

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 26, 2026

Darby Miera
RBA Architecture
1104 Park Ave SW
Albuquerque, NM 87102

darby@rba81.com

Re: Sycamore Villa
1400 Central Ave, SE
Traffic Circulation Layout
Engineer's Stamp 1/5/26 (H16D083F)-TRANS-2026-00008

Dear Miera,

The TCL submittal received 1-5-26 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, and the TCL to the [ABQ-PLAN](#) for log in and evaluation by Transportation.

Albuquerque

NM 87103

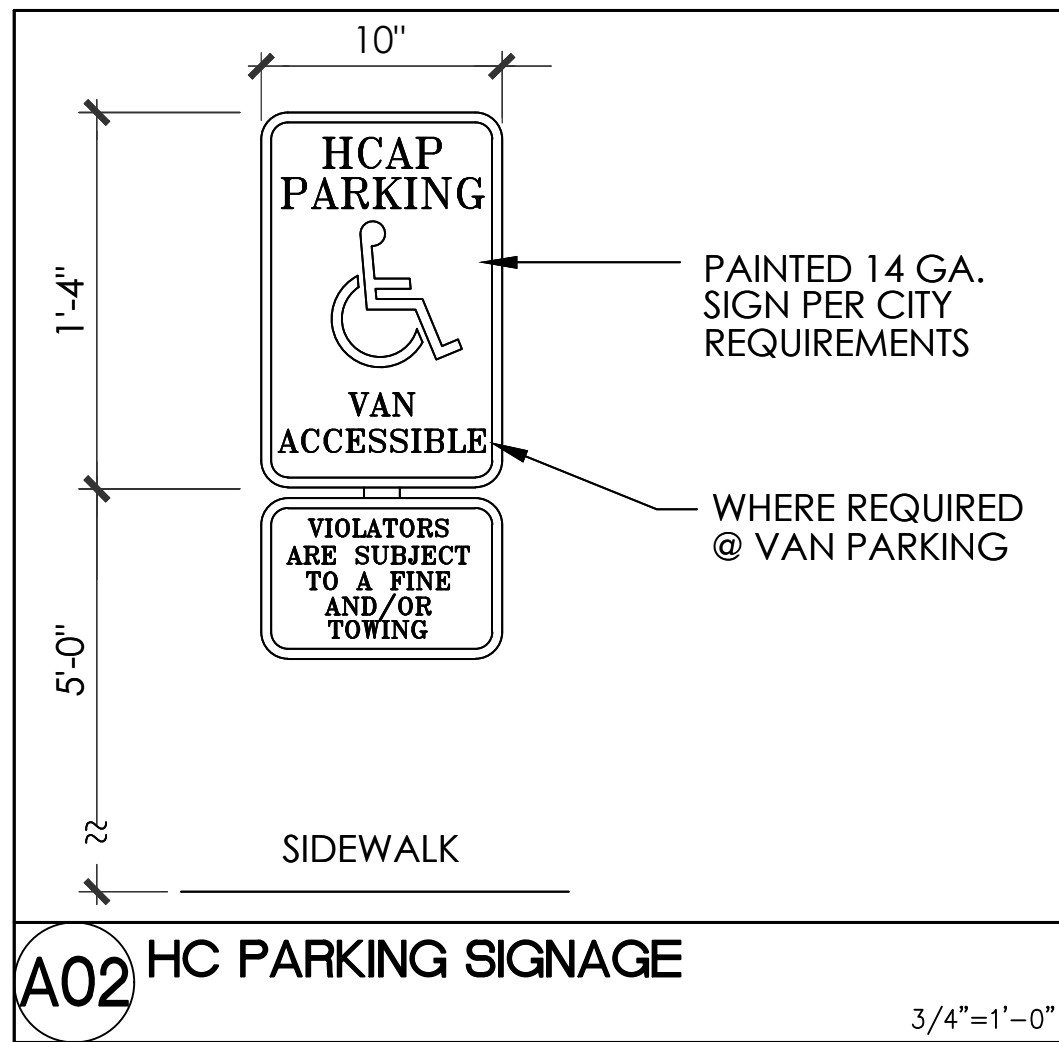
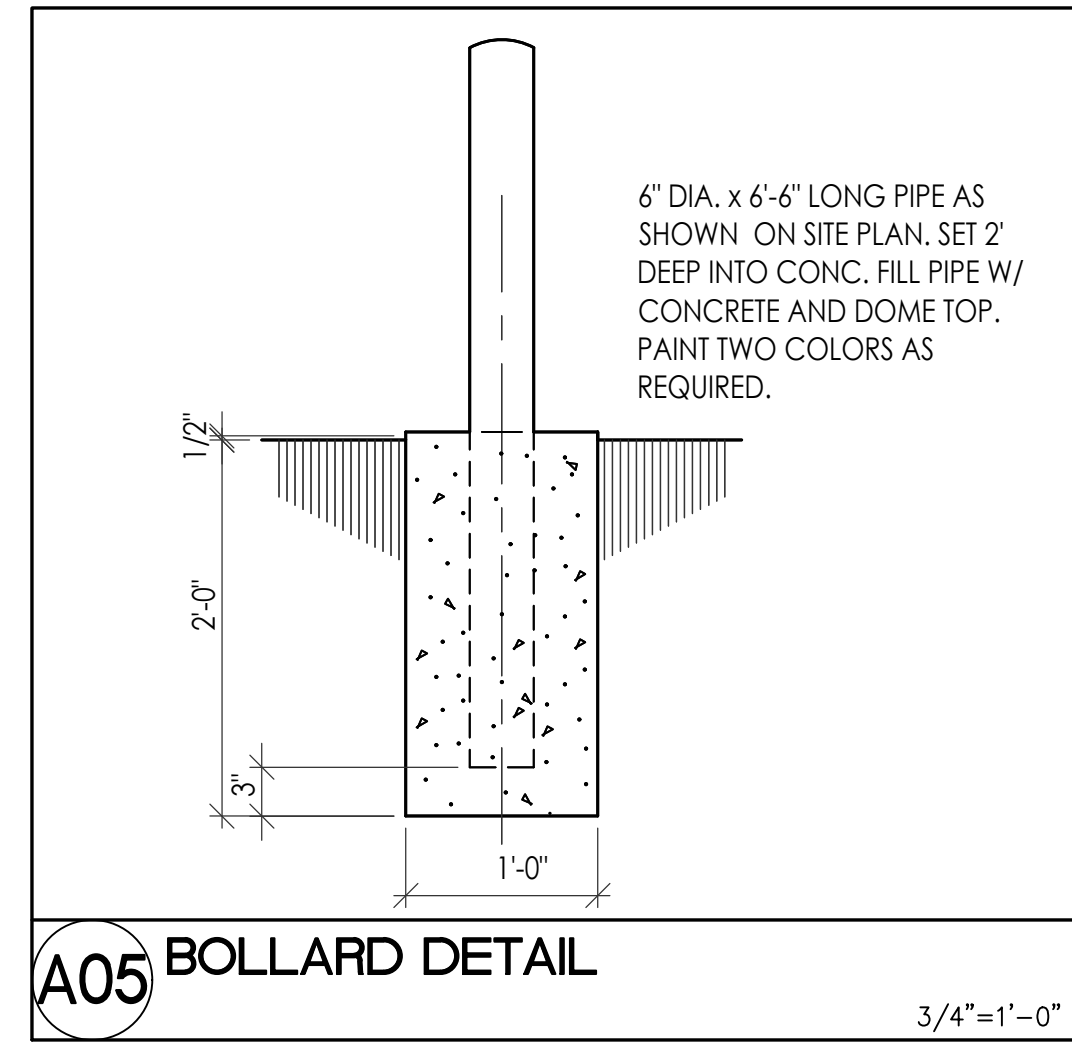
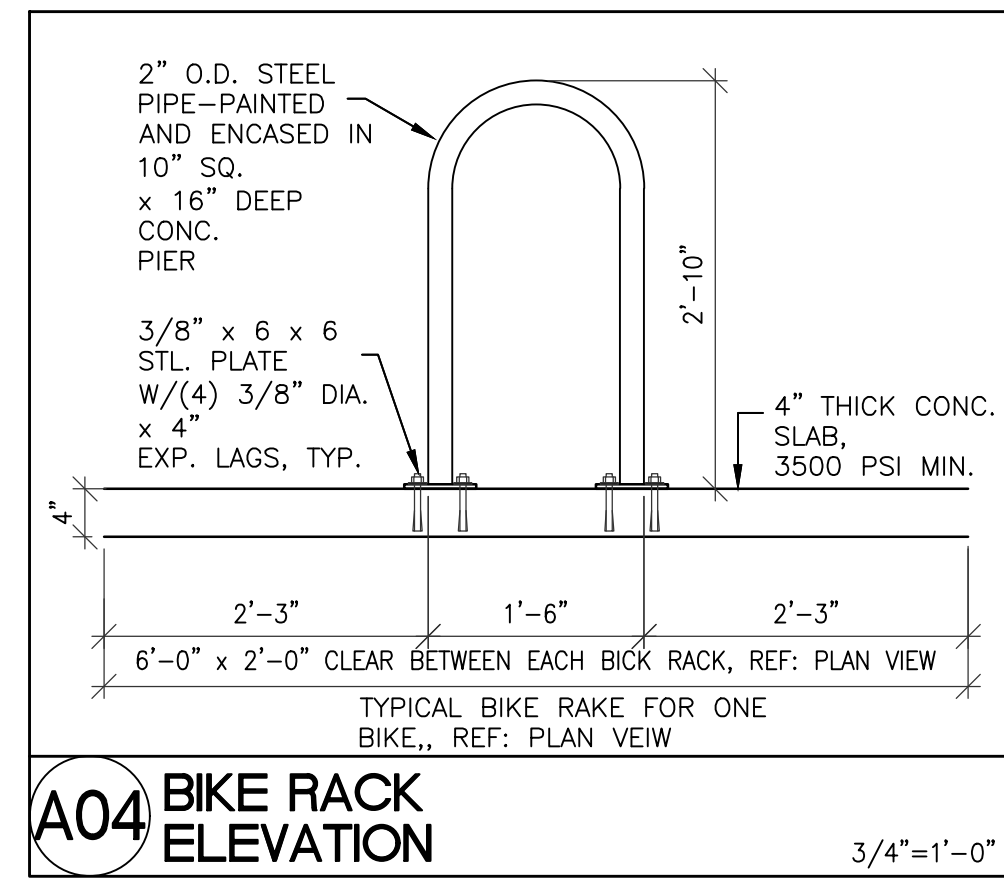
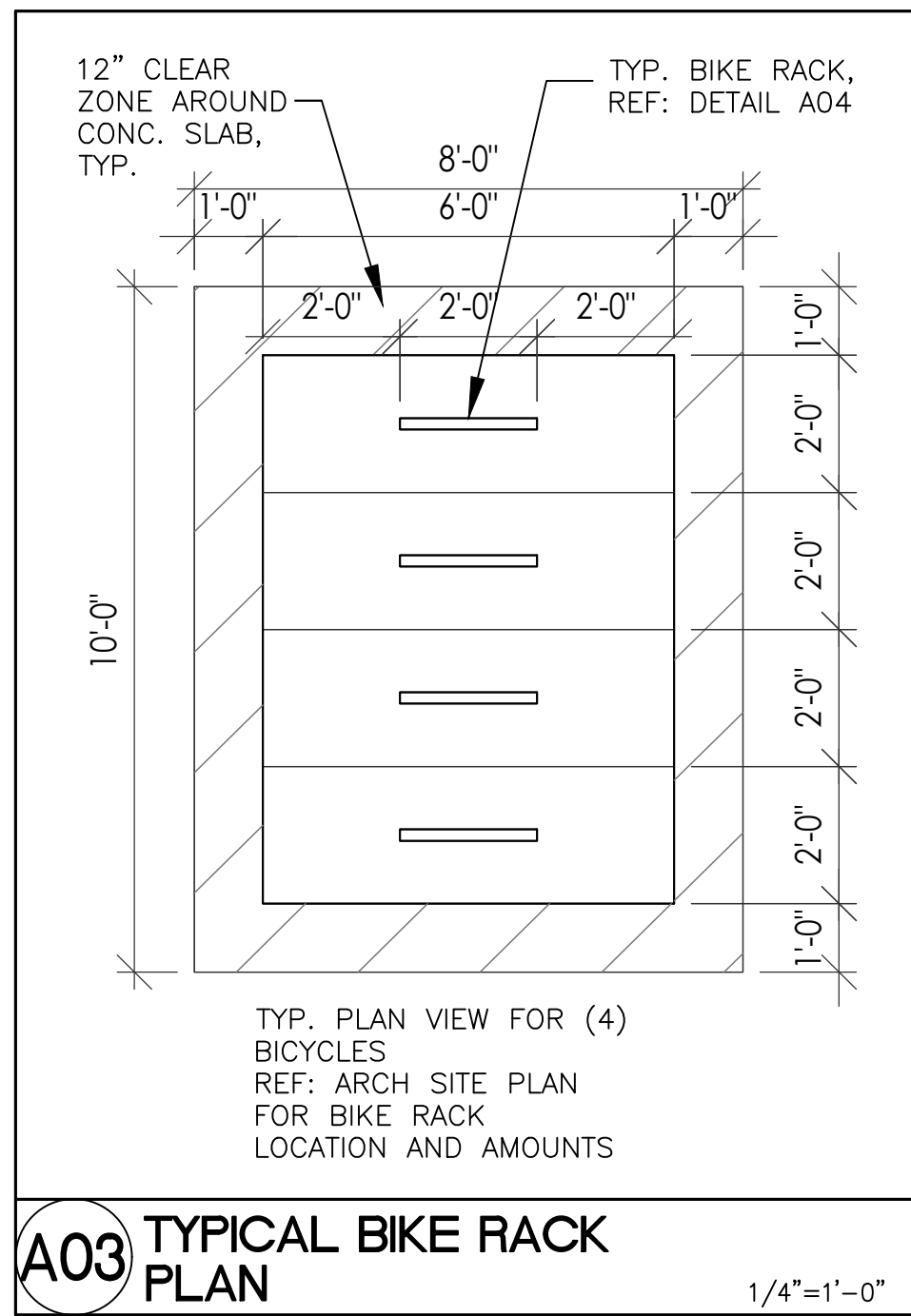
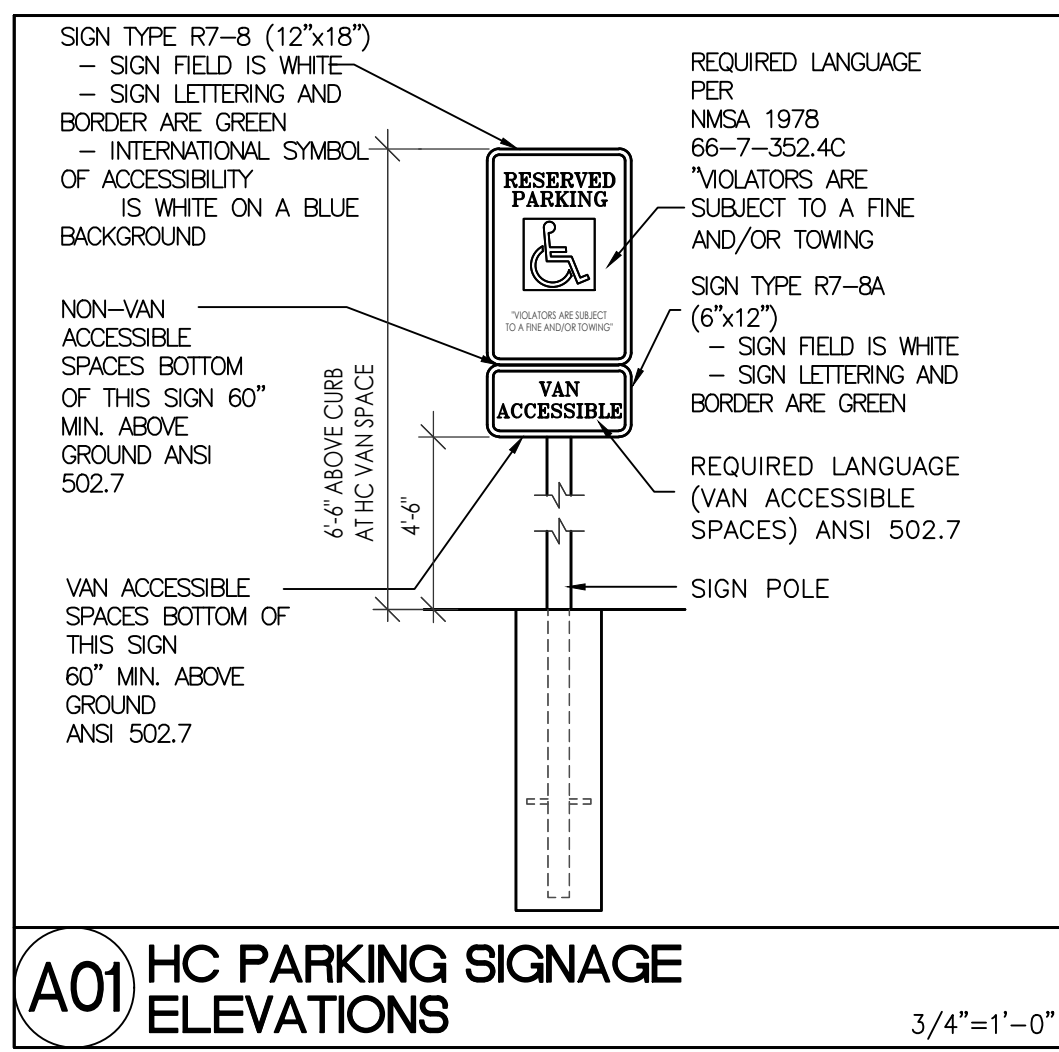
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

Sincerely,

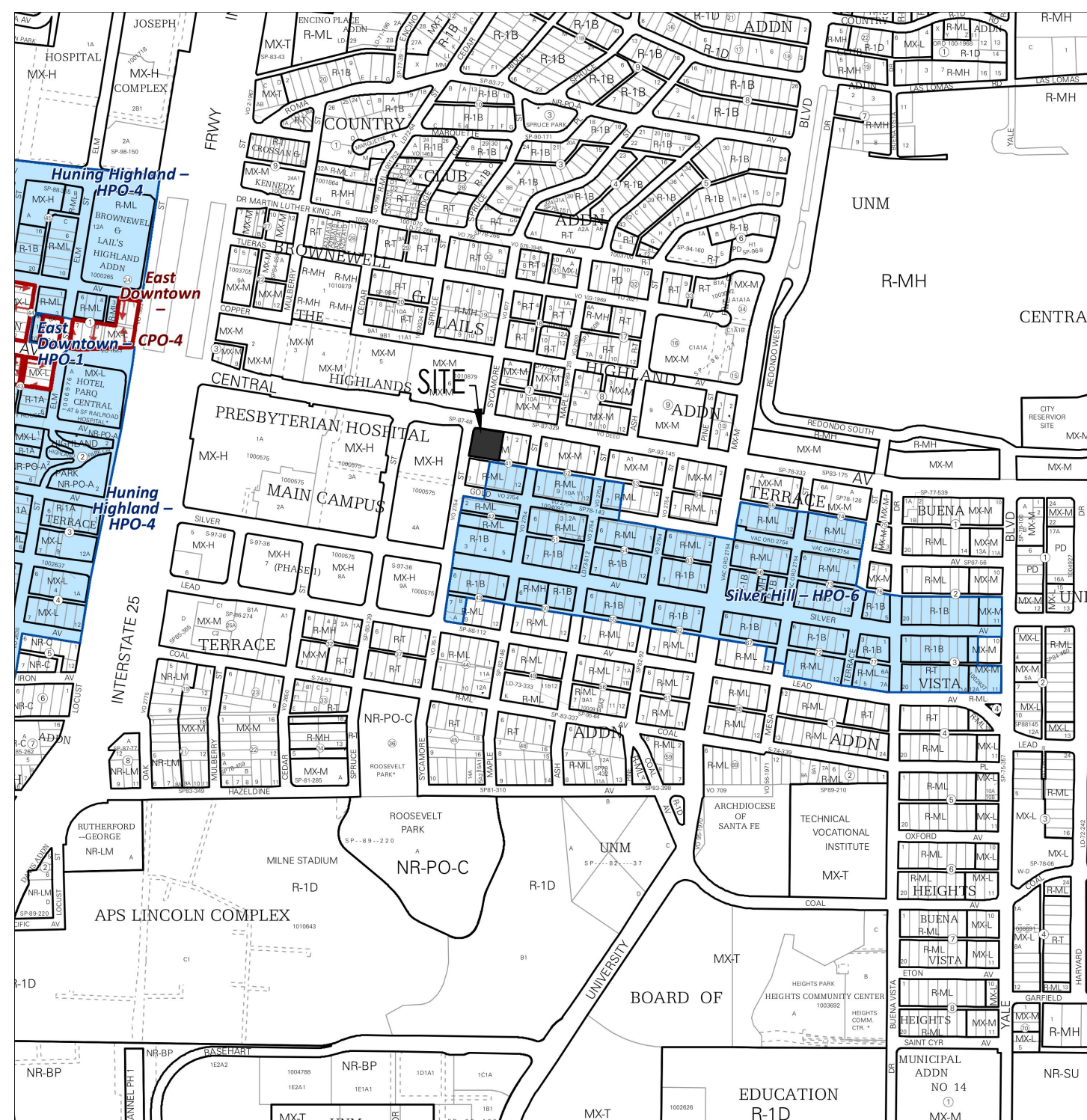
Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

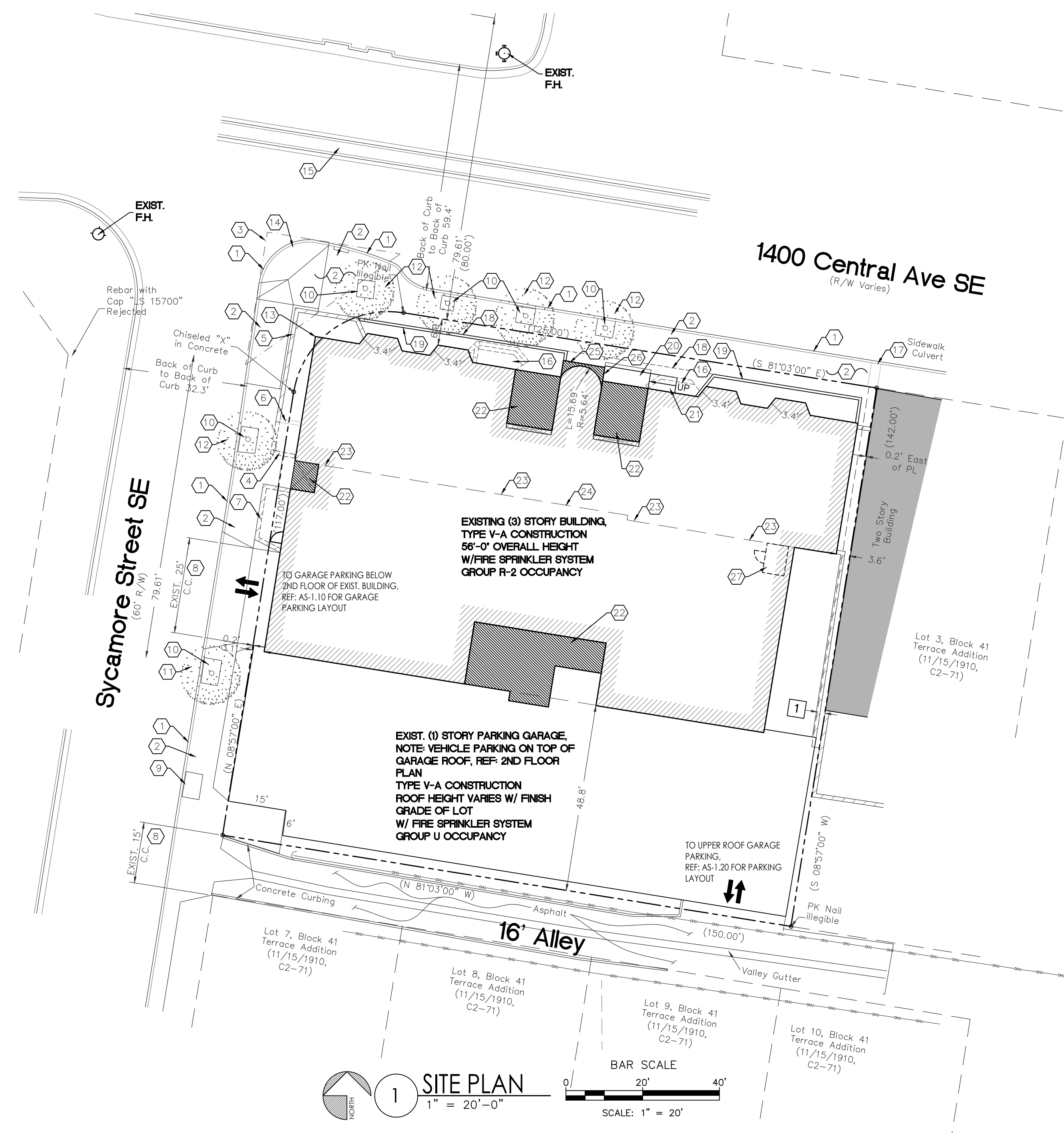


- KEYED NOTES**
- EXISTING CONCRETE CURB AND GUTTER. NOTE: G.C. TO PATCH AND REPLACE ANY DAMAGE TO EXISTING CONCRETE CURB AS REQUIRED.
 - EXISTING CONCRETE SIDEWALK. NOTE: G.C. TO PATCH AND REPLACE ANY DAMAGE TO EXISTING CONCRETE SIDEWALK AS REQUIRED.
 - CLEAR SIGHT TRIANGLE. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS. ALL SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
 - REMOVE PART OF EXISTING PLANTER WALL SHOWN DASHED. G.C. TO PATCH IN NEW CONCRETE SIDEWALK TO EXIST. CONC. SIDEWALK, TYP.
 - EXISTING CMU BLOCK PLANTER WALL WITH STUCCO FINISH. G.C. TO PATCH AND REPAIR WALL AS REQUIRED AND PREPARE FOR NEW STUCCO COLOR COAT. NOTE: EXIST. WALL TO BE A MAXIMUM OF 36" HIGH AT CLEAR SITE TRIANGLE.
 - NEW CMU BLOCK PLANTER WALL. MATCH EXIST. CONSTRUCTION.
 - REMOVE EXISTING PLANTER WALL SHOWN DASHED. G.C. TO PATCH IN NEW CONCRETE SIDEWALK/STOOP AT NEW EXIT DOOR LOCATION TO EXIST. CONC. SIDEWALK, TYP., REF: 1ST FLOOR DEMOLITION FLOOR PLAN AND 1ST FLOOR ARCH FLOOR PLAN.
 - EXIST. CURB CUT AND DRIVE-PAD TO REMAIN, TYP.
 - EXISTING PRIVATE TREE PLANTER IN EXIST. CONC. SIDEWALK. TO BE REMOVED. NOTE: G.C. TO PATCH IN WITH NEW CONC. AS REQUIRED.
 - EXISTING PRIVATE TREE PLANTER IN EXIST. CONC. SIDEWALK. NOTE: G.C. TO PATCH AND REPAIR AS REQUIRED.
 - G.C. TO INSTALL NEW TREE INTO EXIST. PRIVATE TREE PLANTER. NEW TREE TO MATCH EXIST. TREE TYPE.
 - EXISTING TREE TO REMAIN. NOTE: G.C. TO REPLACE AS REQUIRED IF TREE IS DAMAGED OR DEAD, IF TREE NEEDS TO BE REPLACED, G.C. TO REPLACE WITH THE SAME TYPE OF TREE.
 - EXIST. BUILDING INTO RIGHT OF WAY BY AS MUCH AS 1.6 FEET.
 - EXIST. ACCESSIBLE CURB RAMP. NO WORK, TYP.
 - EXIST. CONC. CURB MEDIUM. NO WORK, TYP.
 - G.C. TO REMOVE EXIST. CONC. STAIRS AND LANDING.
 - G.C. TO SAW CUT EXIST. CONC. SIDEWALK FOR NEW NEW CMU COURTYARD WALL. REF: 1ST FLOOR DEMOLITION FLOOR PLAN AND 1ST FLOOR ARCH FLOOR PLAN FOR ADDITIONAL NOTES.
 - NEW 5' HIGH CMU COURTYARD WALL WITH STUCCO FINISH. REF: STRUCTURAL PLANS AND 1ST FLOOR ARCH FLOOR PLAN.
 - NEW CONC. LANDING. REF: STRUCTURAL PLANS AND 1ST FLOOR ARCH FLOOR PLAN.
 - NEW CONC. RAMP. REF: STRUCTURAL PLANS AND 1ST FLOOR ARCH FLOOR PLAN.
 - NEW ADDITION. REF: ARCH FLOOR PLANS.
 - EXIST. (1) HOUR VERTICAL FIRE-RATED WALL BETWEEN GROUP R-2 AND GROUP U. REF: 1ST FLOOR ARCH FLOOR PLAN.
 - NEW (1) HOUR VERTICAL FIRE-RATED WALL BETWEEN GROUP R-2 AND GROUP U. REF: 1ST FLOOR ARCH FLOOR PLAN.
 - NEW FIRE DEPARTMENT CONNECTION (FDC) AND NEW STANDPIPE LOCATION. REFER TO FIRE MARSHAL APPROVED FIRE-1 SITE PLAN. NOTE: NEW FIRE SPRINKLER PLANS BY OTHERS AND WILL BE A DEFERRED SUBMITTAL FOR BUILDING PERMIT.
 - G.C. TO PROVIDE AND INSTALL SURFACE MOUNTED KNOX BOX. MOUNTED TO 48" HIGH A.F.F. MAX., FIRE MARSHAL TO APPROVED KNOX BOX FINAL LOCATION.
 - EXIST. FIRE RISER ROOM WITH ELECTRIC HEATER WITH AN THERMOSTAT. G.C. TO ADD "FIRE RISER ROOM" SIGNAGE TO THE ROOM DOOR. NOTE: EXIST. FIRE RISER ROOM LOCATED IN GARAGE PARKING PART OF THE BUILDING. REF: 1ST FLOOR ARCH PLAN.

TRAFFIC CIRCULATION LAYOUT APPROVED
Sertil A. Kanbar 1/26/2026
Signed Date



K-15-Z VICINITY MAP
NOT TO SCALE
Bernalillo County Parcels
UPC: 101505725631521311
Owner: F&A DEVELOPMENT LLC
Owner Address: 6544 GLEN OAK NE ALBUQUERQUE NM 87111-6507
Site Address: 1400 CENTRAL AVE SE ALBUQUERQUE NM 87106
Legal Description: LOT 6-A BLK 41 A PLAT OF LOT 6A BLK 41 TERRACE ADDITION CONT 21,166 SQ FT M/L Acres: .485 (21.15232 S.F.)
IDO Zone District: MX-M
IDO District Definition: Moderate Intensity
IDO Zoning Description:
IDO Category: Mixed-Use



PARKING CALCULATIONS

ZONING: MXM
PER I.D.O. TABLE 5-5.1 MINIMUM OFF STREET PARKING REQUIRED
DWELLING, MULTI-FAMILY:
(1) SPACE / STUDIO APARTMENTS: (2) TOTAL STUDIO APARTMENTS: 2 x 1 = 2 PARKING SPACES
(1.2) SPACE / DU WITH (1) BEDROOM, (20) TOTAL ONE BEDROOM APARTMENTS: 20 x 1.2 = 24 PARKING SPACES
(1.4) SPACE / DU WITH (2) BEDROOMS, (4) TOTAL TWO BEDROOM APARTMENTS: 4 x 1.6 = 10 PARKING SPACES
TOTAL PARKING SPACES REQUIRED: 36 PARKING SPACES

TOTAL PARKING REQUIRED: 36 SPACES (INCLUDES 1 ACCESSIBLE SPACE AND 1 ACCESSIBLE VAN SPACE)
TOTAL PARKING PROVIDED: 2 ACCESSIBLE SPACES + 37 REGULAR SPACES + 8 COMPACT CAR SPACES = 47 TOTAL PARKING SPACES

PER I.D.O. TABLE 5-5.4 MINIMUM MOTORCYCLE PARKING REQUIREMENTS
REQUIRED OFF-STREET VEHICLE PARKING SPACES: 26-50 SPACES:
36 REQUIRED PARKING SPACES = 2 MOTORCYCLE PARKING SPACES REQUIRED
2 MOTORCYCLE PARKING SPACES PROVIDED. REF: 1ST FLOOR PLAN AT GARAGE FOR LOCATION

PER I.D.O. TABLE 5-5.5 MINIMUM BICYCLE PARKING REQUIREMENTS
MULTI-FAMILY USE: 10% OF REQUIRED OFF-STREET PARKING SPACES
36 REQUIRED OFF-STREET PARKING SPACES = 3.6 x 10% = 3.6 BICYCLE PARKING SPACES REQUIRED.
(4) BICYCLE PARKING SPACES PROVIDED. REF: 1ST FLOOR PLAN AT GARAGE FOR LOCATION

USEABLE OPEN SPACE CALCULATIONS

ZONING: MXM
PER I.D.O. TABLE 2-4.5 USEABLE OPEN SPACE MINIMUM REQUIREMENTS: [REF: ARCH FLOOR PLANS FOR U.O.S. LOCATIONS]
ONE BEDROOM OR LESS THAN: 225 SQ. FT. EACH UNIT REQUIRED: 22 x 225 = 4,950 SQ. FT.
TWO BEDROOM: 285 SQ. FT. EACH UNIT REQUIRED: 6 x 285 = 1,710 SQ. FT.
TOTAL U.O.S. REQUIRED: 6,660 SQ. FT. x 50% REDUCTION (UC-MS-PT) = 3,330 SQ. FT.

1ST FLOOR U.O.S. REQUIRED: 6 x 225 = 1,350 SQ. FT. REQUIRED, 1,490 SQ. FT. PROVIDED
2ND FLOOR U.O.S. REQUIRED: 3 x 285 = 855 SQ. FT. REQUIRED, 855 SQ. FT. PROVIDED
3RD FLOOR U.O.S. REQUIRED: 8 x 225 = 1,800 SQ. FT. REQUIRED, 806 SQ. FT. PROVIDED
4TH FLOOR U.O.S. REQUIRED: 3 x 285 = 855 SQ. FT. REQUIRED, 859 SQ. FT. PROVIDED
TOTAL U.O.S.: 3,330 SQ. FT. REQUIRED, 4,778 SQ. FT. PROVIDED

LANDSCAPING CALCULATIONS

ZONING: MXM
PER I.D.O. 14-16-3-4(B)(b) IN DT-UC-MS-PT AREAS, THIS USE SHALL PROVIDE SOMEWHERE ON THE LOT AT LEAST (1) TREE PER GROUND FLOOR DWELLING UNIT, IN ADDITION TO MEETING ALL APPLICABLE STANDARDS IN SECTION 14-16-5-6 (LANDSCAPING, BUFFERING, AND SCREENING).
(4) GROUND FLOOR DWELLING UNITS = (4) TREES. REF: ARCH SITE PLAN FOR STREET TREE LOCATION.

Easement Notes

1 EXISTING 2' x 95' DRAINAGE EASEMENT (5/2/1984, BK. MISC. 112-A, PAGE 873, DOCUMENT NO. 8432467)

Record and Measured Legal Description

LOT NUMBERED SIX-A (6-A) IN BLOCK NUMBERED FORTY-ONE (41) OF THE TERRACE ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 13, 1987 IN VOLUME C32, FOLIO 191.

SYCAMORE VILLA
ARCH SITE PLAN
1400 CENTRAL AVE SE
ALBUQUERQUE, NM 87106
PROJECT #2525

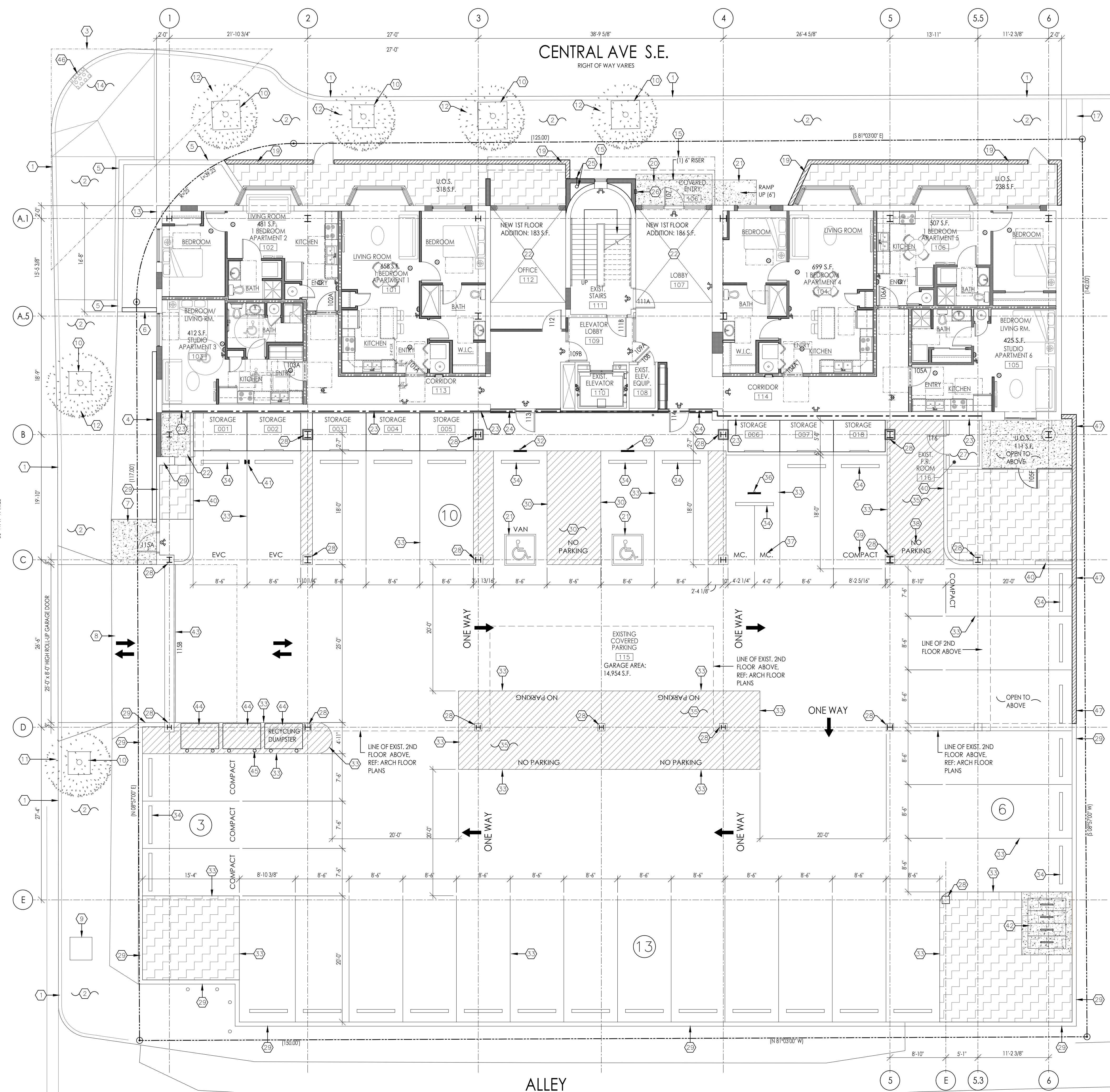
REVISION DATE

STATE OF NEW MEXICO
RICHARD P. BENNETT
No. 1240
01/05/2026
REGISTERED ARCHITECT

RBA ARCHITECTURE, PC
ARCHITECTURE
PLANNING
DESIGN
1400 CENTRAL AVE SE
ALBUQUERQUE, NM 87106
WWW.RBAARCHITECT.COM

DATE
01-05-2026

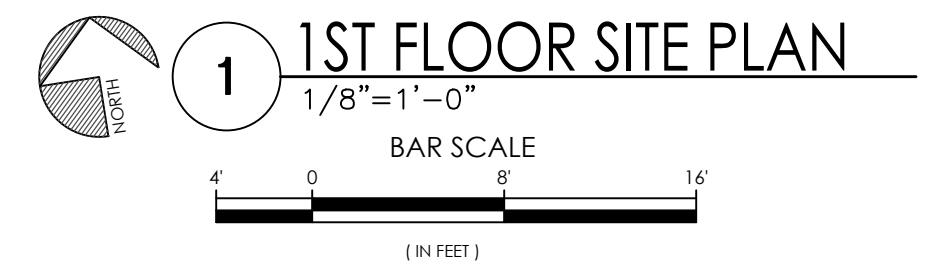
SHEET NUMBER
AS-100



| WALL TYPE SYMBOL | |
|------------------|---|
| | DENOTES: EXISTING WALLS, REF: ARCH FLOOR PLAN AND DEMOLITION PLANS FOR ADDITIONAL NOTES |
| | DENOTES: NEW CMU WALL, REF: WALL TYPE TAGS AND WALL TYPE TAG LEGEND |
| | DENOTES: EXISTING WALLS, DOORS AND WINDOWS TO BE REMOVED, REF: DEMOLITION PLANS |
| | DENOTES: NEW 2x4 OR 2x6 WOOD STUD FRAMED WALL, REF: WALL TYPE TAGS AND WALL TYPE TAG LEGEND |
| | DENOTES: NEW 8" x 18" METAL STUD FRAMED WALL, REF: WALL TYPE TAGS AND WALL TYPE TAG LEGEND |
| | DENOTES: EXISTING (1) HOUR FIRE-RATED WALL, REF: 1ST FLOOR PLANS |
| | DENOTES: (1) HOUR FIRE-RATED WALL, REF: WALL TYPE TAGS AND WALL TYPE TAG LEGEND |

- KEYED NOTES**
- EXISTING CONCRETE CURB AND GUTTER, NOTE: G.C. TO PATCH AND REPLACE ANY DAMAGE TO EXISTING CONCRETE CURB AS REQUIRED.
 - EXISTING CONCRETE SIDEWALK, NOTE: G.C. TO PATCH AND REPLACE ANY DAMAGE TO EXISTING CONCRETE SIDEWALK AS REQUIRED.
 - CLEAR SIGHT TRIANGLE, LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS'. ALL SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
 - NEW LOCATION FOR NEW ELECTRICAL GEAR, REF: ELECTRICAL PLANS.
 - EXISTING CMU BLOCK PLANTER WALL WITH STUCCO FINISH, G.C. TO PATCH AND REPAIR WALL AS REQUIRED AND PREPARE FOR NEW STUCCO COLOR COAT, NOTE: EXIST. WALL TO BE A MAXIMUM OF 36" HIGH AT CLEAR SITE TRIANGLE.
 - NEW CMU BLOCK PLANTER WALL MATCH EXIST. CONSTRUCTION.
 - NEW CONC. STUOP AT NEW EXIT DOOR, REF: 1ST FLOOR ARCH FLOOR PLAN.
 - EXIST. CURB CUT AND DRIVE-PAD TO REMAIN, TYP.
 - EXISTING PRIVATE TREE PLANTER IN EXIST. CONC. SIDEWALK, TO BE REMOVED, NOTE: G.C. TO PATCH IN WITH NEW CONC. AS REQUIRED.
 - EXISTING PRIVATE TREE PLANTER IN EXIST. CONC. SIDEWALK, NOTE: G.C. TO PATCH AND REPAIR AS REQUIRED.
 - G.C. TO INSTALL NEW TREE INTO EXIST. PRIVATE TREE PLANTER, NEW TREE TO MATCH EXIST. TREE TYPE.
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 - EXIST. BUILDING INTO RIGHT OF WAY BY AS MUCH AS 1.6 FEET.
 - EXIST. ACCESSIBLE CURB RAMP, NO WORK, TYP.
 - LINE OF ROOF ABOVE, REF: ARCH PLANS.
 - G.C. TO REMOVE EXIST. CONC. STAIRS AND LANDING.
 - EXIST. SIDEWALK CURB TO REMAIN.
 - BLACK PAINTED WROUGHT IRON GATE, TYP.
 - 5' HIGH CMU COURTYARD WALL WITH STUCCO FINISH, REF: STRUCTURAL PLANS AND 1ST FLOOR ARCH FLOOR PLAN.
 - CONC. LANDING, REF: STRUCTURAL PLANS AND 1ST FLOOR ARCH FLOOR PLAN.
 - CONC. RAMP, REF: STRUCTURAL PLANS AND 1ST FLOOR ARCH FLOOR PLAN.
 - NEW ADDITION, REF: ARCH FLOOR PLANS.
 - EXIST. (1) HOUR VERTICAL FIRE-RATED WALL BETWEEN GROUP R-2 AND GROUP U, REF: 1ST FLOOR ARCH FLOOR PLANS.
 - NEW (1) HOUR VERTICAL FIRE-RATED WALL BETWEEN GROUP R-2 AND GROUP U, REF: 1ST FLOOR ARCH FLOOR PLAN.
 - NEW FIRE DEPARTMENT CONNECTION (FDC) AND NEW STANDPIPE LOCATION, REFER TO FIRE MARSHAL APPROVED FIRE-1 SITE PLAN.
NOTE: NEW FIRE SPRINKLER PLANS BY OTHERS AND WILL BE A DEFERRED SUBMITTAL FOR BUILDING PERMIT.
 - G.C. TO PROVIDE AND INSTALL SURFACE MOUNTED KNOX BOX, MOUNTED TO 48" HIGH A.F.F. MAX., FIRE MARSHAL TO APPROVED KNOX BOX FINAL LOCATION.
 - EXIST. FIRE RISER ROOM WITH ELECTRIC HEATER WITH AN THERMOSTAT, G.C. TO ADD "FIRE RISER ROOM" SIGNAGE TO THE ROOM DOOR, NOTE: EXIST. FIRE RISER ROOM LOCATED IN GARAGE PARKING PART OF THE BUILDING, REF: 1ST FLOOR ARCH PLAN.
 - EXIST. CONCRETE COLUMN, PREPARE FOR NEW PAINT, TYP.
 - EXIST. CONCRETE WALL, PREPARE FOR NEW PAINT AT EXTERIOR AND INTERIOR SIDE OF THE WALL, TYP.
 - 4" WIDE BLUE PAINTED DIAGONAL STRIPING ACCESSIBLE ASLE WITH "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATED SIGN AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLES TIRE WOULD BE PLACED, (66-1-4.1.B.N.M.S.A 1978), PER CITY OF ALBUQUERQUE STANDARDS.
 - ACCESSIBLE SYMBOL, INSTALL PER C.O.A. STANDARDS.
 - ACCESSIBLE PARKING SIGNAGE, PER C.O.A. STANDARDS, REF: DETAIL A01/AS-100.
 - 4" WIDE WHITE PAINTED PARKING STRIPE, TYP. PER C.O.A. STANDARDS, BY G.C., INSTALLED BY G.C.
 - CONCRETE WHEEL STOP, INSTALL PER C.O.A. STANDARDS.
 - 4" WIDE BLUE PAINTED DIAGONAL STRIPING AT NO PARKING AREAS, PAINTED "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, TYP. PER C.O.A. STANDARDS.
 - MOTORCYCLE PARKING SIGNAGE PER CABQ STANDARDS, TYP.
 - PAINTED "MC" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, AT MOTORCYCLE PARKING - WHITE ON PAVEMENT PER C.O.A. STANDARDS.
 - PAINTED "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, AT MOTORCYCLE PARKING - WHITE ON PAVEMENT PER C.O.A. STANDARDS.
 - PAINTED "COMPACT" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, AT MOTORCYCLE PARKING - WHITE ON PAVEMENT PER C.O.A. STANDARDS.
 - EXIST. RAISED CONCRETE CURB, TYP.
 - TWO VEHICLE E.V. CHARGING STATION, REF: ELECTRICAL PLANS.
 - BIKE RACK FOR (3) BICYCLES, REF: DETAIL A03/AS-100, BIKE PARKING SPACES SHALL BE 6'-0" LONG x 2' WIDE FOR EACH BIKE, NOTE: A 1'-0" CLEAR ZONE AROUND THE BIKE PARKING SPACE.
A. 30" TALL x 18" WIDE BICYCLE FRAME.
B. BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMB/TOASTER RACKS ARE NOT ALLOWED.
C. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION, SEE THE I.D.O. FOR ADDITIONAL INFORMATION.
D. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.
E. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.
F. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.
G. THE RACKS SHOULD BE STURDY AND ANCHORED TO A CONCRETE PAD.
 - OPERABLE 25' x 8' HIGH GARAGE DOOR, TYP.
 - (3) 6' x 4' ROLL OUT DUMPSTER, REFER TO SOLID WASTE APPROVED PLAN.
 - 8" DIA. PAINTED STEEL CONC. FILLED PIPE BOLLARDS, TYP. (6) PLACES.
 - G.C. TO ADD NEW 24" WIDE TRUNCATED DOMES, G.C. TO INSTALL PER C.O.A. STANDARDS.
 - NEW 8' HIGH CMU BLOCK WALL ON EXIST. CONC. RETAINING WALL, REF: STRUCTURAL PLANS.

TRAFFIC CIRCULATION LAYOUT APPROVED
 Sertil A. Kanbar 1/26/2026
 Signed Date



Record and Measured Legal Description
 LOT NUMBERED SIX-A (6-A) IN BLOCK NUMBERED FORTY-ONE (41) OF THE TERRACE ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 13, 1987 IN VOLUME C32, FOLIO 191.

**SYCAMORE VILLA
 1ST FLOOR SITE PLAN
 1400 CENTRAL AVE SE
 ALBUQUERQUE, NM 87106
 PROJECT #2525**

| |
|---------------|
| REVISION DATE |
| |
| DATE |
| 01-05-2025 |
| SHEET NUMBER |
| AS-101 |

**SYCAMORE S.E.
 60' WAY VARIES**

CENTRAL AVE S.E.
 RIGHT OF WAY VARIES

ALLEY

CENTRAL AVE S.E.

RIGHT OF WAY VARIES

| WALL TYPE SYMBOL | |
|------------------|---|
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| | DENOTES: NEW 8\"/> |
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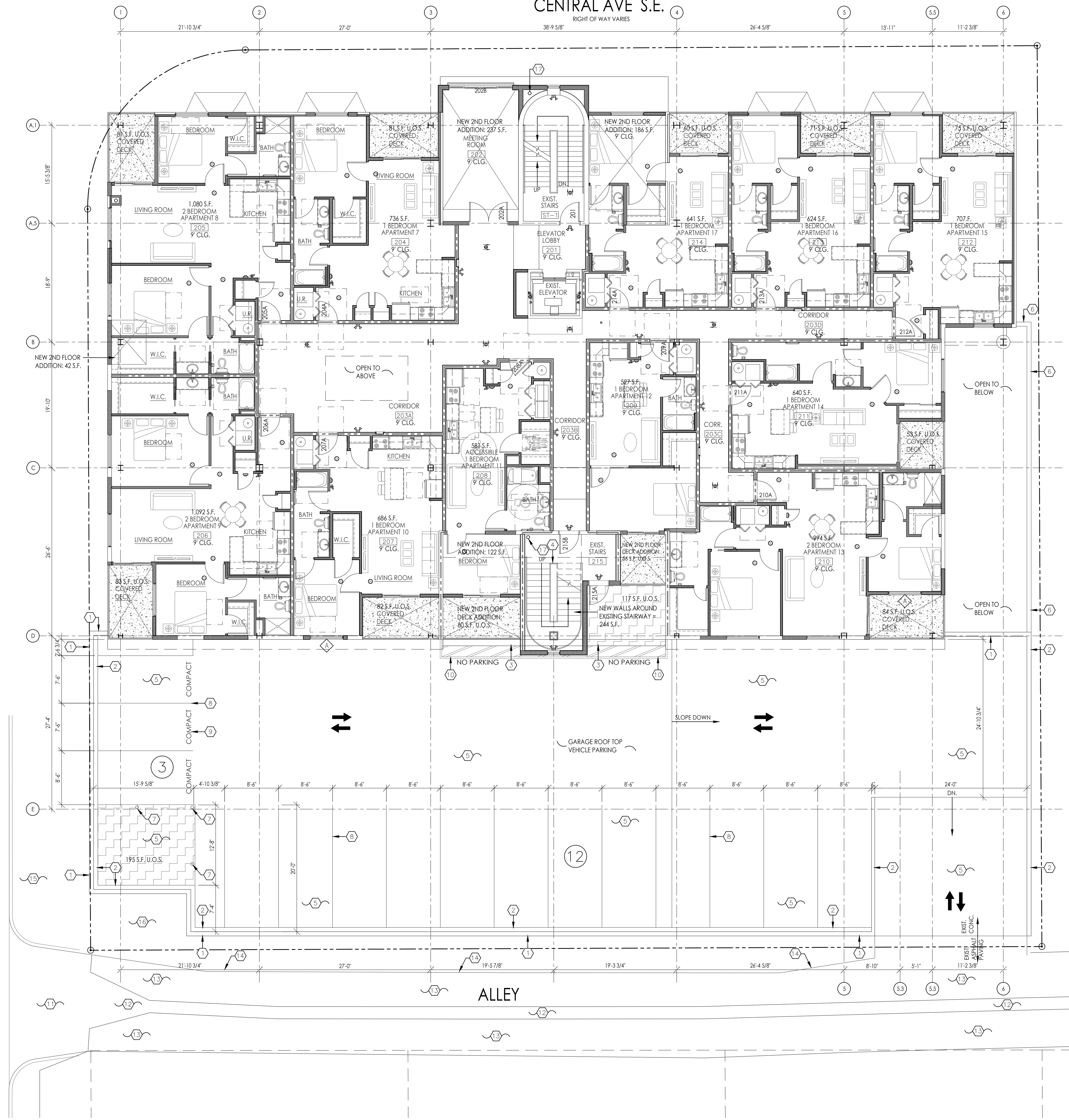
- KEYED NOTES**
- EXISTING CONCRETE WALL WITH STEEL GUARDRAIL AT TOP OF CONCRETE WALL, G.C. TO PREPARE EACH FOR NEW PAINT, TYP.
 - EXIST. RAISED CONCRETE CURB, TYP.
 - EXIST. (2) 6\"/>
 - EXIST. STEEL FRAMED STAIRS WITH GUARDRAIL/HANDRAIL, G.C. TO PREPARE AREA FOR NEW PAINT.
 - G.C. TO PREPARE EXIST. CONCRETE SLAB FOR NEW APPLIED TRAFFIC-GRADE URETHANE COATING SEALER, APPLY PER MANUFACTURERS SPECIFICATIONS.
 - NEW 8\"/>
 - EXIST. STEEL PIPE BOLLARD TO REMAIN, G.C. TO PREPARE FOR NEW PAINT, TYP.
 - 4\"/>
 - PAINTED \"COMPACT\" IN CAPITAL LETTERS, 12\"/>
 - 4\"/>
 - EXISTING CONCRETE DRIVE PAD, G.C. TO PATCH AND REPAIR ANY DAMAGE AREAS OF EXIST. SIDEWALK OR REPLACE AS REQUIRED, TYP.
 - EXISTING CONCRETE SWALE, TYP., G.C. TO PATCH AND REPAIR ANY DAMAGE AREAS OF EXIST. SIDEWALK OR REPLACE AS REQUIRED, TYP.
 - EXISTING ASPHALT PAVING, G.C. TO PATCH AND REPAIR AS REQUIRED AND ADD NEW ASPHALT TOPPING, TYP. UP TO PROPERTY LINE.
 - EDGE OF EXISTING ASPHALT PAVING, TYP.
 - EXISTING CONCRETE SIDEWALK, G.C. TO PATCH AND REPAIR ANY DAMAGE AREAS OF EXIST. SIDEWALK OR REPLACE AS REQUIRED, TYP.
 - EXISTING CONCRETE SLAB, TYP.
 - NEW STANDPIPE LOCATION, REFER TO FIRE MARSHAL APPROVED FIRE-1 SITE PLAN.
- NOTE: NEW FIRE SPRINKLER PLANS BY OTHERS AND WILL BE A DEFERRED SUBMITTAL FOR BUILDING PERMIT.

TRAFFIC CIRCULATION LAYOUT APPROVED

Sertil A. Kanbar 1/26/2026

Signed _____ Date _____

SYCAMORE S.E.
80' WAY VARIES



SYCAMORE VILLA
2ND FLOOR SITE PLAN
1400 CENTRAL AVE SE
ALBUQUERQUE, NM 87106
PROJECT #2525

| |
|------------------------|
| REVISION DATE |
| |
| |
| DATE 01-05-2026 |
| SHEET NUMBER AS-102 |

Record and Measured Legal Description

LOT NUMBERED SIX-A (6-A) IN BLOCK NUMBERED FORTY-ONE (41) OF THE TERRACE ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 13, 1987 IN VOLUME C32, FOLIO 191.



1 2ND FLOOR SITE PLAN
1/8" = 1'-0"