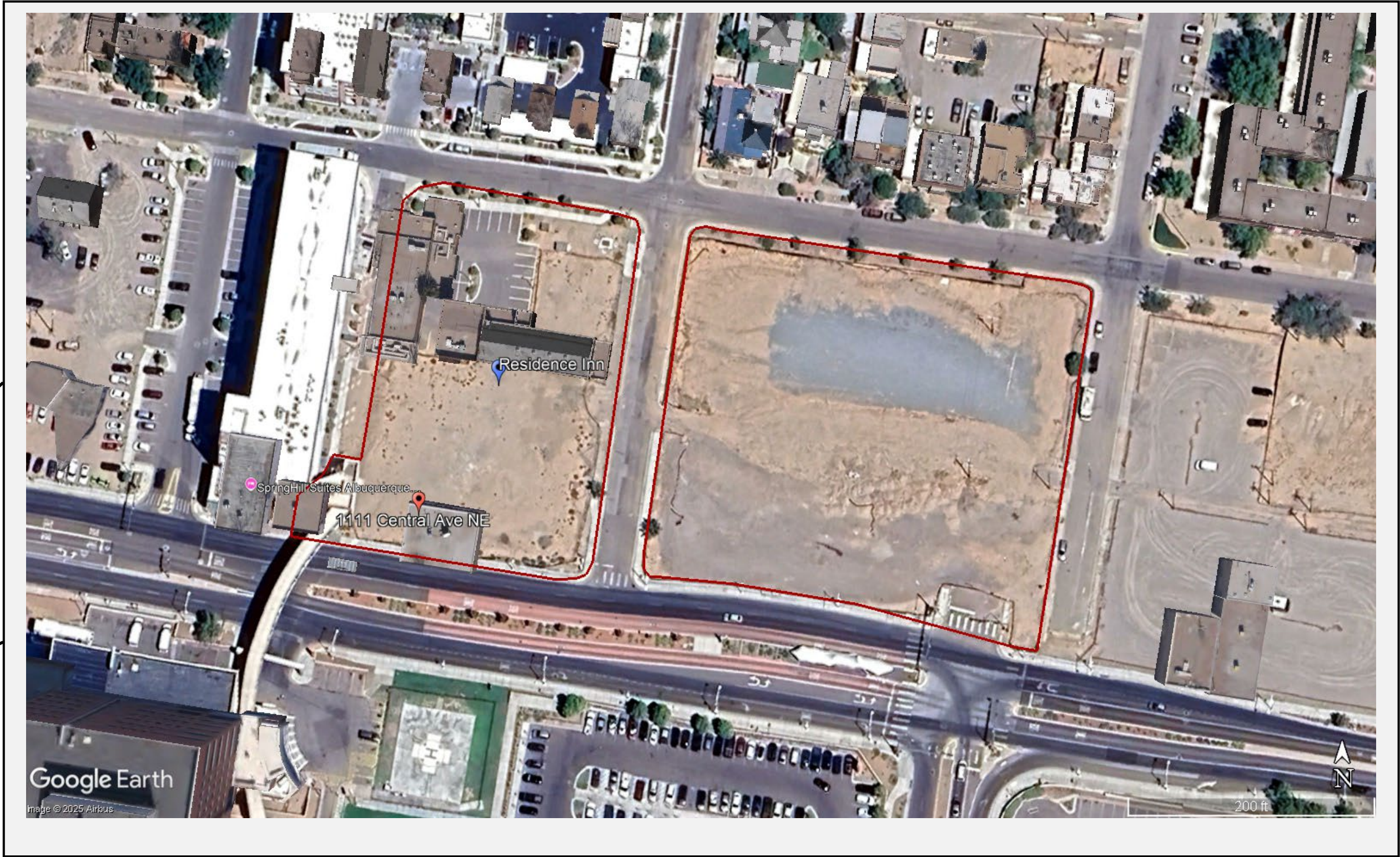


TEMPORARY EROSION AND SEDIMENT CONTROL PLAN

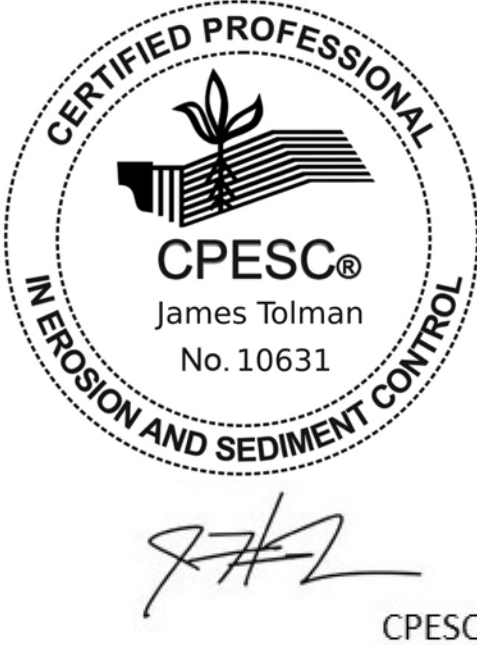

Residence Inn & Food Hall

Copper Ave. & Cedar Street, Albuquerque NM 87102

PAGE INDEX	
1	Title Page
2	SWPPP/TESCP Info & Notes
3	SWPPP Contacts / Nature of Construction
4-5	Temporary Erosion Control Map
6-12	BMP Specifications / Details

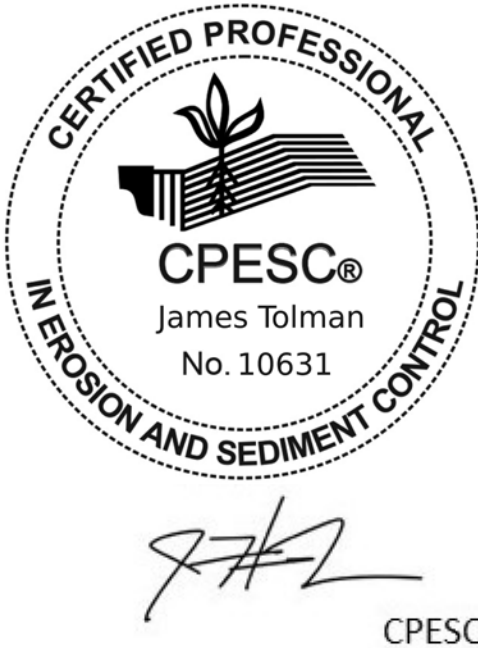



LATITUDE: 35.082826
LONGITUDE: -106.633968

	Residence Inn & Food Hall	
	Albuquerque, Bernalillo County, NM	
	02/04/2025	
	Bruce Henriksen James Tolman	

TEMPORARY EROSION AND SEDIMENT CONTROL PLAN

PERMIT NUMBER:	NMR100433	ESC Plan Standard Notes (2023-06-16)
	NMR100000 State of New Mexico, Except Indian Country	
OWNER NAME:	Cedar Investors, LLC	All Erosion and Sediment Control (ESC) work on these plans, except as otherwise stated or provided hereon shall be permitted, constructed, inspected and maintained in accordance with: a. The City Ordinance § 14-5-2-11, the ESC Ordinance, b. The EPA’s 2022 Construction General Permit (CGP), and c. The City of Albuquerque Construction BMP Manual 1. All BMP’s must be installed prior to beginning any earth moving activities except as specified hereon in the Phasing Plan. Construction of earthen BMP’s such as sediment traps, sediment basins, and diversion berms shall be completed and inspected prior to any other construction or earthwork. Self-inspection is required after installation of the BMP’s and prior to beginning construction. 2. Self-inspections – In accordance with City Ordinance § 14-5-2-11(C)(1), “at a minimum a routine self-inspection is required to review the project for compliance with the Construction General Permit once every 14 days and after any precipitation event of ¼ inch or greater until the site construction has been completed and the site determined as stabilized by the city. Reports of these inspections shall be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.” 3. Corrective action reports must be kept by the person or entity authorized to direct the construction activities on the site and made available upon request. 4. Final stabilization and Notice of Termination (NOT) – In accordance with City Ordinance § 14-5-2-11(C)(1), self-inspections must continue until the site is “determined as stabilized by the city.” The property owner/operator is responsible for determining when the “Conditions for Terminating CGP Coverage” per CGP Part 8.2 are satisfied and then filing their Notice of Termination (NOT) with the EPA. Each operator may terminate the CGP coverage only if one or more of the conditions in Part 8.2.1, 8.2.2, or 8.2.3 has occurred. After filing the NOT with the EPA, the property owner is responsible for requesting a Determination of Stabilization from the City. 5. When doing work in the City right-of-way (e.g. sidewalk, drive pads, utilities, etc.) prevent dirt from getting into the street. If dirt is present in the street, the street should be swept daily or prior to a rain event or contractor induced water event (e.g. curb cut or water test). 6. When installing utilities behind the curb, the excavated dirt should not be placed in the street. 7. When cutting the street for utilities the dirt shall be placed on the uphill side of the street cut and the area swept after the work is complete. A wattle or mulch sock may be placed at the toe of the excavated dirt pile if the site constraints do not allow placing the excavated dirt on the uphill side of the street cut. 8. ESC Plans must show longitudinal street slope and street names. On streets where the longitudinal slope is steeper than 2.5%, wattles/mulch socks or j-hook silt fence shall be shown in the front yard swale or on the side of the street.
OWNER POINT OF CONTACT:	Matt Lammers 505-998-0163 mlammers@titan-development.com	
NOI PREPARED BY:	Inspections Plus	
PROJECT/SITE NAME:	Residence Inn & Food Hall	
PROJECT/SITE ADDRESS:	Copper Ave. & Cedar Street, Albuquerque NM 87102	
LATITUDE	35.082826	
LONGITUDE	-106.633968	
ESTIMATED PROJECT START DATE	03/01/2025	
ESTIMATED PROJECT COMPLETION DATE	02/28/2027	
PROPERTY SIZE	4.00 acres	
TOTAL AREA OF DISTURBANCE	4.00 acres	
MAXIMUM AREA DISTURBED AT ONE TIME	4.00 acres	
TYPE OF CONSTRUCTION	Commercial	
DEMOLITION OF ANY STRUCTURES 10,000 SQ FT OR GREATER BUILT OR RENOVATED BEFORE JANUARY 1, 1980?	N/A	
WAS THE PREDEVELOPMENT LAND USED FOR AGRICULTURE?	No	
COMMENCED EARTH DISTURBING ACTIVITIES?	No	
DISCHARGE TO MS4? MS4 NAME	Yes – COA	
SURFACE WATERS WITHIN 50 FT?	No	
RECEIVING WATER	Rio Grande	
REC. WATER IMPAIRED? TIER	Yes	
WHAT IMPAIREMENTS?	E.coli, PCBs, Oxygen Depleting Substances, Gross Alpha Radiation Sources	
SWPPP CONTACT INFORMATION	Matt Lammers 505-998-0163 mlammers@titan-development.com	
ENDANGERED SPECIES CRITERIA	Criterion “A”, No Critical Habitats	
HISTORICAL LOCATION CRITERIA	Preexisting Development	

	Residence Inn & Food Hall	
	Albuquerque, Bernalillo County, NM	
	02/04/2025	
	Bruce Henriksen James Tolman	

TEMPORARY EROSION AND SEDIMENT CONTROL PLAN

OPERATOR:

Cedar Investors, LLC
6300 Riverside Plaza Lane #200
Albuquerque, NM 87120

Matt Lammers
Property Owner Contact
505-998-0163
mlammers@titan-development.com

OWNER:

TBD

Nature of Construction Activities

Start: 03/1/2025 - End: 02/28/2027

Dates are estimates and may be adjusted based on external factors or unexpected events.

1.713 acres total property, 1.713 acres total and maximum area to be disturbed at any one time.

The Operator, TBD will be constructing a commercial building for Cedar Investors, LLC. This will include grading, demolition, excavation for the foundation, connecting utilities, and vertical construction of a commercial building.

No temporary cessation of construction activities anticipated during this phase.

Applicable BMPs for this Phase: Inlet Protection, Stabilized Drive Approach, Silt Fencing, , Street Sweeping, Water Truck, Mulch Sock

Demolition will commence 03/01/2025

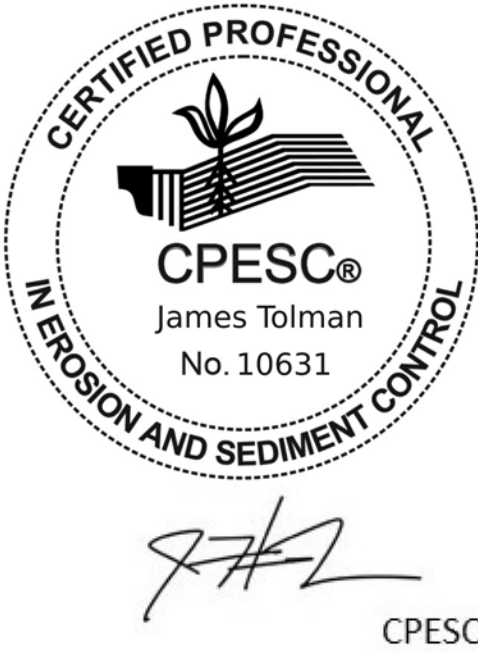

Commencement of Vertical Construction Activities: Grading, excavation for foundations, connecting utilities, and vertical construction of the Commercial building: Start: 04/01/2025 - End: 02/28/2027

Parking area will be stabilized with gravel during and post construction.

All other disturbed soil will be stabilized via Vegetative stabilization: Establishing a uniform, long-term vegetative cover with a density of 70% of the native background vegetative cover on all unpaved areas and areas not covered by permanent structures within 14 days of construction completion.





Final Stabilization: 10/2026 – 02/28/2027



Permanent Cessation of Construction Activities for this Phase: 02/2027

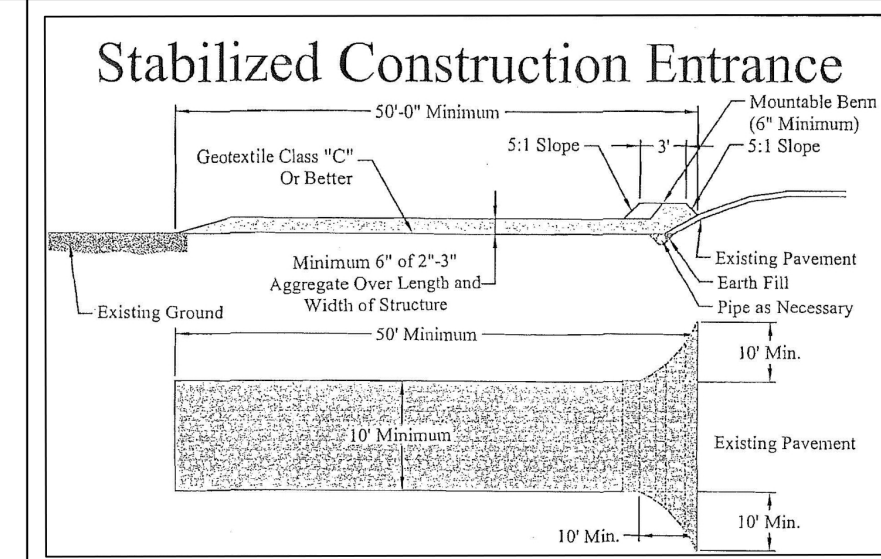
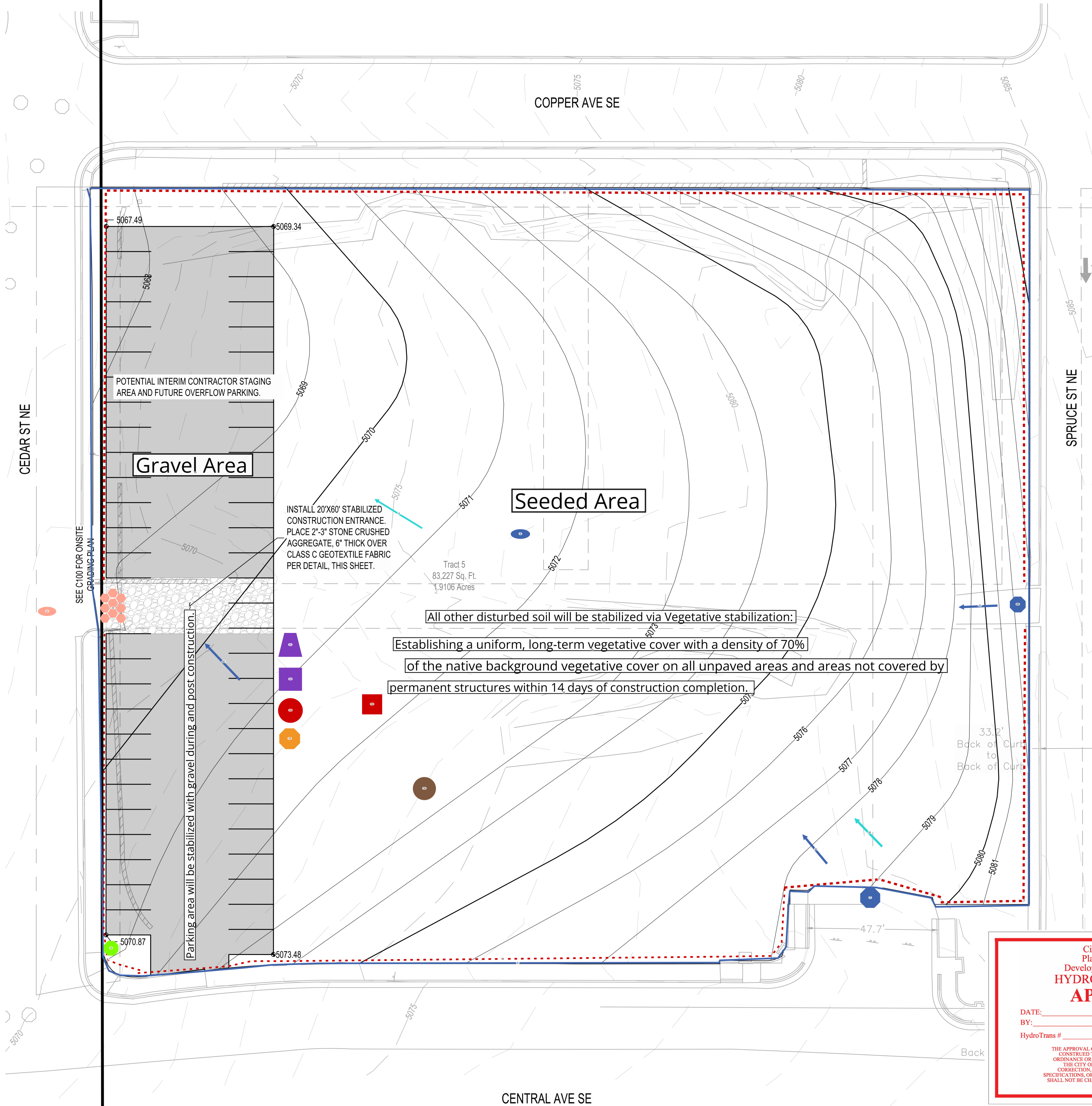
	Residence Inn & Food Hall	
	Albuquerque, Bernalillo County, NM	
	02/07/2025	
	Bruce Henriksen James Tolman	





-  Property Boundary (2)
-  Limit of Disturbance (2)
-  Silt Fence (3)
-  Concentrated Flow Path (4)
-  Pre & Post Construction Water Flow (1)
-  Materials Storage (1)
-  Stockpiles (1)
-  Water Truck (1)
-  Street Sweeping (3)
-  Insert Inlet Protection (1)
-  Portable Toilet (1)
-  Dumpster (1)
-  Spill Kit (1)
-  SWPPP Sign (1)
-  Portable Concrete Washout (1)
-  Stabilized Construction Exit (2)

 CPESC Stamp	Residence Inn & Food Hall	
	PROJECT TITLE	
	ALBUQUERQUE, NM, BERNALILLO COUNTY	
	CITY, COUNTY, STATE	
	02/07/2025	DATE
	B. Henriksen / J. Tolman	DRAWN BY
	 INSPECTIONS PLUS	



OWNER/DEVELOPER
Titan Development
6300 Riverside Plaza Lane NW, Ste 200
Albuquerque, New Mexico 87120
505.998.0163 | Josh Rogers
jrogers@titan-development.com

ARCHITECT
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NW
w Mexico 87102
im Strozier
lanning.com

R
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treet NE
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like Balaskovits
rinc.com

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MEP
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Dallas, Texas 75204
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chad.leveritt@summitmep.com

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cmcnaallen@yellowstonelandscape.com

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Albuquerque, New Mexico 87107
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Monroe, LA 71201
318.812.7709 | Jessie Melson
jessiem@imrhotels.com

FOOD HALL CONSULTANT
Hammer and Plate Consulting
Denver and Boulder, Colorado
720.936.6772 | Kate Kaufman
kate@hammerandplate.com

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INCOMPLETE DOCUMENTS ARE FOR INTERIM
REVIEW ONLY. NOT FOR REGULATORY APPROVAL,
PERMIT OR CONSTRUCTION

RESIDENCE INN & FOOD HALL ABQ
1111 CENTRAL AVE. NE
ALBUQUERQUE, NM 87102

GRADING PLAN

210046 PROJECT NUMBER C102 SHEET NUMBER

Residence Inn & Food Court

PROJECT TITLE

ALBUQUERQUE, NM, BERNALILLO COUNTY

CITY, COUNTY, STATE

02/07/2025











DATE _____

B. Henriksen / J. Tolman


.....DRAWN BY



LEGEND

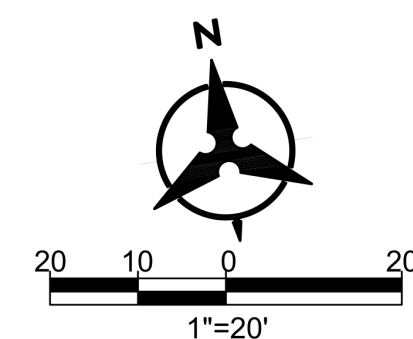
- | | |
|---|---|
|  | PROPERTY LINE |
|  | PROJECT LIMITS OF GRADING |
|  | EXISTING INDEX CONTOUR |
|  | EXISTING INTERMEDIATE CONTOUR |
|  | EXISTING GROUND SPOT ELEVATION |
|  | PROPOSED INDEX CONTOUR |
|  | PROPOSED INTERMEDIATE CONTOUR |
|  | PROPOSED GRADE SPOT ELEVATION |
| | FL=FLOW LINE |
| | TC=TOP OF CURB |
| | TS=TOP OF SIDEWALK |
|  | BASE COURSE OR EQUIVALENT PERVIOUS PARKING AREA |
|  | STABILIZED CONSTRUCTION ENTRANCE PER DETAIL, THIS SHEET |

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 12/24/2024
BY: 
HydroTrans # K15D034D

THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE
CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY
ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT
THE CITY OF ALBUQUERQUE FROM REQUIRING
CORRECTION, OR ERROR OR DIMENSIONS IN PLANS,
SPECIFICATIONS, OR CONSTRUCTIONS. SUCH APPROVED PLAN
SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT
AUTHORIZATION.


APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT



Bohannon **Huston**
www.bhinc.com 800.877.5332

LEGEND



 Property Boundary / Limit of Disturbance (1)

 Silt Fence (5)

 Concentrated Flow Path (3)

 Pre & Post Construction Water Flow (2)

 Materials Storage (1)

 Stockpiles (1)

 Water Truck (1)

 Street Sweeping (1)

 Portable Toilet (1)

 Dumpster (1)



 Temporary Blockade (2)

 Spill Kit (1)

 SWPPP Sign (1)

 Portable Concrete Washout (1)

 Stabilized Construction Exit (1)

 CPESC Stamp	Residence Inn & Food Hall	
	PROJECT TITLE	
	ALBUQUERQUE, NM, BERNALILLO COUNTY	
	CITY, COUNTY, STATE	
	02/07/2025	DATE
	B. Henriksen / J. Tolman	DRAWN BY
	 INSPECTIONS PLUS	

A1-1 DUST CONTROL

- A1
- A2
- A3



Image credit: Sites Southwest

DESCRIPTION
Dust control measures reduce a construction site's potential for producing airborne fugitive dust that can lead to air and water pollution. Sediments that are transported from construction sites by wind and construction vehicles that have left the site, are often re-dispersed to the air by subsequent vehicular traffic and winds. Likewise, these sediments may be transported by the next rainfall to streams and into public storm sewer systems. Implementation of control measures to minimize the generation of fugitive dust from disturbed landscapes and construction sites will also limit the quantity of sediments in stormwater.

PRIMARY USE
Dust control is used to limit and control nuisance fugitive dust from disturbed landscapes and construction sites. Project types and conditions that benefit from execution of a dust control strategy include, but are not limited to, the following:

- » Grading operations (land clearing and earthmoving).
- » Drilling and blasting.
- » Batch drop operations (loader operation).
- » Exposed, cleared, and unstabilized areas.
- » Vehicle traffic on unpaved surfaces.
- » Sediment tracking on paved surfaces.
- » Blasting and wrecking ball operations.
- » Soil and debris storage piles.

SEE ALSO

- A1-4 Grassland Seedbank Protection
- A1-5 Stockpile Management
- A2-1 Seeding
- A2-2 Mulching

NMDOT TESC
(TEMPORARY EROSION AND
SEDIMENT CONTROL PLAN)
SYMBOL

DU

A1-1 DUST CONTROL CONTINUED

APPLICATION
Dust control measures vary widely and should be selected alone or in combination for the specific project type, conditions, and resource availability. Dust control measures include, but are not limited to, the following:

- » Provide covers for trucks transporting materials that contribute dust.
- » Pave, apply gravel, vegetate or chemically stabilize large disturbed areas.
- » Immediately water disturbed areas.
- » Regularly water and dampen unstabilized areas.

Additionally, if the contractor is responsible for complying with the requirements of the air pollution control permit, the following is typically required:

- » Provide dust control plans for construction or land-clearing projects.
- » Conduct enforcement activities with priority given to citizen complaints.
- » Conduct documentation of maintenance.

LIMITATIONS
Some dust control measures may be of limited use due to lack of resources at the site, construction sequencing, and the need to repeatedly re-implement measures during the course of construction. Limitations may include:

- » Access to water.
- » Availability of equipment.
- » Drought.
- » Frequent disturbance during construction.

MAINTENANCE REQUIREMENTS
» Inspect stabilized soils for disturbance on a regular basis.
» Wet soil and soils treated with stabilization agents.
» Regrade and reapply soil stabilizing agents.

A1-13 STABILIZED CONSTRUCTION ENTRANCE/EXIT

- A1
- A2
- A3



Image credit: Sites Southwest

DESCRIPTION
A stabilized construction entrance/exit consists of a pad of crushed stone, recycled concrete, or other rock-like material on top of a geotextile filter, which is used to facilitate the wash-down and removal of sediment and other debris from construction equipment prior to exiting the site.

PRIMARY USE
Stabilized construction entrances/exits are used to reduce offsite sediment tracking from trucks and construction equipment, and for sites where considerable truck traffic occurs each day. They also reduce the need to clean adjacent pavement as often, and help route site traffic through a single point. Stabilized construction entrances and exits are recommended for all construction sites, and may be required for Construction General Permit compliance.

APPLICATION
Strategies for successful and effective stabilized construction entrances/exits include but are not limited to:

- » Location selection able to accommodate construction traffic.
- » Appropriate selection of locally available material.

LIMITATIONS
» Selection of the construction entrance/exit location is critical. To be effective, it must be used exclusively.
» Stabilized access points can be expensive and must be installed in combination with one or more other sediment control techniques. It may be more cost effective, however, than labor-intensive street cleaning.

NMDOT STANDARD
DRAWING

603-01-7/7 Offsite Tracking
Prevention

NMDOT TESC
(TEMPORARY EROSION AND
SEDIMENT CONTROL PLAN)
SYMBOL

SCEE

A1-13 STABILIZED CONSTRUCTION ENTRANCE/EXIT CONTINUED

LIMITATIONS CONTINUED

- » Site constraints may limit the recommended 50 foot entrance/exit drive length.

MAINTENANCE REQUIREMENTS

- » Inspect the stabilized construction entrance after major storm events to ascertain sediment and pollution are being effectively captured on site. When sediment or debris has substantially clogged the void area between the rocks, the aggregate mat must be washed down or replaced.
- » Re-grade and top dress stone periodically to retain the effectiveness of the entrance/exit.

A2-8 MULCH SOCKS

- A1
- A2
- A3



Image credit: NMDOT

DESCRIPTION
Mulch socks are erosion and sediment control materials made typically of high density polyethylene (HDPE) or biodegradable plastic filament mesh tubes filled with compost or other organic media.

PRIMARY USE
Mulch socks are primarily used to filter and slow stormwater. Uses include:

- » Filter sediment and silts from sheet stormwater flowing from disturbed sites.
- » Protect inlets from sediment.
- » Create temporary ponding areas behind socks to facilitate the deposition of suspended solids.
- » Slow stormwater runoff and reduce peak flows.
- » Filter heavy metals, pollutants and oil from stormwater when socks are filled with adsorbent media.
- » Provide temporary protection at drop inlets or culverts.
- » Create check dams or sediment traps at concrete washout areas.
- » Provide perimeter control, runoff diversion, and slope interruption.
- » Reinforce stream banks and aid in the protection and establishment of stabilizing watercourse vegetation.

APPLICATION
Strategies for successful use of mulch socks include:

- » Lay the sock upon the surface and stake the tube every 10 feet.
- » Lay the tube along contours, vegetated channels, and outside of the toes of slopes.

NMDOT TESC
(TEMPORARY EROSION AND
SEDIMENT CONTROL PLAN)
SYMBOL

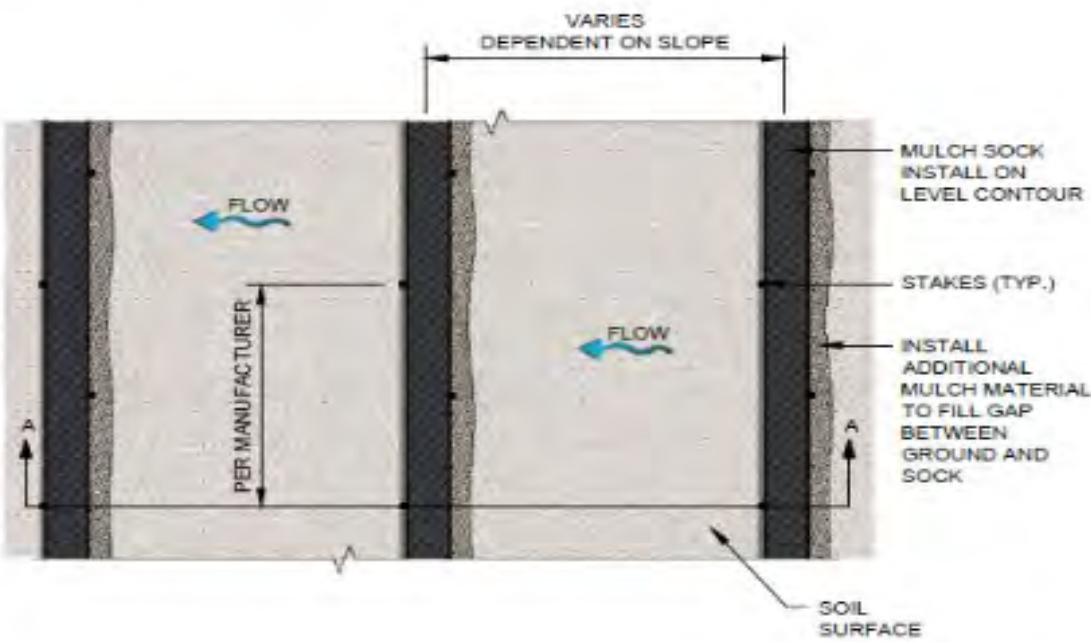
MS
CMS

A2-8 MULCH SOCKS CONTINUED

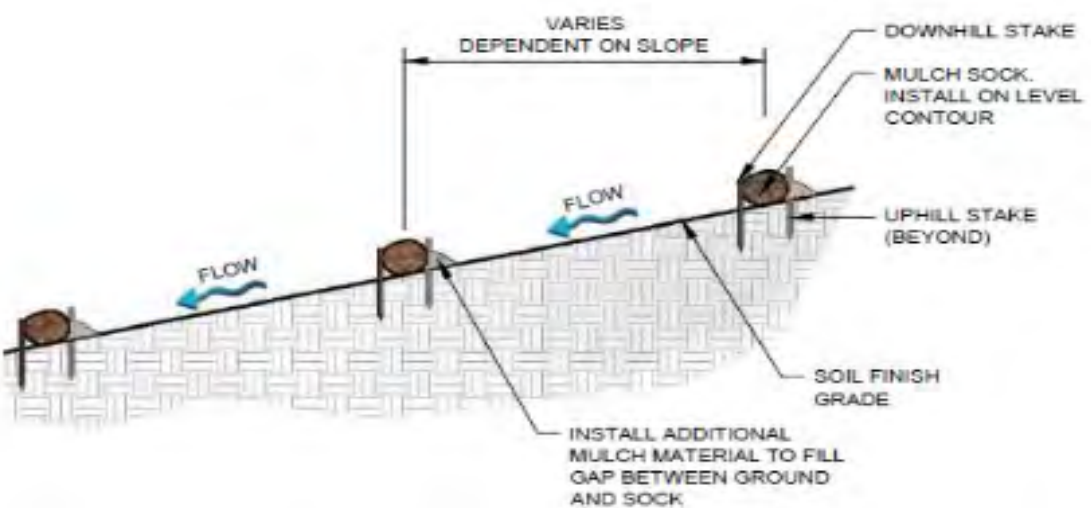
LIMITATIONS
» Mulch socks do not provide long-term solutions for stormwater storage.
» Mulch socks have limited usefulness in concentrated flow conditions.
» On NMDOT projects composted mulch socks (CMS) are used exclusively; wood chip mulch socks are not allowed.

MAINTENANCE REQUIREMENTS
» Inspect mulch socks periodically, especially after major storm events.
» Remove sediments from behind socks after accumulation is 1/3 sock height.
» Restake and overlap socks that are displaced due to storm events or construction disturbance.

Use for alternative to Cut Back Curbs in certain areas; and curb and grate inlet protection.



Mulch sock - PLAN VIEW.



Mulch sock - SECTION A-A.

Revision 03 December 2020

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM MANUAL
Appendix A2 - Erosion and Sediment Control

A2-11 SEDIMENT BASIN

A1

A2

A3




Image credit: Integra Engineering & Science Services/ Julie Coco

DESCRIPTION

A sediment basin is a pond area with a controlled outlet in which suspended sediment is allowed to settle. A sediment basin is a highly effective treatment device for removing sediments and other pollutants from stormwater for the design storm event.

PRIMARY USE

Sediment basins are used as permanent erosion and sediment control facilities to provide stormwater treatment and control outflow, minimizing flood problems downstream. Sediment basins should be used where there is adequate open space to direct most of the site drainage into the basin.

APPLICATION

Strategies for successful sediment basin design include:

- » Design sediment basins for two-year storm (or higher) runoff volumes.
- » Create an outlet structure that consists of a stone section in the embankment formed by a combination of coarse aggregate and riprap to provide for filtering/ detention capability.
- » Locate the outlet crest at least 1 foot below the top of the embankment.
- » Use a geotextile at the stone-soil interface to act as a separator.
- » Provide an emergency overflow spillway for rainstorms that exceed the capacity of the sediment basin.

SEE ALSO

A2-10 Sediment Trap
A3-9 Detention Basin

NMDOT STANDARD DRAWING

603-01-5/7 Sediment Basin

NMDOT TЕСP
(TEMPORARY EROSION AND
SEDIMENT CONTROL PLAN)
SYMBOL

SB

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NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM MANUAL
Appendix A2 - Erosion and Sediment Control

A2-11 SEDIMENT BASIN CONTINUED

LIMITATIONS

- » Sediment basins can be rather large, depending on site conditions.
- » Sediment basins require comprehensive planning for construction phasing prior to implementation.
- » Storm events that exceed the design storm event can cause damage to the spillway structure of the basin and cause unexpected flooding around and downstream of the basin.

MAINTENANCE REQUIREMENTS

- » Remove sediment and re-grade basin to its original dimensions when the capacity of the impoundment has been reduced significantly from its original storage capacity. The removed sediment shall be stockpiled or redistributed in areas that are protected from erosion.
- » Inspect basin outlet structure and emergency spillway (if present) after major storm events to inspect for damage and to ensure that obstructions are not diminishing the effectiveness of the structures.

Revision 03 December 2020

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM MANUAL
Appendix A2 - Erosion and Sediment Control

A2-11 SEDIMENT BASIN CONTINUED

BASIN INLET SHALL ENTER AT FURTHEST DISTANCE TO OUTLET AND SHALL CONSIST OF TEMPORARY SLOPE DRAIN SEE SLOPE DRAIN BMP A2-9

OUTLET BASIN

RIP-RAP APPROX

BASIN LENGTH

BASIN WIDTH

0.5% SLOPE

SEEDMENT FOREBAY

PRINCIPAL SPILLWAY

ROCK BERM

FOREBAY BERM

TOP OF EMBANKMENT

RIP-RAP STABILIZATION

Sediment basin - PLAN VIEW.

SPILLWAY WIDTH

2' MIN

DETAIL - EMERGENCY SPILLWAY

TOP OF EMBANKMENT

EMERGENCY SPILLWAY (SEEN DETAIL)

PRINCIPAL SPILLWAY

0.5% SLOPE

ROCK BERM

FOREBAY BERM

MIN 2'

STORMWATER RUNOFF

FLOW

RIP-RAP APPROX

BARREL

RIP-RAP STABILIZATION

BASIN INLET

Sediment basin - SECTION VIEW.

CPESC Stamp

CPESC
James Tolman
No. 10631

7/12

Residence Inn & Food Hall

PROJECT TITLE

ALBUQUERQUE, NM, BERNALILLO COUNTY

CITY, COUNTY, STATE

02/04/2025

DATE

B. Henriksen / J. Tolman

DRAWN BY

INSPECTIONS PLUS

Silt Fence

Filter Cloth

16" Min.

8" Min.

16" Min.

10' Max.

Posts

Post

Filter Cloth

Compacted Fill

6" Min.

8" Min.

Definition

A temporary barrier of Geotextile Class "F" used to intercept sediment laden runoff from small drainage areas.

Purpose

The purpose of silt fence is to reduce runoff where velocity and allow the deposition of transported sediment to occur. Limits imposed by ultraviolet light on the stability of the fabric will dictate the maximum period that the silt fence may be used.

1. Silt fence provides a barrier that can collect and hold debris and soil, preventing the material from entering critical areas, streams, streets, etc.

2. Silt fence can be used where the installation of a dike would destroy sensitive areas; woods, wetlands, etc.

Conditions where the Practice Applies

Silt Fence is limited to intercepting sheet flow runoff from limited distances according to slope. It provides filtering and velocity dissipation to promote gravity settling of sediment.

Design Criteria

Wood or Steel Posts may be used in certain instances. Silt fence should be placed as close to the contour as possible. No section of silt fence should exceed a grade of 5 percent for a distance more than 50 feet. Where ends of the geotextile fabric come together, the ends shall be overlapped, folded, and stapled to prevent sediment bypass.

* If wood posts are to be used they must meet the following specifications:
1 1/2" X 1 1/2" minimum square posts, or 1 3/4" minimum diameter round post

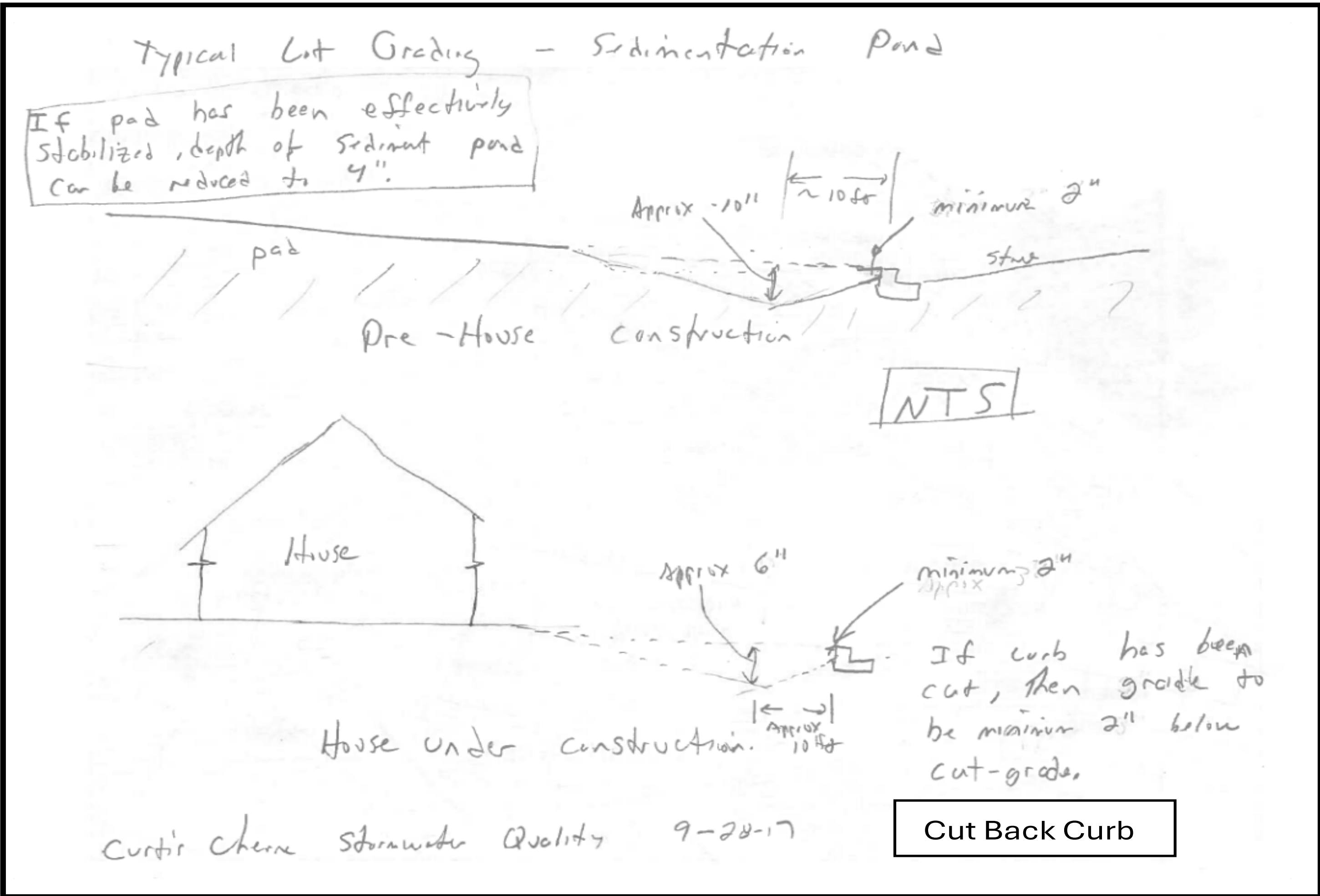
* If metal posts are to be used they must be standard "T" or "U" post weighing not less than 1 lb. per linear foot.



The length of the flow contributing to silt fence shall conform to the following limitations.

Slope (%)	Slope Steepness	Slope Length (Ft.) (Maximum)	Silt Fence Length (Ft.) (Maximum)
2	0-50:1	Unlimited	Unlimited
2-10	50:1-10:1	125	1,000
10-20	10:1-5:1	100	750
20-33	5:1-3:1	60	500
33-50	3:1-2:1	40	250
50 +	> 2:1	20	125


4

9 of 12



 CPESC Stamp	Residence Inn & Food Hall PROJECT TITLE		
	ALBUQUERQUE, NM, BERNALILLO COUNTY CITY, COUNTY, STATE		
	02/04/2025 DATE		 INSPECTIONS PLUS
	B. Henriksen / J. Tolman DRAWN BY		

Stabilized Drive Approach



Description
A stabilized layer of aggregate or road base laid in preparation for a driveway or drive approach on a residential lot. Stabilized drive approaches are used as the only vehicular access to a lot so that vehicles do not compact or track out disturbed soils.

Application
The purpose of the stabilized drive approach is to reduce tracking of sediment onto streets or public rights-of-way and provide a stable area for entrance or exit from the individual lot.

Conditions Where the Practice Applies

1. Stabilized drive approaches shall be located where a future driveway or drive approach will be paved with concrete.
2. Stabilized drive approaches should only apply to individual homes/building lots.
3. Stabilized drive approaches should not be used on existing pavement.

Design/Installation

1. Length - Minimum of 10'-0" (30'-0" preferred for single residence lot/commercial pad or as space will allow).
2. Width - Minimum of 10'-0", should be flared at the existing road to provide a turning radius.
3. Road base or similar aggregate should be used as normal in preparation for a driveway
4. Location - The stabilized drive approach will be the only access point for vehicular traffic to the site. Vehicle traffic will not be allowed on areas of the site other than the stabilized drive approach.

Revision 03 December 2020

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM MANUAL
Appendix A1 - Construction Planning, Management and Clean Up

A1-10 CONCRETE WASTE MANAGEMENT



Image credit: SoCal Sandbags

DESCRIPTION
Concrete waste management reduces or prevents the discharge of pollutants to stormwater by implementing management measures.

PRIMARY USE
Concrete waste products can negatively affect the pH of water, harm aquatic life, and contribute to total suspended solids in stormwater. Concrete waste management strategies keep the discharge of concrete waste materials from affecting local stormwater and drainage systems during concrete construction operations.

Concrete construction operations that have the potential for contaminating receiving waters include, but are not limited to:

- » Pouring and finishing concrete slabs on grade and concrete paving.
- » Pouring vertical cast in place concrete (header curbs, concrete curbs and gutters, retaining walls, concrete footings).
- » Drilling, cutting, polishing, and curing concrete.
- » Washing concrete dust, and exposed aggregate concrete.
- » Spilling concrete.
- » Dampening freshly made concrete.
- » Creating and applying concrete slurry coat.
- » Building masonry structures.
- » Finishing surfaces with stucco.
- » Washing equipment.

SEE ALSO

A1-9 Spill Prevention Plan

A1-11 Solid Waste Management

A1-12 Hazardous Waste Management

NMDOT TESCP
(TEMPORARY EROSION AND
SEDIMENT CONTROL PLAN)
SYMBOL

CWM

Revision 03 December 2020

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM MANUAL
Appendix A1 - Construction Planning, Management and Clean Up

A1-10 CONCRETE WASTE MANAGEMENT CONTINUED

APPLICATION
Concrete waste management strategies include:

- » Avoid mixing excess amounts of fresh concrete or cement onsite.
- » Perform washout of concrete trucks offsite or in designated areas on site at least 50 feet from storm drains, open ditches or bodies of water.
- » Block drop inlets and direct concrete wastewater into temporary pits where the concrete can set, be broken up, and then disposed of properly.
- » Collect and return sweepings to aggregate base stockpile or dispose of properly.
- » Train employees and subcontractors in proper concrete waste management.

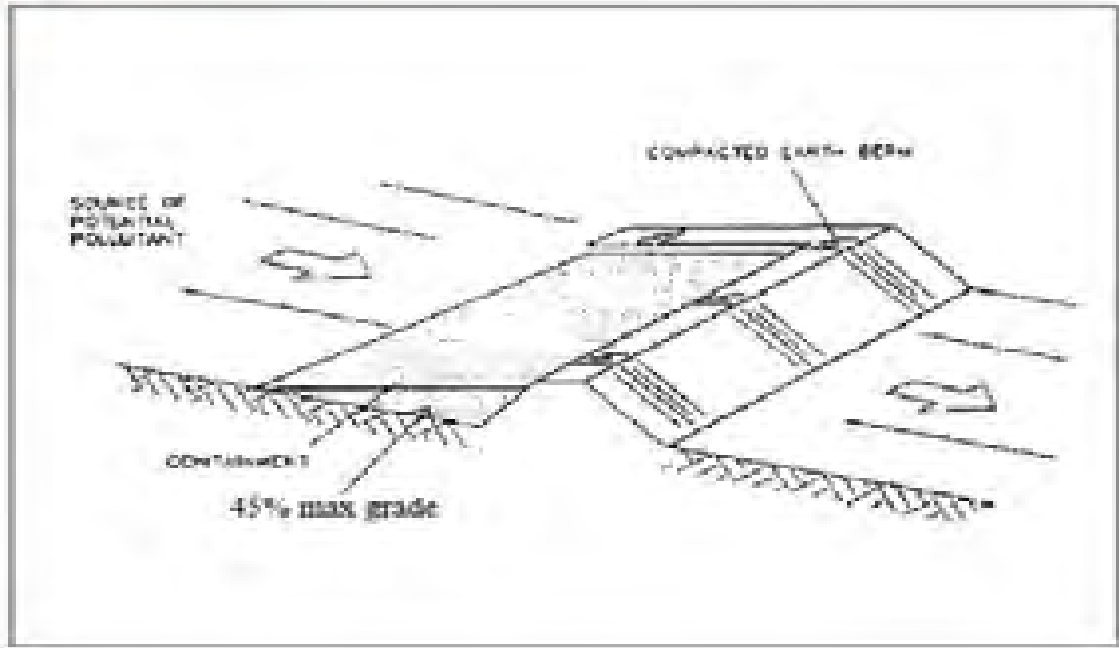
LIMITATIONS

- » Offsite washout of concrete wastes may not always be possible.

MAINTENANCE REQUIREMENTS

- » Ensure subcontractors properly manage concrete wastes.
- » Dispose of hardened concrete on a regular basis.
- » Regularly inspect drop inlet protection measures.

BMP: Earth Berm Barrier



DESCRIPTION:
A temporary containment control constructed of compacted soil.

- APPLICATION:**
- Construct around waste and materials storage area.
 - Construct around staging and maintenance areas.
 - Construct around vehicle parking and servicing areas.

- INSTALLATION/APPLICATION CRITERIA:**
- Construct an earthen berm down hill of the area to be controlled. The berm should surround fueling facilities and maintenance areas on three sides to provide containment.
 - Berm needs to be a minimum of 1 foot tall by 1 foot wide and be compacted by earth moving equipment.

- LIMITATIONS:**
- Not effective on steep slopes.
 - Limits access to controlled area.
 - Personnel need to quickly respond to spills with remedial actions.

- MAINTENANCE:**
- Observe daily for any non-stormwater discharge.
 - Look for runoff bypassing ends of berms or undercutting berms.
 - Repair or replace damaged areas of the berm and remove accumulated sediment.
 - Recompact soil around berm as necessary to prevent piping.

BMP: Outlet Protection

OP
Construction



DESCRIPTION:
A rock outlet protection is a physical device composed of rock, grouted riprap, or concrete rubble which is placed at the outlet of a pipe to prevent scour of the soil caused by high pipe flow velocities, and to absorb flow energy to produce non-erosive velocities.

- APPLICATIONS:**
- Wherever discharge velocities and energies at the outlets of culverts, conduits, or channels are sufficient to erode the next downstream reach.
 - Rock outlet protection is best suited for temporary use during construction because it is usually less expensive and easier to install than concrete aprons or energy dissipators.
 - A sediment trap below the pipe outlet is recommended if runoff is sediment laden.
 - Permanent rock riprap protection should be designed and sized by the engineer as part of the culvert, conduit or channel design.
 - Grouted riprap should be avoided in areas of freeze and thaw because the grout will break up.

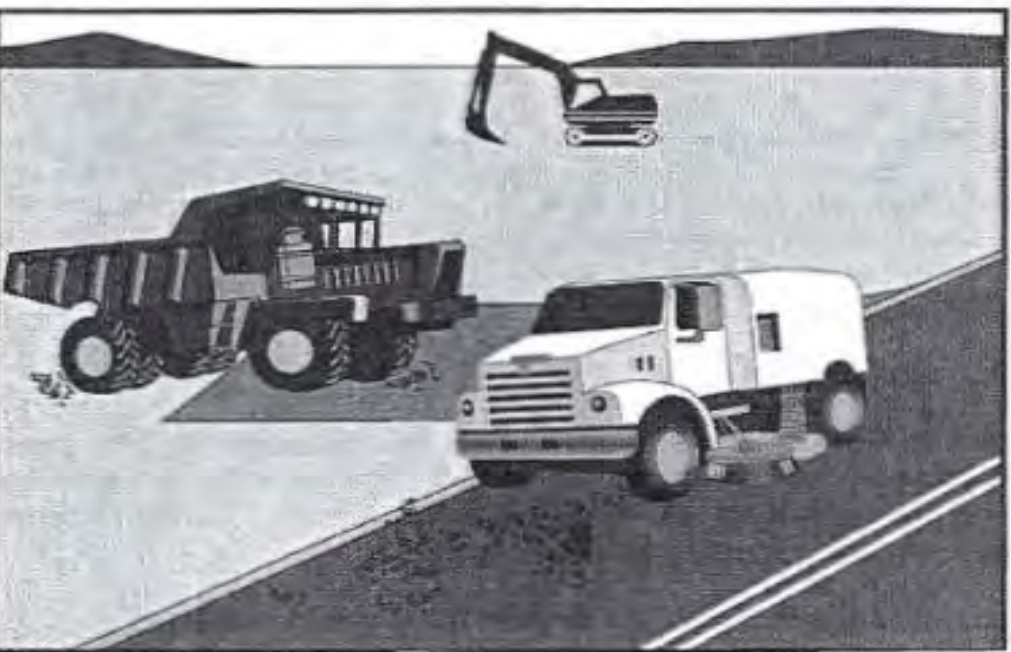
INSTALLATION/APPLICATION CRITERIA:
Rock outlet protection is effective when the rock is sized and placed properly. When this is accomplished, rock outlets do much to limit erosion at pipe outlets. Rock size should be increased for high velocity flows. Best results are obtained when sound, durable, angular rock is used.

- LIMITATIONS:**
- Large storms often wash away the rock outlet protection and leave the area susceptible to erosion.
 - Sediment captured by the rock outlet protection may be difficult to remove without removing the rock.
 - Outlet protection may negatively impact the channel habitat.

- MAINTENANCE:**
- Inspect after each significant rain for erosion and/or disruption of the rock, and repair immediately.
 - Grouted or wire-tied rock riprap can minimize maintenance requirements.

Street Sweeping and Vacuuming

SE-7



- Objectives**
- EC Erosion Control
 - SE Sediment Control
 - TR Tracking Control
 - WE Wind Erosion Control
 - NS Non-Stormwater Management Control
 - WM Waste Managementland Material Pollution Control

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

None

Description and Purpose
Street sweeping and vacuuming includes use of self-propelled and walk-behind equipment to remove sediment from streets and roadways, and to clean paved surfaces in preparation for final paving. Sweeping and vacuuming prevents sediment from the project site from entering storm drains or receiving waters.



Suitable Applications
Sweeping and vacuuming are suitable anywhere sediment is tracked from the project site onto public or private paved streets and roads, typically at points of egress. Sweeping and vacuuming are also applicable during preparation of paved surfaces for final paving.

Limitations
Sweeping and vacuuming may not be effective when sediment is wet or when tracked soil is caked (caked soil may need to be scraped loose).

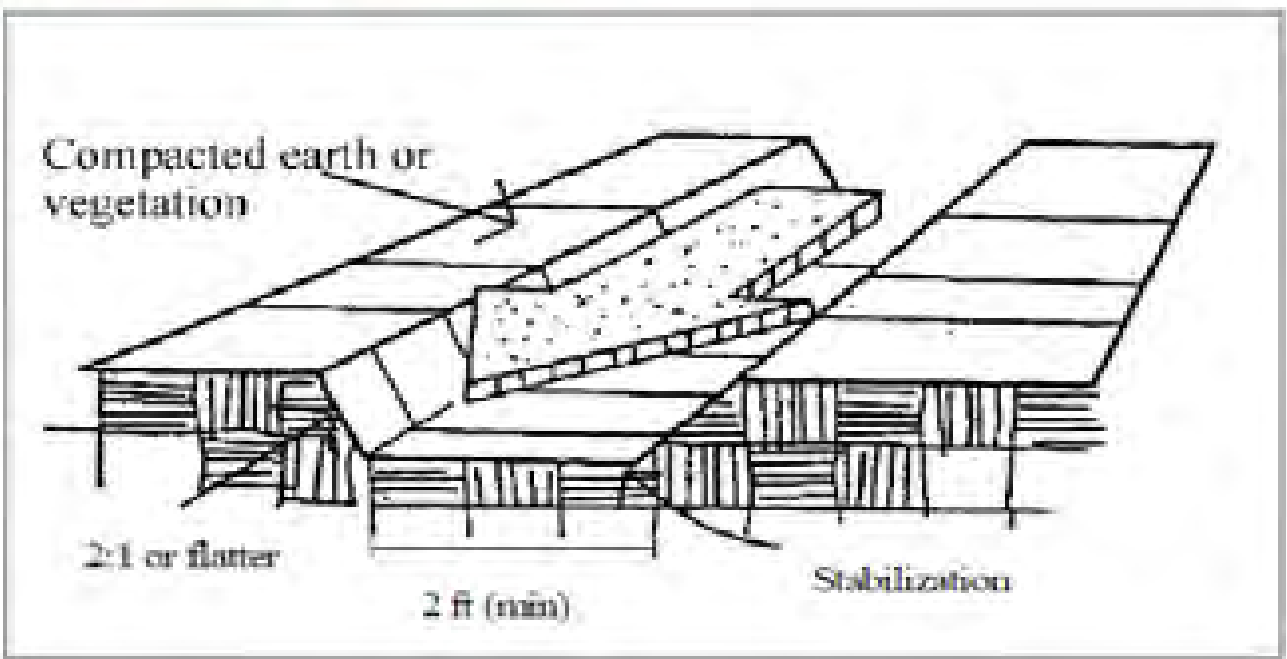
- Implementation**
- Controlling the number of points where vehicles can leave the site will allow sweeping and vacuuming effort to be focused, and perhaps save money.
 - Inspect potential sediment tracking locations daily.
 - Visible sediment tracking should be swept or vacuumed on a daily basis.

January 2003

1 of 2

 CPESC Stamp	Residence Inn & Food Hall	
	PROJECT TITLE	
	ALBUQUERQUE, NM, BERNALILLO COUNTY	
	CITY, COUNTY, STATE	
02/04/2025	DATE	 INSPECTIONS PLUS
B. Henriksen / J. Tolman	DRAWN BY	

BMP: Temporary Drains And Swales



DESCRIPTION:
Temporary drains and swales are used to divert off-site runoff around the construction site, divert runoff from stabilized areas around disturbed areas, and direct runoff into sediment.

- APPLICATIONS:**
- Temporary drains and swales are appropriate for diverting any upslope runoff around unstabilized or disturbed areas of the construction site.
 - Prevent slope failures. Prevent damage to adjacent property. Prevents erosion and transport of sediments into water ways. Increases the potential for infiltration. Diverts sediment-laden runoff into sediment basins or traps.

- INSTALLATION/APPLICATION:**
- Temporary drainage swales will effectively convey runoff and avoid erosion if built properly.
 - Size temporary drainage swales using local drainage design criteria. A permanent drainage channel must be designed by a professional engineer (see the local drainage design criteria for proper design).
 - At a minimum, the drain/swale should conform to predevelopment drainage patterns and capacities.
 - Construct the drain/swale with an uninterrupted, positive grade to a stabilized outlet. Provide erosion protection or energy dissipation measures if the flow out of the drain or swale can reach an erosive velocity.

- LIMITATIONS:**
- Temporary drains and swales or any other diversion of runoff should not adversely impact upstream or downstream properties.
 - Temporary drains and swales must conform to local floodplain management requirements.

SE-7 Street Sweeping and Vacuuming

- Do not use kick brooms or sweeper attachments. These tend to spread the dirt rather than remove it.
- If not mixed with debris or trash, consider incorporating the removed sediment back into the project.

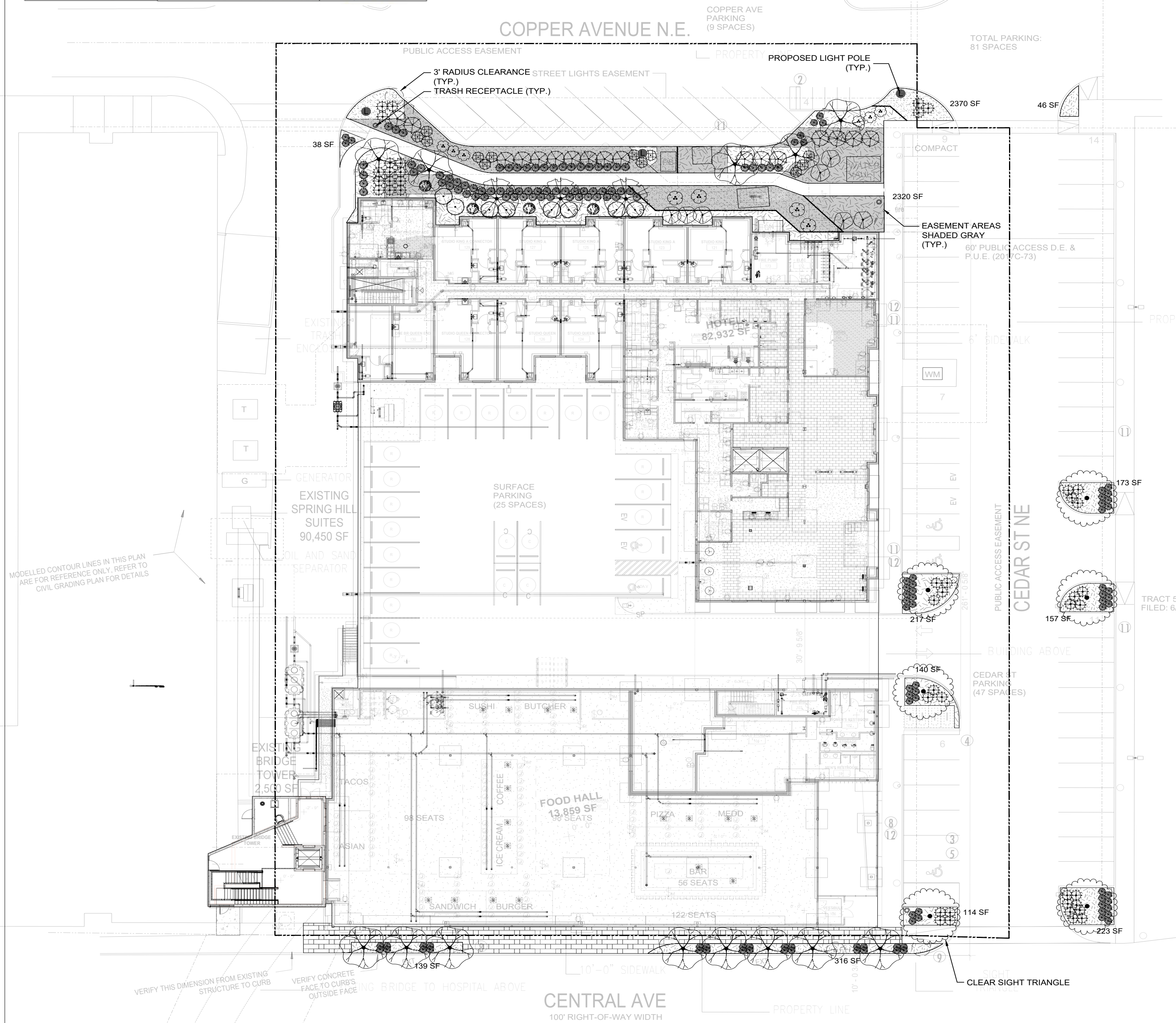
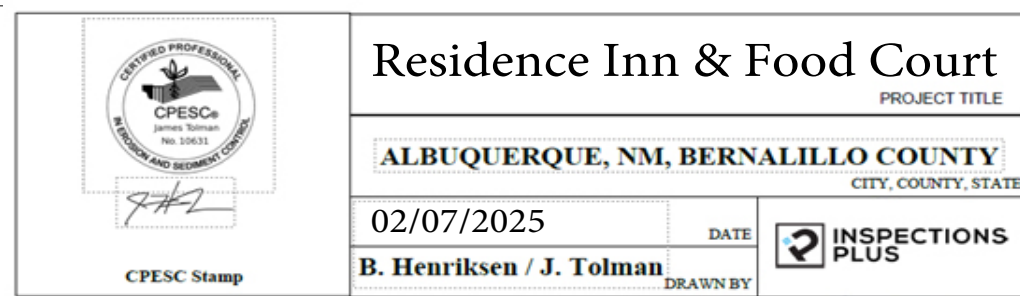
Costs
Rental rates for self-propelled sweepers vary depending on hopper size and duration of rental. Expect rental rates from \$58/hour (3 yd³ hopper) to \$88/hour (9 yd³ hopper), plus operator costs. Hourly production rates vary with the amount of area to be swept and amount of sediment. Match the hopper size to the area and expect sediment load to minimize time spent dumping.

- Inspection and Maintenance**
- Inspect BMPs prior to forecast rain, daily during extended rain events, after rain events, weekly during the rainy season, and at two-week intervals during the non-rainy season.
 - When actively in use, points of ingress and egress must be inspected daily.
 - When tracked or spilled sediment is observed outside the construction limits, it must be removed at least daily. More frequent removal, even continuous removal, may be required in some jurisdictions.
 - Be careful not to sweep up any unknown substance or any object that may be potentially hazardous.
 - Adjust brooms frequently, maximize efficiency of sweeping operations.
 - After sweeping is finished, properly dispose of sweeper wastes at an approved dumpsite.

References
Stormwater Quality Handbooks - Construction Site Best Management Practices (BMPs) Manual, State of California Department of Transportation (Caltrans), November 2000.
Labor Surcharge and Equipment Rental Rates, State of California Department of Transportation (Caltrans), April 1, 2002-March 31, 2003.

2 of 2

January 2003



STREET LEVEL LANDSCAPE PLAN

SITE DATA

GROSS LOT AREA	74,802 SF
BUILDING AREA	43,235 SF
NET LOT AREA (NET.)	31,567 SF

LANDSCAPE AREA (LAN.)

REQUIRED	4,735 SF (15% OF NET.)
PROPOSED	6,580 SF (20% OF NET.)

VEGETATION COVERAGE (VEG.)

REQUIRED	4,935 SF (75% OF LAN.)
PROPOSED	13,828 SF (210% OF LAN.)

GROUND-LEVEL PLANTS COVERAGE

REQUIRED	1,234 SF (25% OF VEG.)
PROPOSED	2,572 SF (52% OF VEG.)

STREET TREES (1 PER 25 LF)

REQUIRED	17	
PROPOSED	17	
MULCH		
REQUIRED GRAVEL MULCH		MAX. 50%
PROPOSED GRAVEL MULCH		28%(1,838 SF)
PROPOSED ORGANIC MULCH		72%(4,742 SF)


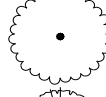
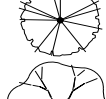







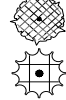






PARKING LOT PLANTING DOESN'T APPLY

TOTAL	
REQUIRED	17 TREES
PROPOSED	24 TREES








GENERAL NOTES

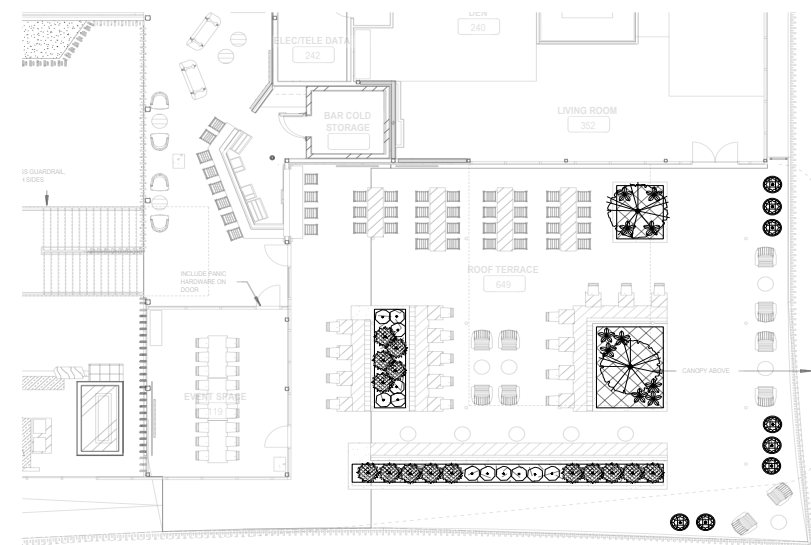
1. IN CASE OF DISCREPANCIES IN PLANT QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL PREVAIL. THE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES AND SPECIFICATIONS.
 2. POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR AND SHALL BE MAINTAINED BY THE LANDSCAPE CONTRACTOR THROUGHOUT THE PROJECT.
 3. GRADING OF THE SITE PER THE GRADING PLAN IS NOT INCLUDED IN THE SCOPE OF WORK OF THE LANDSCAPE CONTRACTOR. GRADES PER THE GRADING PLAN SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR TO THE PLANNING DIRECTOR BY OTHER MEANS.
 4. ALL MAINTENANCE OF THE LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY OWNER. NO CONTRACTUAL MAINTENANCE SHALL BE INCLUDED UNLESS OTHERWISE SPECIFIED BY THE PLANNING DIRECTOR.
 5. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ANY RESTRICTIONS OF IRRIGATION WATER USE BY ANY WATER-SENSITIVE BODY.
 6. PLANTING (a) A MINIMUM OF SPECIES MUST BE USED IN THE LANDSCAPED AREA. (b) PER 5-6(c)(4)(b) ONLY TREES AND SHRUBS SELECTED FROM THE OFFICIAL ALBUQUERQUE PLANT PALETTE OF LOW WATER USE, DROUGHT TOLERANT, OR XERIC SPECIES SHALL BE REQUIRED. (c) THE CONTRACTOR SHALL FOLLOW THE REQUIREMENTS OF THIS SUBSECTION 14-16-5-6(c) (GENERAL LANDSCAPING STANDARDS), EXCEPT THAT, UPON PRESENTATION OF EVIDENCE, THE RELEVANT DECISION-MAKING BODY MAY ALLOW ALTERNATIVE SPECIES OR CULTIVARS THAT MEET ALL OF THE FOLLOWING REQUIREMENTS:
 1. MEET THE INTENDED PURPOSE OF THAT TYPE OF LANDSCAPING.
 2. NOT BE HAZARDOUS.
 3. ARE NOT IDENTIFIED AS INVASIVE ON A CITY OR STATE PLANT LIST.
 4. ARE NOT LISTED IN THE CITY'S WEED IDENTIFICATION HANDBOOK.
 5. ARE EXTREMELY HARDY TO THE NEW MEXICO CLIMATE.
 7. PER 5-6(3)(3)(a), 3 SHADE TREES ALONG REQUIRED PEDESTRIAN WALKWAYS ARE REQUIRED PURSUANT TO SUBSECTION 14-16-5-6(c)(4)(b) (REQUIRED PLANT MATERIALS AND IDENTIFICATION). SHADE TREES SHALL BE PLANTED AND APPLIED TO THE ON-CENTER ARE REQUIRED ALONG ALL REQUIRED PEDESTRIAN WALKWAYS. IF THE WALKWAY IS LESS THAN FEET LONG, AT LEAST ONE TREE IS REQUIRED, OR, WHERE A SUFFICIENT SPACE FOR A TREE, TREES OF AT LEAST 8 FEET HIGH FOR AT LEAST 5 FEET ALONG THE WALKWAY SHALL BE PROVIDED.
 8. PER 5-6(1)(f)(1) OF 1 THE IDO, ANY PARKING LOT LOCATED WITHIN 30 FEET OF THE FRONT LOT LINE SHALL BE SCREENED FROM THE STREET EITHER BY A MASONRY WALL OR BY A SCREEN OF CONSTRUCTED OR PLANTED SHRUBS. THE COLOR OF THE STREET-FACING FAÇADE OF THE PRIMARY BUILDING (BUT EXCLUDING EXPOSED CMU BLOCK) AT LEAST 3 BUT NOT MORE THAN 4 FEET IN HEIGHT, OR BY A LANDSCAPE SCREENING AT LEAST 10 FEET IN WIDTH WITH A CONTINUOUS LINE OF EVERGREEN SHRUBBERY 3 FEET IN HEIGHT, OR BY OTHER MEANS THAT THE PLANNING DIRECTOR DETERMINES PROVIDES EQUAL OR BETTER SCREENING OF THE HEADLIGHTS OF PARKED VEHICLES.
 9. PER 5-6(c)(9)(a), ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL BE SUBJECT TO THE REQUIREMENTS OF THE PLANNING DIRECTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.
 10. PER 5-6(c)(9)(b), ALL TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8 FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9 CLEARANCE OVER THE STREET SURFACE.
 11. PER 5-6(c)(9)(c), ALL TREES, BUT NOT SHRUBS, WITH A 6" DIAMETER DELINEATED ON PLANS FOR LANDSCAPE AREAS AND 5' RADIUS RINGS AROUND TREES.
 12. PURSUANT TO 5-6(c)(7)(a), ALL VEGETATION HAS TO BE MAINTAINED A MINIMUM OF 3" IN ANY DIRECTION FROM FIRE HYDRANTS, FIRE VENTS, HOSE BIBS, MANHOLES, HYDRANTS AND FIRE DEPARTMENT CONNECTIONS.
 13. PURSUANT TO 5-6(c)(10)(a), TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS OR IN ANY AREAS WHERE THE PLANNING DIRECTOR DETERMINES THE LANDSCAPING WOULD ACHIEVE ITS INTENDED PURPOSE.
 14. PURSUANT TO 5-6(c)(10)(b), TREES SHALL NOT BE PLANTED WITHIN 10' IN ANY DIRECTION FROM THE CENTER LINE OF A SEWER OR WATER MAIN.
 15. PER 5-6(c)(11), THE SEWER OR WATER MAIN SHALL BE PROTECTED BY A CLEAR LIGHT TRIANGLE NOTE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERIES BETWEEN 3' AND 6' TALL, (AS MEASURED FROM THE GUTTER PAN) SHALL NOT BE ALLOWED WITHIN THE CLEAR LIGHT TRIANGLE.

PLANT SCHEDULE

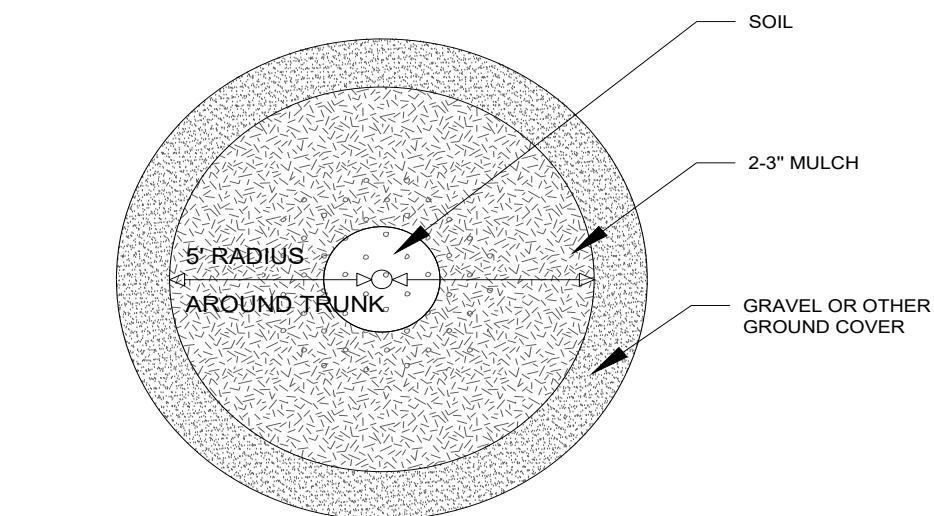
SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
DECIDUOUS TREES					
	3	CRATAEGUS AMBIGUA / RUSSIAN HAWTHORN	2" B&B	15' X 15'	707
	6	FRAXINUS PENNSYLVANICA 'URBANITE' / URBANITE GREEN ASH	2" B&B	50' X 30'	177
	2	LIGUSTRUM JAPONICUM / JAPANESE PRIVET	15 GAL	6' X 8'	50
	13	ULMUS PROPINQUA 'EMERALD SUNSHINE' / EMERALD SUNSHINE ELM	2" B&B	35' X 25'	491
				SUBTOTAL	11,256 SF
SYMBOL QTY BOTANICAL / COMMON NAME SIZE H X W COVERAGE					
DECIDUOUS SHRUBS					
	12	BERBERIS THUNBERGII 'ROSE GLOW' / ROSE GLOW JAPANESE BARBERY	5 GAL	4' X 4'	13
	4	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SPIREA	5 GAL	3' X 3'	7
	8	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL	4' X 4'	13
	7	VIBURNUM X 'BURKWOODII' / BURKWOOD VIBURNUM	5 GAL	6' X 5'	20
DESERT ACCENTS					
	4	DASYLIRION TEXANUM / TEXAS SOTOL	5 GAL	5' X 5'	20
	6	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL	3' X 4'	13
EVERGREEN SHRUBS					
	17	JUNIPERUS SABINA 'BUFFALO' / BUFFALO JUNIPER	5 GAL	4' X 6'	28
FLOWERING PLANTS					
	10	HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	1 GAL	1' X 2'	3
	12	SEDUM X 'AUTUMN JOY' / AUTUMN JOY SEDUM	1 GAL	2' X 2'	3
GRASSES					
	86	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL	3' X 3'	7
	82	HELICOTRICHON SEMPERVIRENS / BLUE OAT GRASS	1 GAL	2' X 2'	3
	8	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY' / LITTLE BUNNY FOUNTAIN GRASS	5 GAL	1' X 2'	3
GROUNDCOVERS					
	44	MAHONIA REPENS / CREEPING MAHONIA	5 GAL	2' X 4'	13
				SUBTOTAL	2,572 SF
				TOTAL	13,828 SF

MATERIAL SCHEDULE

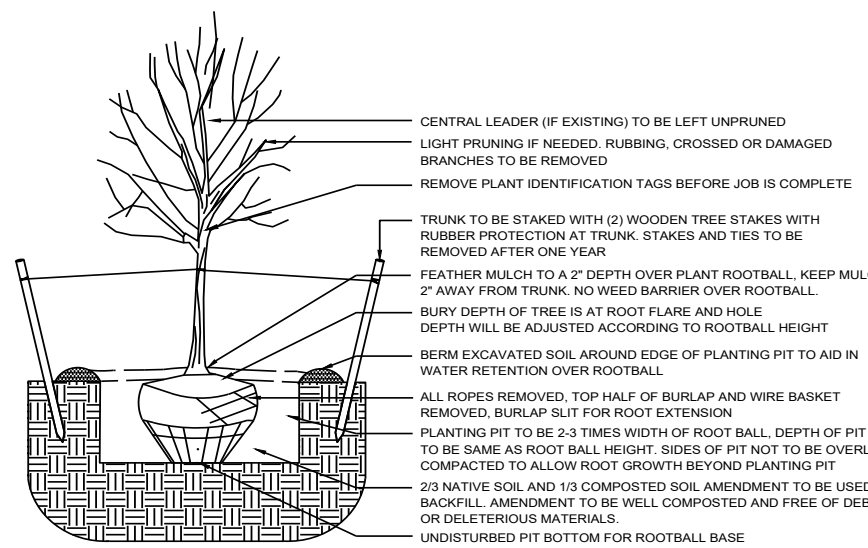
SYMBOL	DESCRIPTION
	TRASH RECEPTACLE
	DECORATIVE POTS - MANUFACTURE/STYLE TBD
SYMBOL	DESCRIPTION
	AMARETTO 5/8 - 1 1/4" GRAVEL 3" DEPTH OVER GEOTEXTILE
	NATIVE MULCH 3" DEPTH OVER GEOTEXTILE
	PAVERS TO MATCH ADJACENT PROPERTY
	VINCA MINOR (PERIWINKLE) WITH NATIVE MULCH AT 3" DEPTH
	1/4"x4" RAW STEEL EDGING



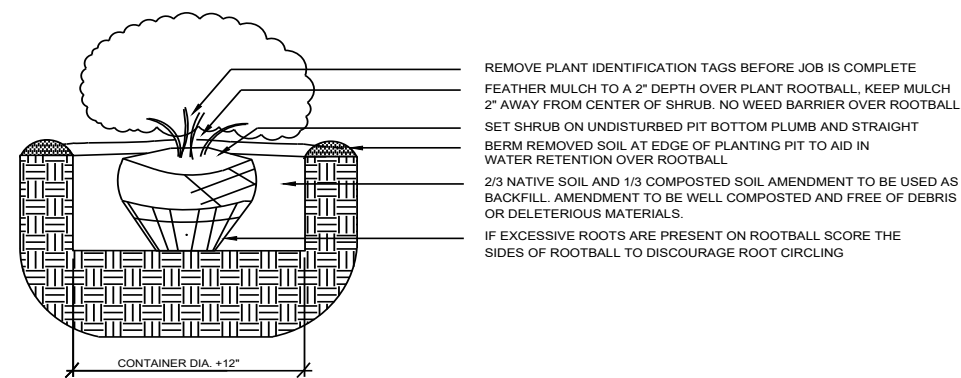
SECOND FLOOR LANDSCAPE PLAN



① TREE DETAIL



2 TREE PLANTING DETAIL



3 SHRUB PLANTING DETAIL

OWNER/DEVELOPER
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jrogers@titan-development.com

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jreed@urbanstruct.com

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214.420.9111 | Chad Leveritt
chad.leveritt@summitnep.com

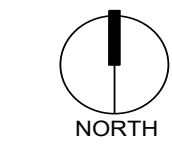
LANDSCAPE ARCHITECT
Yellowstone Landscape
7525 Second Street NW
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cmcnallen@yellowstonelandscape.com

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318.812.7709 | Jessie Melson
jessiem@imrhotels.com

INTERIORS - FOOD HALL
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brandon@livstudio.net

FOOD HALL CONSULTANT
Hammer and Plate Consulting
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720.936.6772 | Kate Kaufman
kate@hammerandplate.com

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ALBUQUERQUE, NM 87102

LANDSCAPE PLAN

210046

LS-01
SHEET NUMB