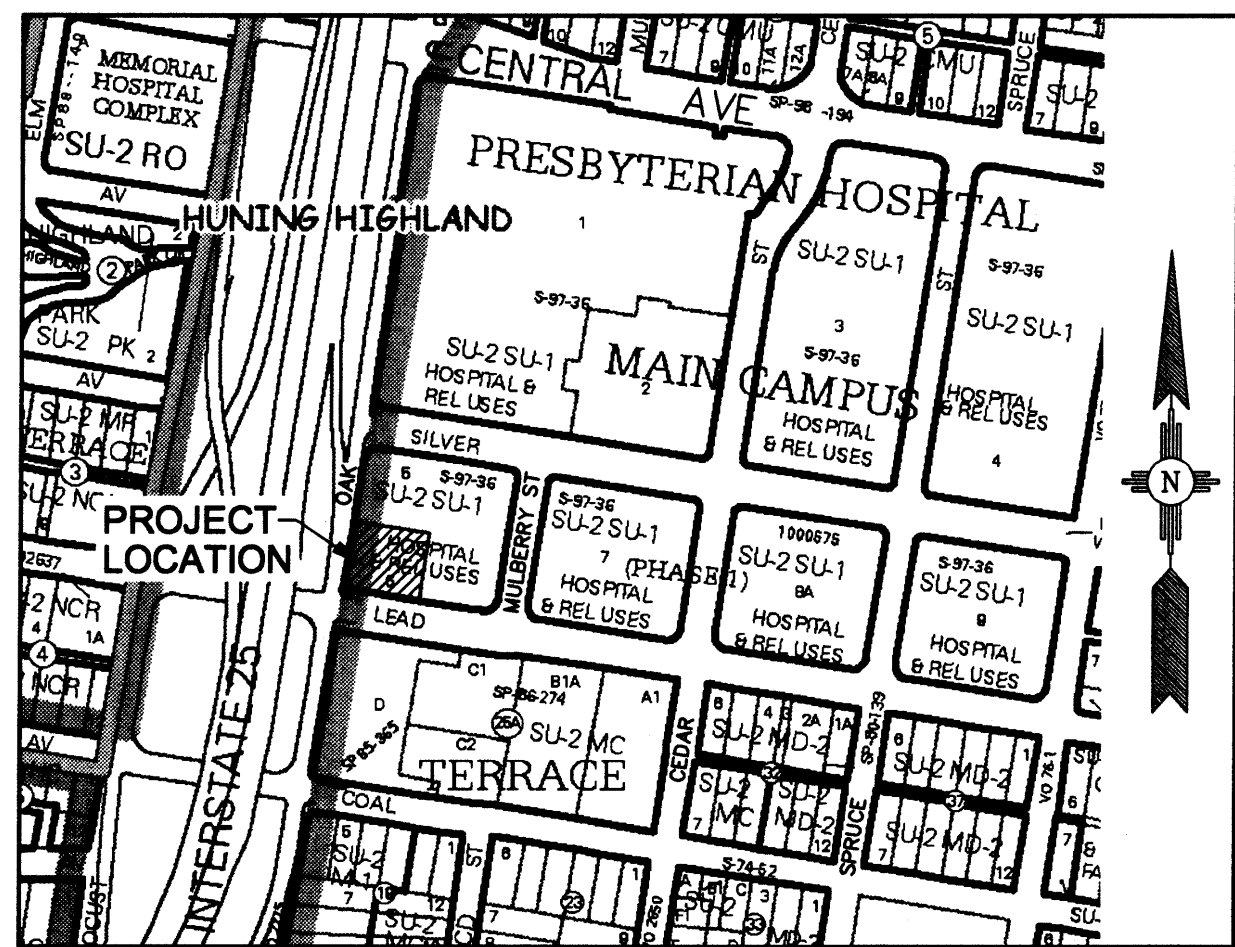


Bohannon ▲ Huston
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109
 ENGINEERING ▲ SPATIAL DATA ▲ ADVANCED TECHNOLOGY



VICINITY MAP
ZONE: ATLAS PAGE K-15-Z

GRADING KEYED NOTES

1. SAW CUT EXISTING ASPHALT PAVEMENT. REPLACE PER PAVEMENT SECTION ON THIS SHEET.
2. INSTALL 24" SIDEWALK CULVERT PER COA STD DWG 2236.
3. INSTALL 24" CONCRETE RIBBON CHANNEL PER COA STD DWG 2236; OMIT THE CHECKERED STEEL PLATE. SEE DETAIL THIS SHEET.
4. REMOVE EXISTING DRIVEWAY & INSTALL SIDEWALK PER COA STD DWG 2430. MATCH GRADES W/ EXISTING SIDEWALK.
5. INSTALL 6" HEADER CURB PER COA STD DWG 2415B.
6. INSTALL 6" MEDIAN CURB & GUTTER PER COA STD DWG 2415B.
7. INSTALL 6" STANDARD CURB & GUTTER PER COA STD DWG 2415A.
8. MATCH EXISTING CURB & GUTTER HORIZONTALLY & VERTICALLY.
9. INSTALL ASPHALT PAVEMENT PER PAVEMENT SECTION ON THIS SHEET.
10. INSTALL ADA RAMP PER COA STD DWG 2440 & 2441.
11. EXISTING ADA RAMP TO REMAIN.

NOTICE TO CONTRACTORS (SO 19)

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (280-1990) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

LEGEND

- PROPERTY LINE
- EXISTING CONTOURS
- EXISTING GROUND SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- TC=TOP OF CURB, FL=FLOW LINE
- TA=TOP OF ASPHALT, HP=HIGH POINT
- EX=EXISTING
- IG=TOP OF GRADE, IS=TOP OF SIDEWALK
- FGH=FINISH GRADE HIGH SIDE OF RETAINING WALL
- FLG=FINISH GROUND LOW SIDE OF RETAINING WALL
- PROPOSED DIRECTION OF FLOW
- WATER BLOCK
- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED CURB & GUTTER
- EASEMENT
- EXISTING MONUMENT
- REMOVE & REPLACE ASPHALT PAVING
- SAW-CUT TO A STRAIGHT EDGE
- ASPHALT PAVING
- CONCRETE RIBBON CHANNEL
- SIDEWALK CULVERT

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BENS OR SILT FENCE AT THE PROPERTY LINES AND NETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE DESIGNEER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND Haul TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDANS AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

DRAINAGE CERTIFICATION

I, GLENN S. BROUGHTON, NMPE 14171, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/2/08. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ROBERT A. GRONATZKY, NMPS 164689, OF THE FIRM BOHANNAN HUSTON INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 3/11/09 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PAVING PERMIT APPROVAL.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Glenn S. Broughton 3-16-09
GLENN S. BROUGHTON, NMPE 14171

3/16/09

LEGEND

- FL57.51 DESIGN GRADE
- FL57.54 AS-BUILT GRADE



OAK STREET SE

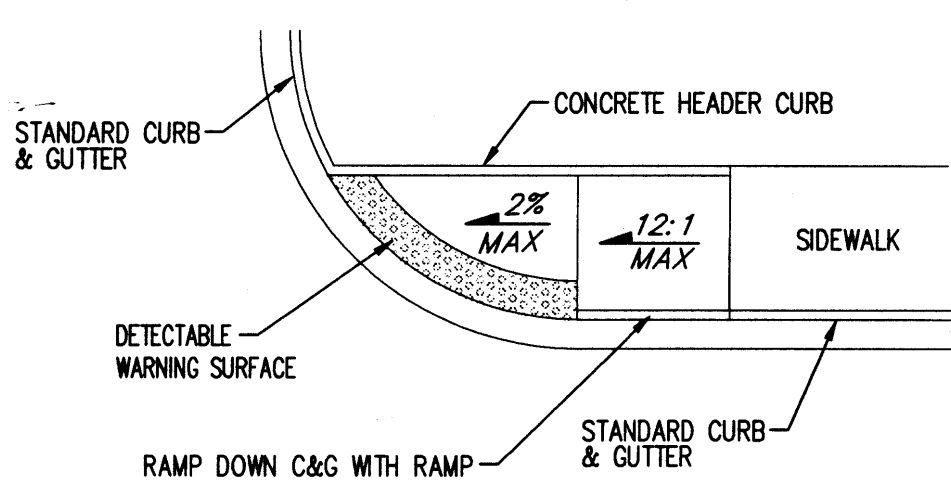
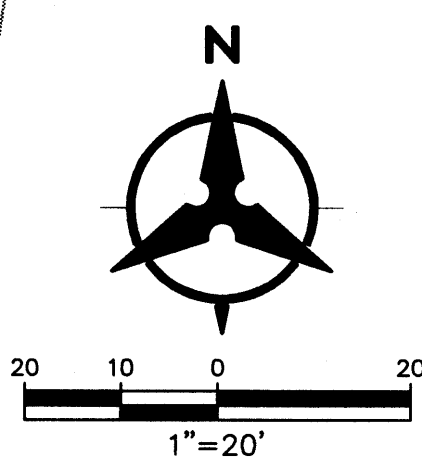
MULBERRY STREET SE

TRACTS 1 THRU 9
PRESBYTERIAN HOSPITAL - MAIN CAMPUS
PHASE ONE

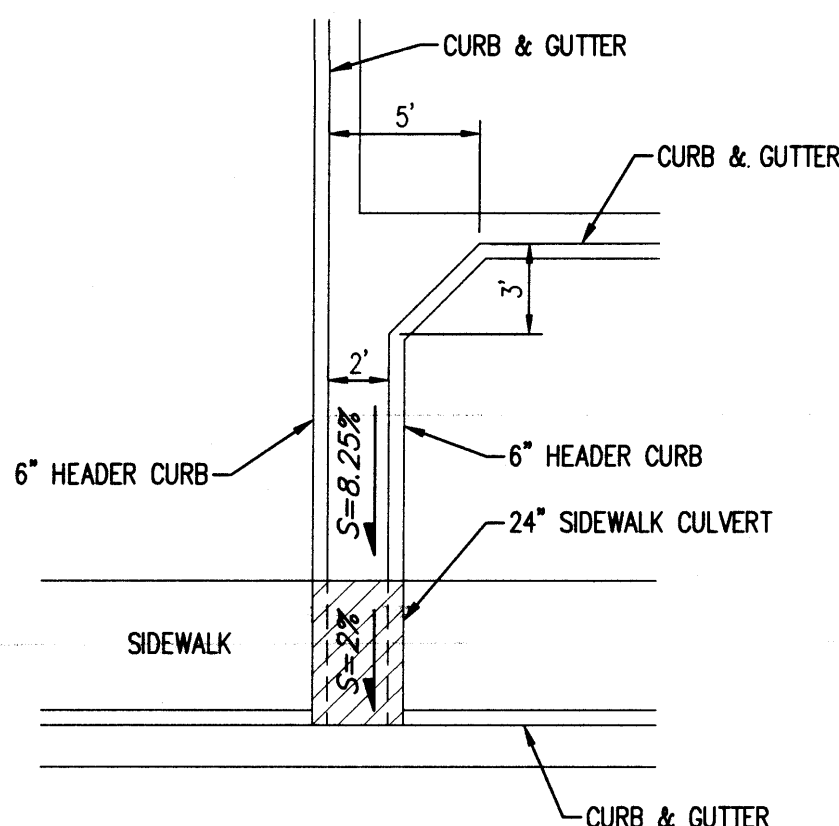
FILED: MAY 8, 1997
(97C-138)

BH 09-135-2
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Elev 5067.77

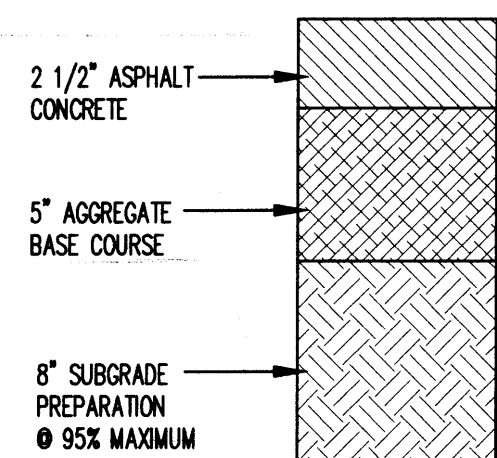
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ADA RAMP DETAIL
NTS

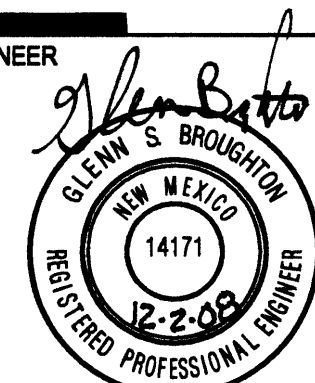


SIDEWALK CULVERT DETAIL
NTS



LIGHT DUTY PAVEMENT SECTION
NTS

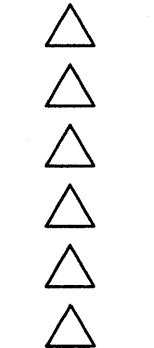
ENGINEER



PROJECT

Presbyterian Hospital
Parking Lot
Albuquerque, New Mexico

REVISIONS



DRAWN BY BO/SP

REVIEWED BY GSB

DATE 12/02/2008

PROJECT NO.

DRAWING NAME

GRADING &
DRAINAGE PLAN

SHEET NO.

C101
OF