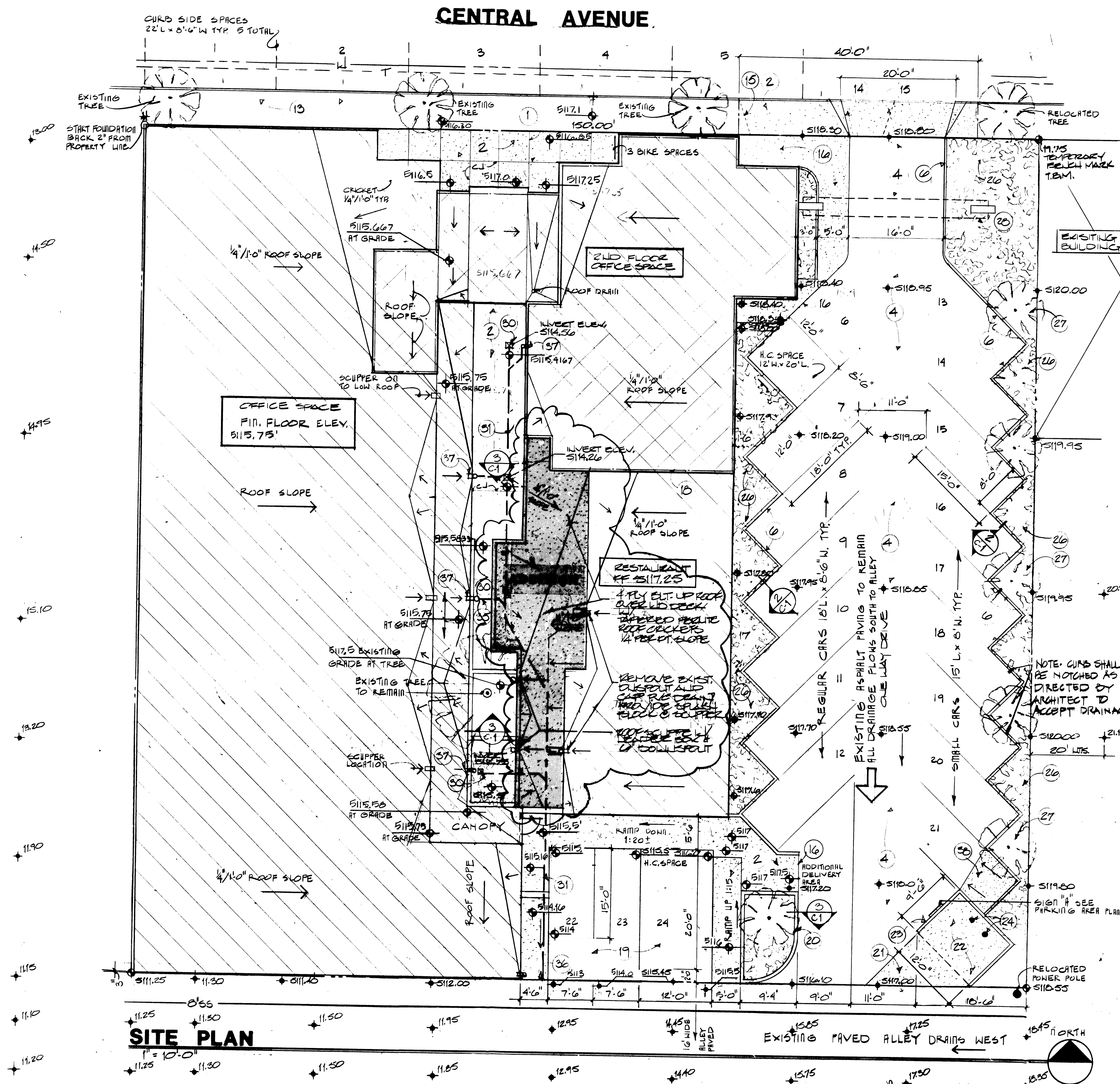
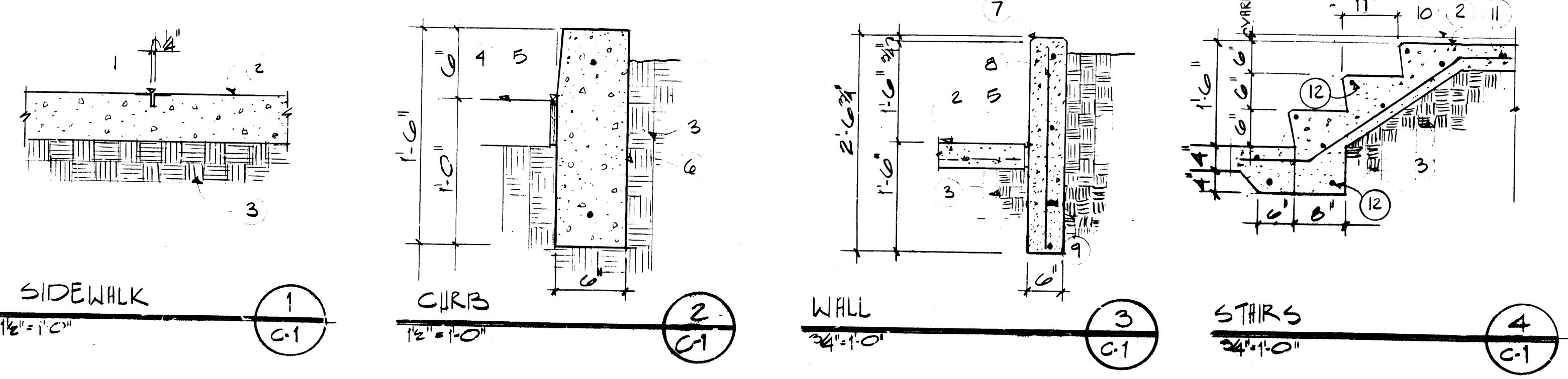




SITE PLAN



VICINITY MAP

DESIGN DATA

SEISMIC ZONE TWO (2)
 CONSTRUCTION TYPE 321
 OCCUPANCY GROUP B-2 OFFICE
 ZONING: A-3 RESTAURANT
 SQUARE FOOTAGES: 13,553 TOTAL - SEE BREAKDOWN BELOW
 PARKING REQUIREMENTS: 59 REQ. - 60 PROVIDED - SEE BREAKDOWN BELOW
 TOTAL PAVED AREA: 5343 S.F.
 LANDSCAPE AREA REQ.: 374 S.F.
 LANDSCAPE AREA PROVIDED: 1,494 S.F.
 ALLOWABLE HEIGHT: 40'
 BUILDING HEIGHT MAX.: 30'

DRAINAGE DATA

RUNOFF SOURCE:
 USE 100% IMPERVIOUS FOR BOTH EXISTING AND DEVELOPED CONDITIONS
 AREA = 42.150 / 43.860 = 0.44 ACRE
 RUNOFF FACTOR = 0.90

RUNOFF RATE:
 10 MIN. USE 10 MIN.
 100 YEAR 24 HOUR RAINFALL = 2.35 IN.
 100 YEAR 10 MIN. INTENSITY = 4.0 IN/Hr.
 100 YEAR PEAK DISCHARGE = $(0.90)(0.44)(4.0) = 1.58 CFS$
 10 YEAR PEAK DISCHARGE = $(0.657)(0.44) = 0.29 CFS$

COURTYARD DRAIN
 100 YEAR PEAK DISCHARGE = $(0.90)(12,500/43,860)(4.0) = 1.3 CFS$
 OFFICE AREA REQ'D = $1.3/0.66(0.75) = 0.31 SF$
 USE 4'X12 OR 6'X6

ONSITE FLOWS

ALL FLOWS GENERATED ONSITE WILL BE CHanneled VIA EXISTING OR PROPOSED CONSTRUCTION TO THE PAVED ALLEY. A VISUAL INSPECTION OF THE ALLEY INDICATES THERE ARE NO DRAINAGE PROBLEMS THAT NEED ATTENTION OR THAT WILL BE AGGRAVATED BY THE PROPOSED CONSTRUCTION.

OFFSITE FLOWS

THE LOT EAST OF THE PROPOSED CONSTRUCTION CURRENTLY DRAINS WESTERLY IN A SHEET FLOW CONDITION ONTO THE EXISTING ONSITE PARKING AREA. A CURB WITH DRAINAGE NOTCHES WILL BE CONSTRUCTED ALONG THE EAST SIDE OF THE ONSITE PARKING LOT AND THIS OFFSITE DRAINAGE WILL CONTINUE TO BE ACCEPTED.

PARKING REQUIREMENTS

ON SITE PARKING: 2 H.C. SPACES
 6 REGULAR SPACES
 11 SMALL CAR SPACES
 CURB SIDE SPACES: 5 REGULAR SPACES

OFF SITE PARKING:
 AREA A: 10 REGULAR SPACES
 AREA B: 21 REGULAR SPACES
 5 SMALL CAR SPACES

TOTAL PARKING:
 42 REGULAR SPACES
 16 SMALL CAR SPACES
 60 TOTAL PROVIDED
 59 REQUIRED

BLDG. AREAS/OCCUP. AND PARKING

1ST FLR. RESTAURANT 3550 S.F. GROSS 120 SEATS + 4 = 30 CHRS
 1ST FLR. OFFICE 7305 S.F. GROSS 5479 S.F. NET = 100 S.F. = 55 PEOPLE
 2ND FLR. OFFICE 2692 S.F. GROSS 2019 S.F. NET = 100 S.F. = 20 PEOPLE
 2019 S.F. NET = 3000 S.F. = 67 CHRS + 7 CHRS

TOTAL OCCUP. 195 PEOPLE
 TOTAL CHRS REQ. 65 - 10% FOR BUS PROXIMITY
 65 - 65 = 0
 65 - 4/25% = 16 SMALL CAR
 CAR SPACES REQ'D 15 SMALL CAR 3 BICYCLE SPACES REQ.

TOTAL REQ. 12 REG. 2 H.C. SPACES 15 SMALL CAR 3 BICYCLE SPACES

SITE DEVELOPMENT PLAN
ZA-86-273
DATE 9/5/86
APPROVED

CENTRAL COMPOUND
SITE LOCATION
 1604-1606-1608 CENTRAL AVE. S.E.

LEGAL DESCRIPTION

TRACT A, BLOCK 53 TERRACE ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO
 FILED OFFICE OF THE COUNTY CLERK OF BENTHILL COUNTY, NEW MEXICO ON SEPT 4, 1986
 CURRENT ADDRESS: 1604, 1606 & 1608 CENTRAL AVE. S.E.

BENCHMARK DESCRIPTION

ACS 2-1/5 IN CENTRAL AVE. MEDIAN 02 FEET EAST OF CENTERLINE INTERSECTION CENTRAL AVE. & UNIVERSITY BLVD. ELEV. 5133.97



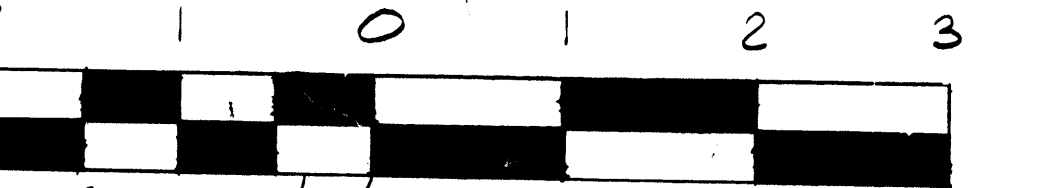
SCS SOILS MAP PANEL 31



FHB MAP PANEL 29 (10/14/83)

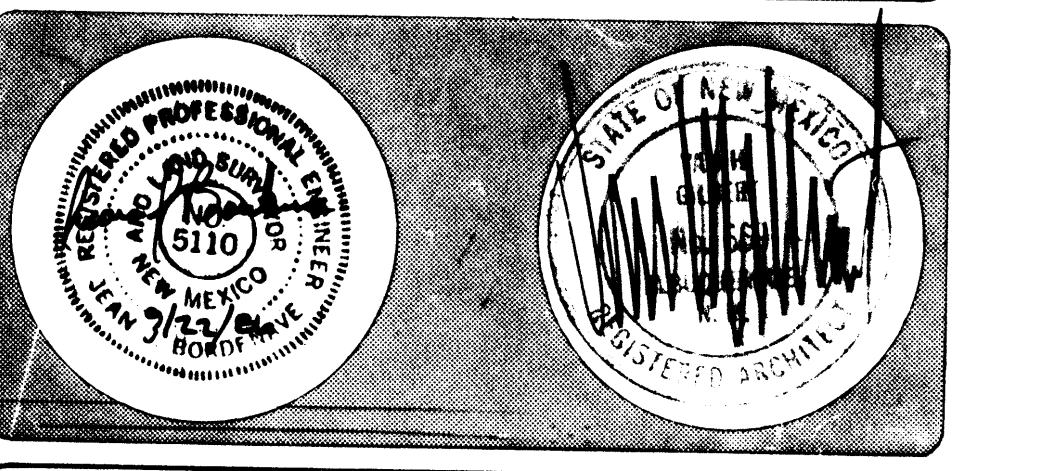
REVISED 04/20/93

GRAPHIC SCALE



REVISED 10/20/86
 REVISED 9/6/86
 REVISED 9/22/86

Van H. Gilbert Architect AIA

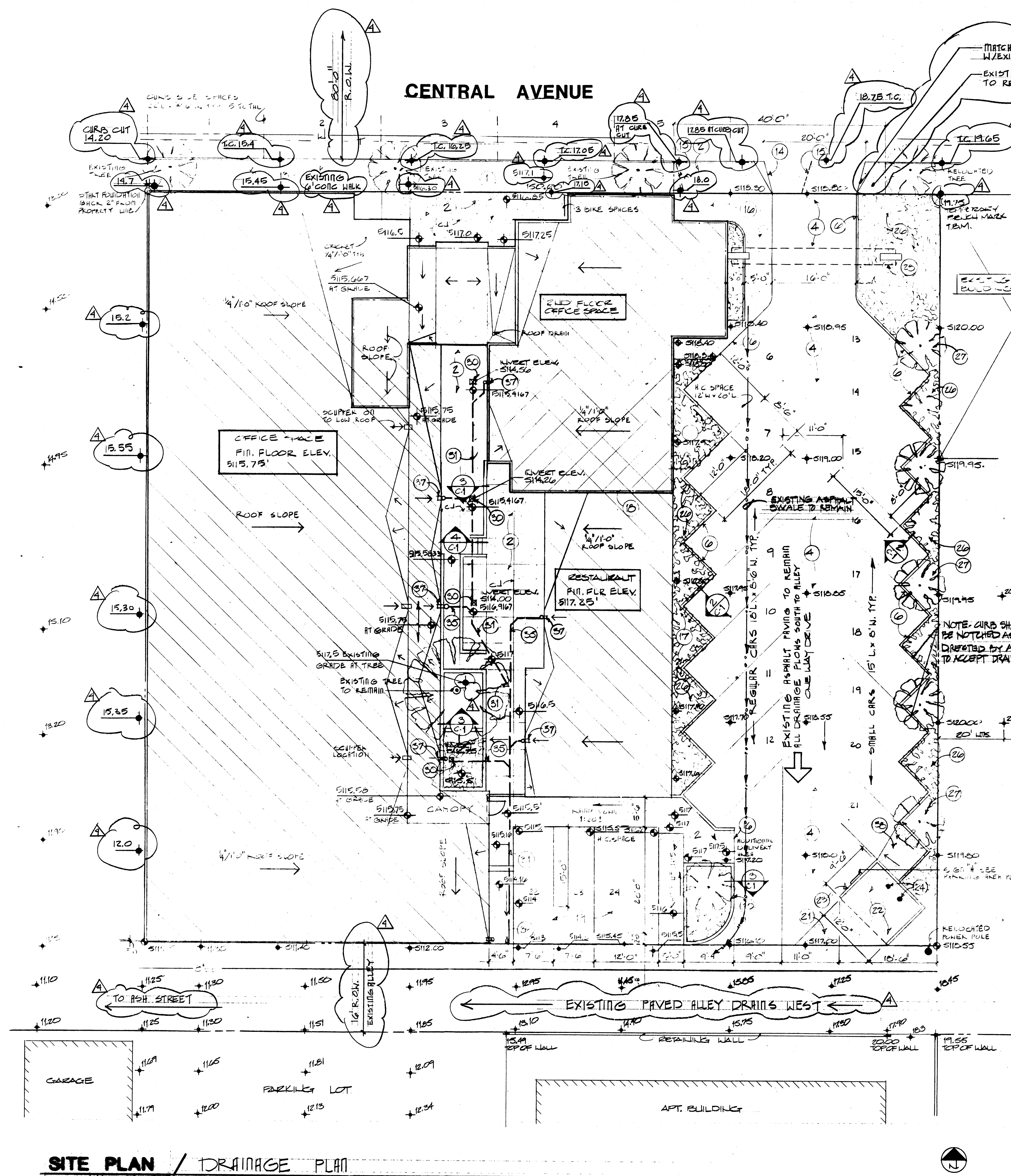


CENTRAL COMPOUND

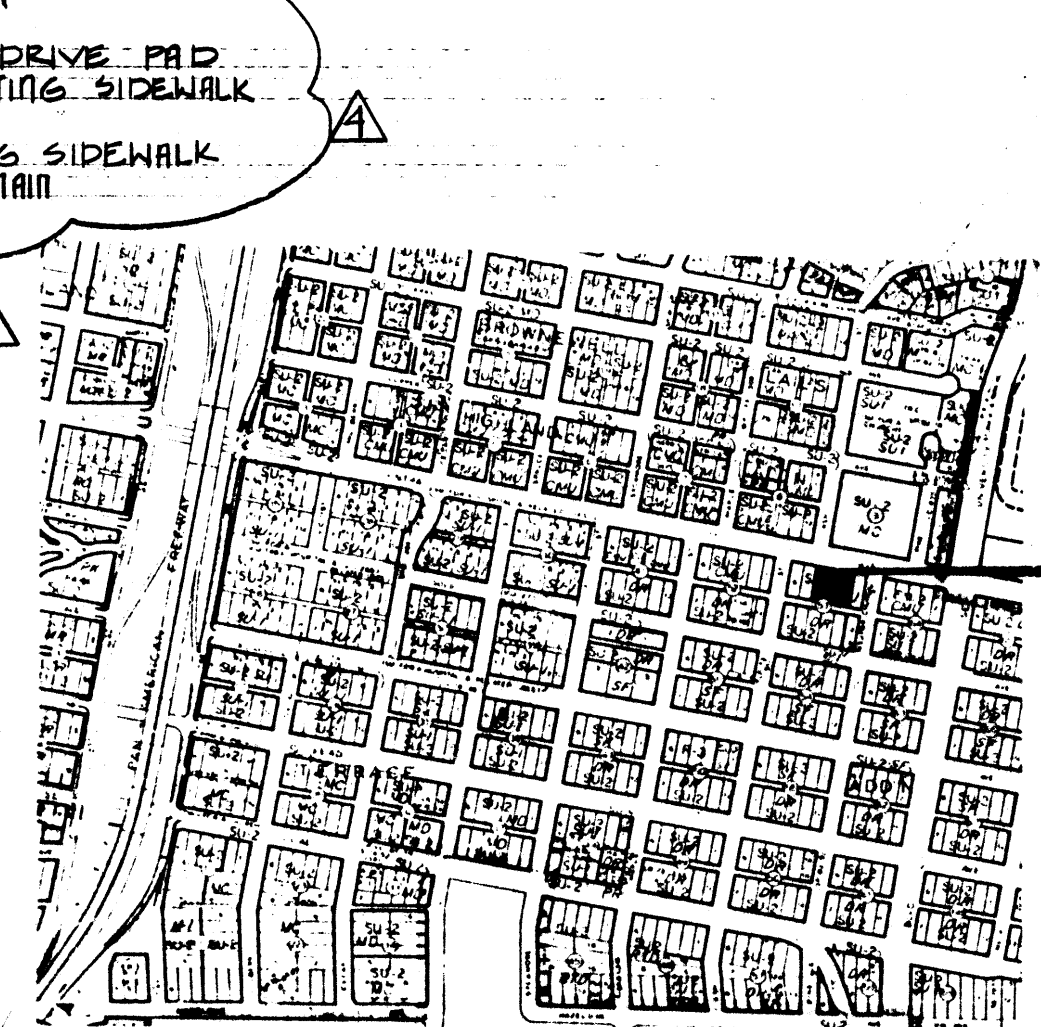
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PROJECT DATA
 SITE PLAN
 SITE DETAILS

Sheet **C-1**
 1 of 9



SITE PLAN / DRAINAGE PLAN



VICINITY MAP

DESIGN DATA

SEISMIC ZONE TWO (2)
 CONSTRUCTION TYPE SM
 OCCUPANCY GROUP B-2 OFFICE
 A-3 RESTAURANT
 ZONING: SU-2 IS CITY IN UNIVERSITY NEIGHBORHOODS AREA FALLS INTO C-2 ZONE
 SQUARE FOOTAGES: 13,553 TOTAL - SEE BREAKDOWN BELOW
 PARKING REQUIREMENTS: 59 REQ. - 60 PROVIDED - SEE BREAKDOWN BELOW
 TOTAL PAVED AREA: 5343 S.F.
 LANDSCAPE AREA REQ.: 374 S.F.
 LANDSCAPE AREA PROVIDED: 1,494 S.F.
 ALLOWABLE HEIGHT: 40'
 BUILDING HEIGHT: 30'

DRAINAGE DATA

RUNOFF SOURCE:
 USE 100% IMPERVIOUS FOR BOTH EXISTING AND DEVELOPED CONDITIONS
 AREA = 42.150 / 43.340 = 0.49 ACRE
 RUNOFF FACTOR = 0.90

RUNOFF RATE:
 1.0 CPM, USE 10 MIN.
 100 YEAR, 10 MIN. DRAINAGE = 2.25 IN.
 100 YEAR, 10 MIN. DRAINAGE = 4.2 IN. (4.2) = 2.1 CFS
 10 YEAR, PEAK DISCHARGE = (0.90)(4.2)(4.2) = 1.4 CFS
 10 YEAR, PEAK DISCHARGE = (0.65)(2.1) = 1.4 CFS

COURTYARD DRAIN
 100 YEAR PEAK DISCHARGE = (0.90)(12,550 / 43,340)(4.2) = 1.3 CFS
 OFFICE AREA REQ'D = (1.3 / 0.67)(2.4)(0.75) = 0.31 SF
 USE 2-12 OR 3-8

ONSITE FLOWS
 ALL FLOWS GENERATED ONSITE WILL BE CHanneled VIA EXISTING OR PROPOSED CONSTRUCTION TO THE PAVED ALLEY. A VISUAL INSPECTION OF THE ALLEY INDICATES THERE ARE NO DRAINAGE PROBLEMS THAT NEED ATTENTION OR THAT WILL BE AGGRAVATED BY THE PROPOSED CONSTRUCTION.

OFFSITE FLOWS
 THE LOT EAST OF THE PROPOSED CONSTRUCTION CURRENTLY DRAINS WESTERLY IN A SHEET FLOW CONDITION ONTO THE EXISTING ONSITE PARKING AREA. A CURB WITH DRAINAGE NOTCHES WILL BE CONSTRUCTED ALONG THE EAST SIDE OF THE ONSITE PARKING LOT AND THIS OFFSITE DRAINAGE WILL CONTINUE TO BE ACCEPTED.

PARKING REQUIREMENTS

ON SITE PARKING: 59 REQ. - 60 PROVIDED
 OFF SITE PARKING: 10 REQUIRED
 TOTAL PARKING: 69 REQUIRED
 TOTAL PROVIDED: 60 TOTAL PROVIDED
 59 REQUIRED

BLDG. AREAS/OCCUP. AND PARKING

TOTAL OCCUP. 193 PEOPLE
 TOTAL VEHICLES 65 - 100 CAR PARKING
 65 - 100
 89 - 100% SMALL CARS
 42 REQ.
 2 REQ. SPACES
 TOTAL REQ. 89 CAR SPACES

SITE DEVELOPMENT PLAN
ZA-86-273
DATE _____
APPROVED _____

CENTRAL COMPOUND
SITE LOCATION
 1604-1606-1608 CENTRAL AVE. S.E.

LEGAL DESCRIPTION
 TRACT "H" BLOCK "D" TENNIS ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO
 FILED OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPT 4, 1980
 NEW MEXICO RECORDS 1604, 1606 & 1608 CENTRAL AVE. S.E.

BENCHMARK DESCRIPTION
 ACS 2-KIS 4 CENTRAL AVE. MEDIAN 02 FEET EAST OF CENTRAL AVE. INTERSECTION CENTRAL AVE. & UNIVERSITY BLVD ELEV. 5123.97

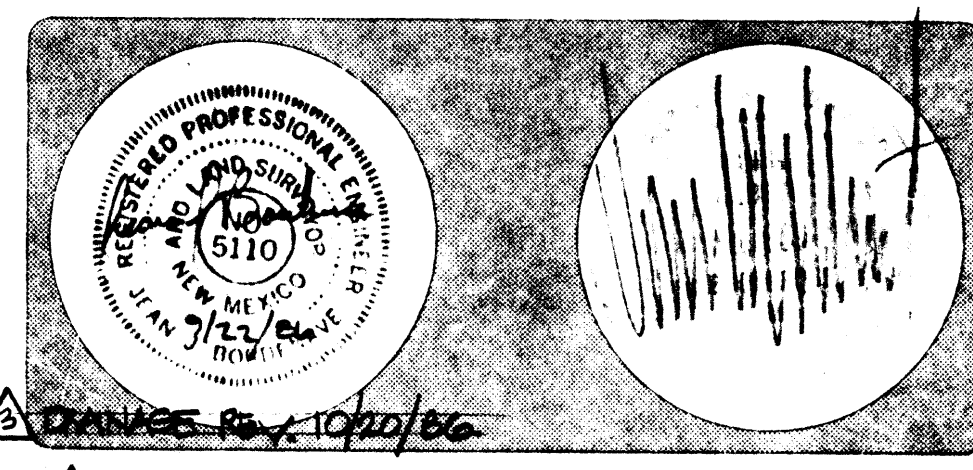
1. 1/4" TOLER CONTROL JOINT.
2. 4" CONC PAVING.
3. COMPACTED FILL.
4. EXISTING PAVING.
5. 1/2" EXPANSION JOINT.
6. CONC CURB W/11" #4 TOP & BOTTOM.
7. 3/4" CHAMFER.
8. #4 @ 24" OC.
9. #4 @ 16" OC.
10. FINISH FLOOR BEYOND.
11. #4 @ 16" OC EACH WAY.
12. #4 @ 16" OC.
13. EXISTING CONCRETE SIDEWALK TO REMAIN.
14. NEW CURB CUT PER CITY STANDARDS.
15. LINE OF EXISTING CURB CUT. REMOVE EXISTING CONCRETE SIDEWALK AS REQ'D.
16. 4" CONCRETE SIDEWALK FLUSH W/ASPHALT PAVING.
17. REMOVE EXISTING ASPHALT PAVING TO NEW CURB TO PROVIDE PLANTING AREA FOR LANDSCAPING.
18. LINE OF SECOND STORY ABOVE.
19. NEW ASPHALT PAVING AS REQ'D.
20. NEW CONCRETE PLANTER.
21. 4" CONCRETE SLAB 3600 PSI MIN 3/4" MAX DIA. AGGREGATE W/16 1.4X1.4 MIN.
22. 4" CONCRETE SLAB 3600 PSI MIN 3/4" MAX DIA. AGGREGATE W/16 1.4X1.4 MIN.
23. ROLL OUT DUMPSTER W/1'-0" W CEDAR FENCE.
24. 6" DIA. STL GUARD POSTS SET IN 12"x12" CONC 3'-0" DEEP. FILL POST W/CONCRETE.
25. HANDICAP PARKING SPACE CONTIN 18'-0"x21'-0" W/PAINTED STALL MARKING POST SIGN PER CITY STANDARDS. 2'-0" BACK FROM CURB.
26. PROVIDE BILTOBILUM CARPET/GRASS. JUMPED UNIDENTIFIED. MULTIPLE. 3 GAL. 8" DRAIN TYP.
27. ALL IRRIGATED.
28. PROVIDE 1/2" 1/2" CALIBER. MIN. STORMWATER AS INDICATED. ALL UNBUILT.
29. DRIVE THRU OVERPASS ABOVE.
30. BUILTUP DRIVEWAY W/PAVED PERMITS. SLOPE MIN 1/4" PER FOOT.
31. 4" CONC DRAIN.
32. 4" CONC DRAIN.
33. 4" CONC DRAIN.
34. 4" CONC DRAIN.
35. 4" CONC DRAIN.
36. 4" CONC DRAIN.
37. 4" CONC DRAIN.
38. 4" CONC DRAIN.
39. 4" CONC DRAIN.
40. 4" CONC DRAIN.
41. 4" CONC DRAIN.
42. 4" CONC DRAIN.
43. 4" CONC DRAIN.
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52. 4" CONC DRAIN.
53. 4" CONC DRAIN.
54. 4" CONC DRAIN.
55. 4" CONC DRAIN.
56. 4" CONC DRAIN.
57. 4" CONC DRAIN.
58. 4" CONC DRAIN.
59. 4" CONC DRAIN.
60. 4" CONC DRAIN.



GRAPHIC SCALE

REVISED 10/20/86
 REVISED 9/16/86
 REVISED 9/22/86

Van H. Gilbert Architect AIA
 Architect
 390 Central NW Suite 201 Albuquerque, NM 87102 (505) 242-0001



CENTRAL COMPOUND

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PROJECT DATA
 SITE PLAN & DRAINAGE
 SITE DETAILS

Sheet **C-1A**
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