



# *City of Albuquerque*

March 29, 2000

Jeff Mortensen, P.E.  
Mr. Christian H. Sholtis  
Jeff Mortensen & Associates, Inc.  
6010-B Midway Park, NE  
Albuquerque, NM 87109

RE: GRADING & DRAINAGE PLAN FOR APS FLEET MAINTENANCE FACILITY (K-15/D047A) ENGINEERS STAMP DATED 3/6/00 SUBMITTED FOR BUILDING PERMIT APPROVAL

Dear Mr. Mortensen,

Based upon the information provided in your March 23, 2000, submittal, the project referred to above is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to release of the Certificate of Occupancy, an Engineer Certification, per the DPM checklist, will be required.

If you have any questions, please call me at 924-3988.

Sincerely,

*Stuart Reeder, P.E.*

Stuart Reeder, P.E.  
Hydrology Division

xc: Whitney Reiersen  
*File*



# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 12, 2001

Jeff Mortensen, P.E.  
Jeff Mortensen & Assoc.  
6010-B Midway Park Blvd NE  
Albuquerque, New Mexico 87109

RE: APS FLEET MAINTENANCE FACILITY (K-15/D47A)  
(915 Locust St NE)  
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY  
ENGINEERS STAMP DATED 3/6/2000 Rev. 7/18/2001  
ENGINEERS CERTIFICATION DATED 11/7/2001

Dear Mr. Mortensen:

Based upon the information provided in your Engineers Certification submittal dated 11/7/2001, the above referenced site is approved for a Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Teresa A. Martin  
Hydrology Plan Checker  
Public Works Department

*AMB*

C: Vickie Chavez, COA  
drainage file  
approval file

**DRAINAGE INFORMATION SHEET 980797**PROJECT TITLE: FLEET MAINTENANCE FACILITYZONE ATLAS/DRNG FILE #K15/D047A

DRB #: \_\_\_\_\_

EPC #: \_\_\_\_\_

WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: TRACT C-1, APS CENTRAL OFFICE ADDITIONCITY ADDRESS: 915 LOCUST STREET SEENGINEER: JEFF MORTENSEN & ASSOCIATES, INC.CONTACT: JEFF MORTENSENADDRESS: 6010B MIDWAY PARK BLVD NE 87109PHONE: 345-4250OWNER: APSCONTACT: RICARDO GUILLERMOADDRESS: DEPARTMENT OF FACILITY PLANNINGPHONE: 242-5865ARCHITECT: SANDERS ROGERS ARCHITECTSCONTACT: JIM ROGERSADDRESS: 301 GOLD SWPHONE: 247-1168SURVEYOR: JEFF MORTENSEN & ASSOCIATES, INC.CONTACT: JEFF MORTENSENADDRESS: 6010B MIDWAY PARK BLVD. NE 87109PHONE: 345-4250CONTRACTOR: SHUMATE CONSTRUCTIONCONTACT: MARK SHUMATEADDRESS: 1117 ROCKROSE NE, 87122PHONE: 823-1218**TYPE OF SUBMITTAL:**

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☒ ENGINEER'S CERTIFICATION  
☐ CLOMR/LOMR  
☐ OTHER \_\_\_\_\_

**WAS A PRE-DESIGN CONFERENCE HELD:**

- ☐ YES  
☐ NO  
☐ COPY PROVIDED

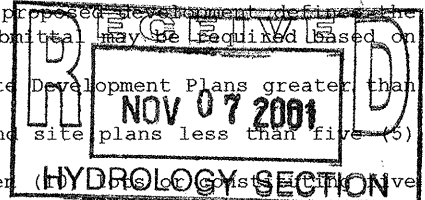
**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA/FINANCIAL GUARANTY RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER: \_\_\_\_\_ (SPECIFY)

DATE SUBMITTED: 11-07-2001BY: JEFF MORTENSEN

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a Drainage Submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

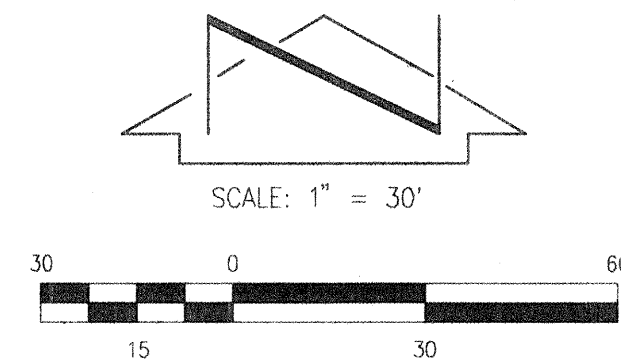
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) acres or lots greater than five (5) acres or more.

XC: JOHN DUFAY, APS M&O



File Path: R:\MORTEN\11-07-2001  
File Name: 980792GRAB.DWG  
Plot Date: 11-07-2001  
Plot Time: 2:06 pm

INTERSTATE HIGHWAY 25  
(R.O.W. MARKS)



# LEGEND

TC	TOP OF CURB	RD	ROOF DRAIN
FL	FLOWLINE	SAS	SANITARY SEWER
TA	TOP OF ASPHALT	WTP	WOOD TELEPHONE POLE
TCO	TOP OF CONCRETE	CSL	CONCRETE STEPS & LANDING
MLP	METAL LIGHT POLE	WLS	WOOD STEPS & LANDING
VG	VALLEY GUTTER	MC/WV	METER CAN WITH VALVE
EC	ELECTRIC CONDUIT	OV/H E(2)	OVERHEAD ELECTRIC (NO. LINES)
MSL	METAL STEPS AND LANDING	OV/H T(1)	OVERHEAD TELEPHONE (NO. LINES)
CL D	CENTERLINE OF DOOR	SP	STEEL POLE
CL DD	CENTERLINE DOUBLE DOOR	EP	ELECTRIC PANEL
U/G	UNDERGROUND	EPB	ELECTRIC PULL BOX
DYS	DOUBLE YELLOW STRIPE	CLF	CHAINLINK FENCE
EB	ELECTRIC BOX	WLP	WOOD LIGHT POLE
EA: E/A	EDGE OF ASPHALT	W/COND.	WITH CONDUIT
WPP	WOOD POWER POLE	AC	AIR CONDITIONER
STD. C&G	STANDARD CURB & GUTTER	GM	GAS METER
U/G W	UNDERGROUND WATERLINE	TPANEL	TELEPHONE PANEL
U/G GAS	UNDERGROUND GAS LINE	X-FMR	TRANSFORMER
U/G T	UNDERGROUND TELEPHONE	CL	CENTERLINE
MBC	METAL BUILDING COLUMN	MHR	METAL HANDRAIL
SGP	STEEL GUARD POST	ST. GP	STEEL GUARD POST
MC/WL	METER CAN WITH WATERLINE	DCO	DOUBLE CLEAN-OUT
SVP	SAS VENT PIPE		
CO	CLEAN-OUT		
GS	GAS SERVICE		

EXISTING SPOT ELEVATION	TC36.67/61	RECORD ELEVATION
EXISTING DECIDUOUS TREE (WITH CALIPER SIZE)	TC 32.80	CHANGE ORDER
EXISTING CONIFEROUS TREE		DESIGN DATA
EXISTING SHRUB/TREE		RECORD INFORMATION= AS DESIGNED
EXISTING SHRUB/TREE LINE		
EXISTING CONTOUR		
PROPOSED SPOT ELEVATION		
PROPOSED CONTOUR		
FLOWLINE		
PROPOSED CONCRETE, SEE SITE PLAN FOR PAVING LAYOUT AND SPECIFICATIONS		
PROPOSED ASPHALT PAVING, SEE SITE PLAN FOR PAVING LAYOUT AND SPECIFICATIONS		
ROOF DRAINAGE		

# PROJECT BENCHMARK

STATION IS A STANDARD NMHC BRASS TABLET, STAMPED "STA. 1-25-29", SET IN TOP OF A CONCRETE POST FLUSH WITH THE GROUND. STATION IS LOCATED AT THE SOUTHEAST CORNER OF THE I-25 BRIDGE CROSSING STADIUM BLVD. S.E. ELEVATION = 5031.42 FEET (M.S.L.D.)

# T.B.M.

## T.B.M. #1

A "d" CUT IN THE CONCRETE IN THE NORTHWEST CORNER OF A LOADING DOCK AS SHOWN ON THE DRAWING. ELEVATION = 5034.73 FEET (M.S.L.D.)

# LEGAL DESCRIPTION

A PORTION OF TRACT C-1, A.P.S. CENTRAL OFFICE ADDITION FILED 11/02/1999, BOOK 99C, PAGE 303

# KEYED NOTES

- EXISTING 20" PUBLIC WATERLINE EASEMENT GRANTED BY DOCUMENT FILED 07-08-1988, BK. MISC. 641A, PGS. 882-885, DOC. #8861959
- EXISTING 10" PNM AND MST&T EASEMENT (UNRECORDED - DATED 02-19-1974)
- EXISTING 10" PNM AND MST&T EASEMENT (UNRECORDED - DATED 01-21-1974)
- EXISTING 25" UNDERGROUND STORM SEWER EASEMENT GRANTED BY DOCUMENT FILED 05-17-1972, BK. MISC. 260, PGS. 610-612, DOC. #87117
- EXISTING 60" PERPETUAL, NON-EXCLUSIVE ACCESS EASEMENT GRANTED TO APS BY DOCUMENT FILED 04-17-1990, BK. BCR 90-6, PGS. 8451-8465, DOC. #9029896
- CONSTRUCT 4" CONCRETE VALLEY GUTTER PER SECTION, SHEET CG-2
- CONSTRUCT CONCRETE SLOPE PAVING PER SECTION, SHEET CG-2.
- CONSTRUCT 6" CURB AND GUTTER PER SECTION, SHEET CG-2.
- CONSTRUCT 8" CURB AND GUTTER PER SECTION, SHEET CG-2.

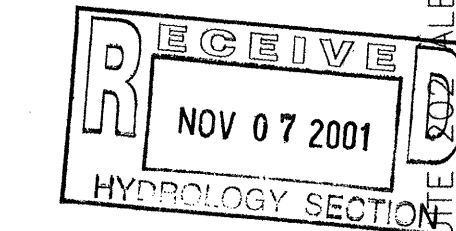
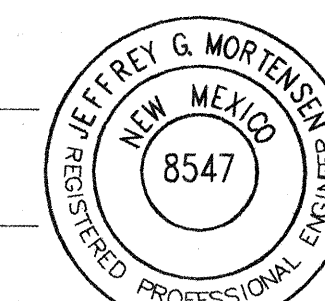
# DRAINAGE CERTIFICATION

I, JEFFREY G. MORTENSEN, NMPE 8547, OF THE FIRM JEFF MORTENSEN & ASSOCIATES, INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND DRAINED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 03-06-2000. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

MINOR SITE PLAN CHANGES WERE EFFECTED DURING THE CONSTRUCTION OF THE PROJECT. ALL CHANGES ARE CLEARLY NOTED AND HAVE NO ADVERSE IMPACT OF THE DRAINAGE OF THE SITE AND ITS ABILITY TO COMPLY WITH THE APPROVED PLAN AND CONCEPT IDENTIFIED THEREON.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT; THIS CERTIFICATION DOES NOT ANALYZE AND/OR EVALUATE ADA COMPLIANCE. THOSE RELYING UPON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

JEFFREY G. MORTENSEN, NMPE 8547  
DATE 11-07-2001



APS - FLEET MAINTENANCE FACILITY

919 LOCUST SE.

ALBUQUERQUE, NEW MEXICO 87106

SANDERS ROGERS ARCHITECTS, P.C. 301 GOLD AVENUE S.W. S

CG-1

of

980792 7

GRADING PLAN  
SHEET 1 OF 2

# GRADING PLAN

SCALE: 1" = 30'

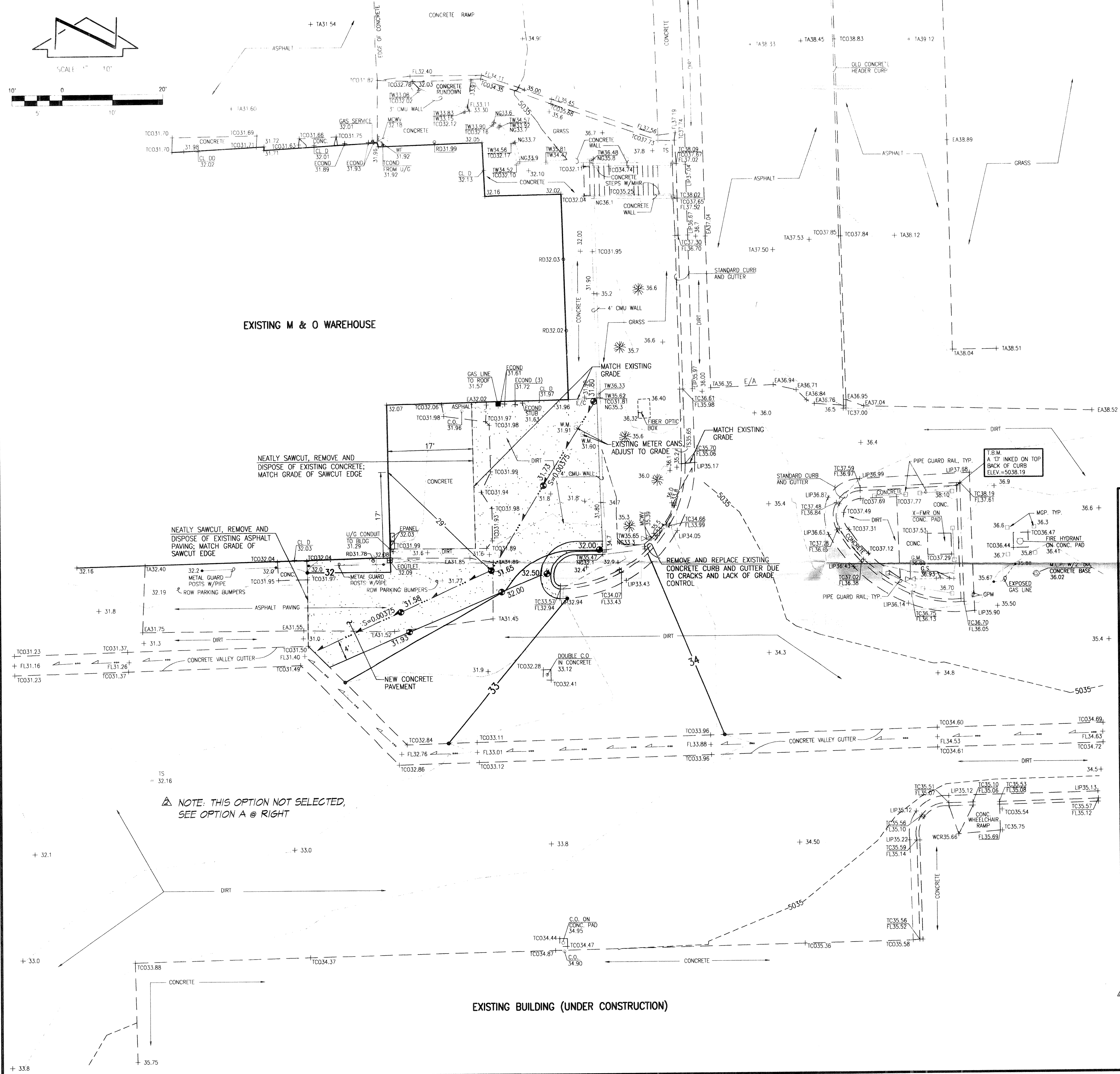
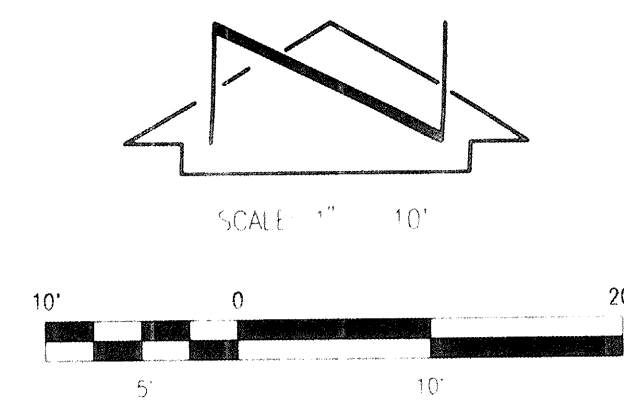
REVERSED  
REFLECTED  
(FILED 11-02-1999, 99C-304)

NO	DATE	BY	REVISIONS
1	7/01	JSM	ADD SHEET 2
2	10/01	JSM	RECORD DRAWING/ CERTIFICATION FOR PERMANENT C.O.

Jmm

JEFF MORTENSEN & ASSOCIATES, INC.  
6010-B MIDWAY PARK BLVD. NE.  
ALBUQUERQUE, NEW MEXICO 87109  
ENGINEERS SURVEYORS (505) 345-4250





# PROJECT BENCHMARK

STATION IS A STANDARD NWSHC BRASS TABLET, STAMPED "STA 1-25-29", SET IN TOP OF A CONCRETE POST FLUSH WITH THE GROUND. STATION IS LOCATED AT THE SOUTHEAST CORNER OF THE 1-25 BRIDGE CROSSING STADIUM BLVD. S.E. ELEVATION = 5031.42 FEET (M.S.L.D.-1929)

## T.B.M.

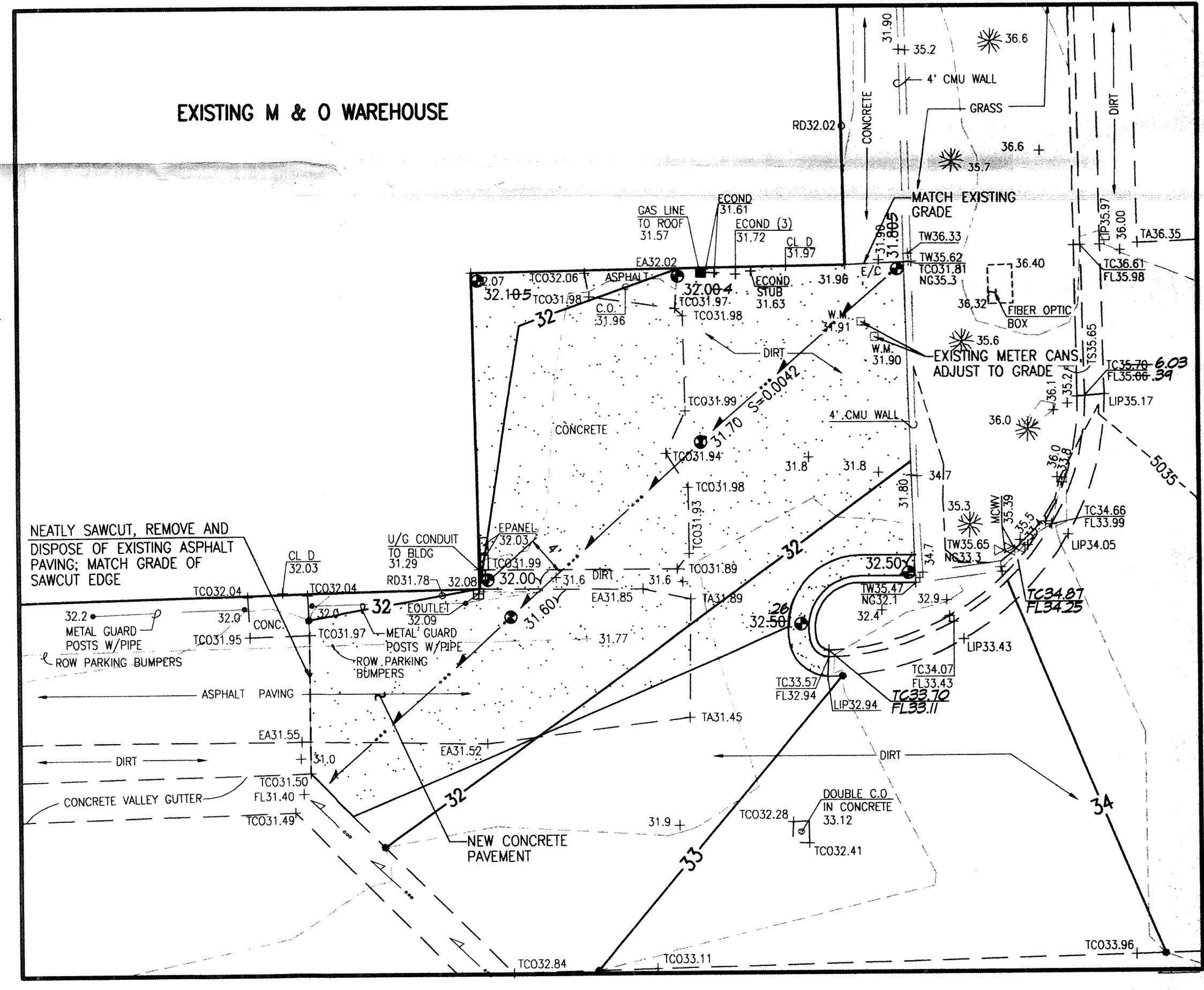
A "T" INKED ON THE TOP BACK OF CURB LOCATED AT THE NORTHEAST CORNER OF AN ISLAND NEAR THE SOUTHEAST CORNER OF THE M & O WAREHOUSE BUILDING. ELEVATION = 5038.19 FEET (M.S.L.D.-1929)

## LEGAL DESCRIPTION

A PORTION OF TRACT C-1, A.P.S. CENTRAL OFFICE ADDITION FILED 11/02/1999; BOOK C, PAGE 303

# LEGEND

- CL D CENTERLINE OF DOOR
- CL DD CENTERLINE OF DOUBLE DOOR
- TA TOP OF ASPHALT
- ECOND ELECTRIC CONDUIT
- MCWF METER CAN WITH WATER VALVE
- WF WATER FAUCET
- TCOND TELEPHONE CONDUIT
- U/G UNDERGROUND
- SVB SPRINKLER VALVE BOX
- TS TRAFFIC SIGN
- FL FLOWLINE
- EA E/A EDGE OF ASPHALT
- TW TOP OF WALL
- W.M. WATER METER
- E/C EDGE OF CONCRETE
- EPANEL ELECTRIC PANEL
- BLDG BUILDING
- EOULET ELECTRIC OUTLET
- RD ROOF DRAIN
- C.O. SANITARY SEWER CLEAN-OUT
- X-FMR TRANSFORMER
- G.M. GAS METER
- G.S. GAS SERVICE
- GPM GAS LINE PAINT MARK
- W/ WITH
- M.L.P. METAL LIGHT POLE
- WCR WHEELCHAIR RAMP
- + 36.0 EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- EXISTING DECIDUOUS TREE (WITH CALIPER SIZE)
- EXISTING CONIFEROUS TREE
- EXISTING FLOWLINE
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR
- FLOWLINE
- PROPOSED CONCRETE - SEE SITE PLAN FOR PAVING LAYOUT AND SPECIFICATIONS
- PROPOSED ASPHALT PAVING, SEE SITE PLAN FOR PAVING LAYOUT AND SPECIFICATIONS
- RECORD ELEVATION
- RECORD INFORMATION= AS DESIGNED
- RECORD INFORMATION



## OPTION A



JEFF MORTENSEN & ASSOCIATES, INC.  
6010-B MIDWAY PARK BLVD., N.E.  
ALBUQUERQUE, NEW MEXICO 87109  
ENGINEERS & SURVEYORS (505) 345-4250  
FAX: 505 345-4254 Email: jma@jma-inc.com

## PAVING AND DRAINAGE MODIFICATIONS APS M&O CONTROL CENTER

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
J.G.M.	7/01	J.G.M.	ADD THIS SHEET	980796-7
S.G.H.	10/01	J.G.M.	RECORD DRAWING/ CERTIFICATION FOR PERMANENT C.O.	DATE
J.G.M.				07-2001
				SHEET 32 OF 32

