

ELEVATION

COMPACT SUBGRADE -

TO 95% MIN.

. . . .

- #4 ● 6" O.C. EACH WAY

TRENCH DRAIN DETAIL

TYPICAL SECTION

- #4 0 6" O.C. EACH WAY

REMOVE EXISTING ASPHALT REPLACE w/ 8"

CONCRETE w/ 6"x6" No 6 Ga. WIRE MESH 2"

FROM BOTTOM. SEE CONCRETE APRON DETAIL

THIS SHEET.

DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.

LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.

REQUIREMENTS.

13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER

14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES

sheet no. Courtyard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335 ENGINEERING . SPATIAL DATA . ADVANCED TECHNOLOGIES

03-12-03

020184

interiors

○ GRADING KEYED NOTES

- 1. SAW CUT EXISTING ASPHALT PAVEMENT. REPLACE PER PAVEMENT SECTION ON THIS SHEET.
- 2. INSTALL 24" SIDEWALK CULVERT PER COA STD DWG 2236.
- 3. INSTALL 24" CONCRETE RIBBON CHANNEL PER COA STD DWG 2236; OMIT THE CHECKERED STEEL PLATE. SEE DETAIL THIS SHEET
- 4. REMOVE EXISTING DRIVEWAY & INSTALL SIDEWALK PER COA STD DWG 2430. MATCH GRADES W/ EXISTING SIDEWALK.
- 5. INSTALL 6" HEADER CURB PER COA STD DWG 2415B.
- 6. INSTALL 6" MEDIAN CURB & GUTTER PER COA STD DWG 2415B.
- INSTALL 6" STANDARD CURB & GUTTER PER COA STD DWG 2415A.
- 8. MATCH EXISTING CURB & GUTTER HORIZONTALLY & VERTICALLY. INSTALL APHALT PAVEMENT PER PAVEMENT SECTION ON THIS SHEET.
- 10. INSTALL ADA RAMP PER COA STD DWG 2440 & 2441.
- 11. EXISTING ADA RAMP TO REMAIN.

NOTICE TO CONTRACTORS (SO 19)

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.

2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.

3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.

4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.

6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE Property Served.

7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

LEGEND

——— — PROPERTY LINE

 $\chi^{5301.15}$ Existing ground spot elevation

PROPOSED SPOT ELEVATION

TC=TOP OF CURB, FL=FLOW LINE TA=TOP OF ASPHALT, HP=HIGH POINT EX=EXISTING, TG=TOP OF GRADE, TS=TOP OF SIDEWALK FGH=FINISH GRADE HIGH SIDE OF RETAINING WALL

FGL=FINISH GROUND LOW SIDE OF RETAINING WAL

S=2.0%

PROPOSED DIRECTION OF FLOW WATER BLOCK

PROPOSED INTER CONTOURS

PROPOSED CURB & GUTTER

EXISTING MONUMENT REMOVE & REPLACE ASPHALT PAVING

SAW-CUT TO A STRAIGHT EDGE ASPHALT PAVING

SIDEWALK CULVERT

CONCRETE RIBBON CHANNEL

DRAINAGE CERTIFICATION

I, GLENN S. BROUGHTON, NMPE 14171, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/2/08. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ROBERT A. GROMATZKY, NMPS 16469, OF THE FIRM BOHANNAN HUSTON INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 3/11/09 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PAVING PERMIT APPROVAL.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

GLENN S. BROUGHTON, NMPE 14171

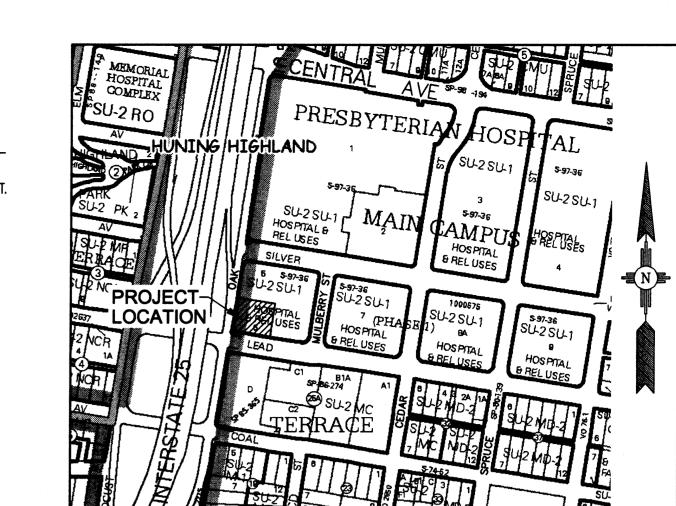
3/16/09

LEGEND

FL57.51 DESIGN GRADE

FL57.54 AS-BUILT GRADE





VICINITY MAP ZONE ATLAS PAGE K-15-Z



1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.

2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES.

SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR

4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LIN

LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.

ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR required work.

6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.

7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.

9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).

10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND

11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN

AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING

12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF

TRANSPORTATION, LATEST EDITION. 13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE

14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

END AND BEGINNING OF EACH DAY.

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.

2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.

3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).

4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE. 5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.

6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT

BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM 7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE

PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY

CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.

8. PAVING AND ROADWAY GRADES SHALL BE $\pm/-$ 0.1' FROM PLAN ELEVATIONS.

9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS. 10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION

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DRAWN BY	ВО
REVIEWED BY	G
DATE	12/02/2

GRADING & DRAINAGE PLAN

Bohannan A Huston Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

ENGINEERING * SPATIAL DATA * ADVANCED TECHNOLOGIES

SHEET NO.

PROJECT NO.

REVISIONS

architecture

engineering

7601 Jefferson NE

Albuquerque, NM 87109

Suite 100

pital

505 761-9700

fax 761-4222 dps 🗇 dpsdesign.org

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