

PROJECT TITLE: OFFICE DEVELOPMENT AT  
I-25 AND GRAND AVE. ZONE ATLAS/DRNG. FILE #: K-15 / P52  
DRB #: \_\_\_\_\_ EPC #: 8-90-79 WORK ORDER #: \_\_\_\_\_  
LEGAL DESCRIPTION: CROSSAN  
PORTION OF BLOCK NINE, -KENNEDY ADDN.  
CITY ADDRESS: 1001 Martin Luther King Jr Ave NE  
ENGINEERING FIRM: BOHANNAN-HUSTON CONTACT: JAMES TOPMILLER  
ADDRESS: 7500 JEFFERSON NE PHONE: 823-1000  
OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

TYPE OF SUBMITTAL:

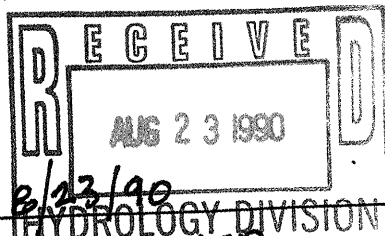
- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN  
☒ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION  
☐ OTHER \_\_\_\_\_

PRE-DESIGN MEETING:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL (EPC)  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☐ OTHER \_\_\_\_\_ (SPECIFY)



DATE SUBMITTED:

BY:



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 16, 1990

James Topmiller, P.E.  
Bohannon-Huston, Inc.  
7500 Jefferson Street, NE  
Albuquerque, New Mexico 87109

RE: CONCEPTUAL GRADING & DRAINAGE PLAN FOR OFFICE DEVELOPMENT  
AT I-25 AND GRAND AVENUE, FOR SITE DEVELOPMENT PLAN  
APPROVAL FOR EPC, (K-15/D52), ENGINEER'S STAMP DATED  
AUGUST 23, 1990

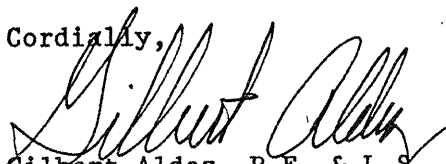
Dear Mr. Topmiller:

Based on the information provided on the referenced plan received August 23, 1990, the plan is approved for Site Development for EPC.

Please be advised that prior to Site Development plan approval for DRB, a more extensive drainage and grading plan will be required as per the D.P.M. checklist.

If you should have any questions, please do not hesitate to call me at 768-2650.

Cordially,



Gilbert Aldaz, P.E. & L.S.  
Civil Engineer/Hydrology

GA  
wp+2145

PUBLIC WORKS DEPARTMENT

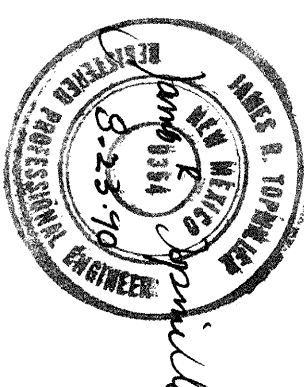
Walter H. Nickerson, Jr., P.E.  
Assistant Director Public Works

ENGINEERING GROUP

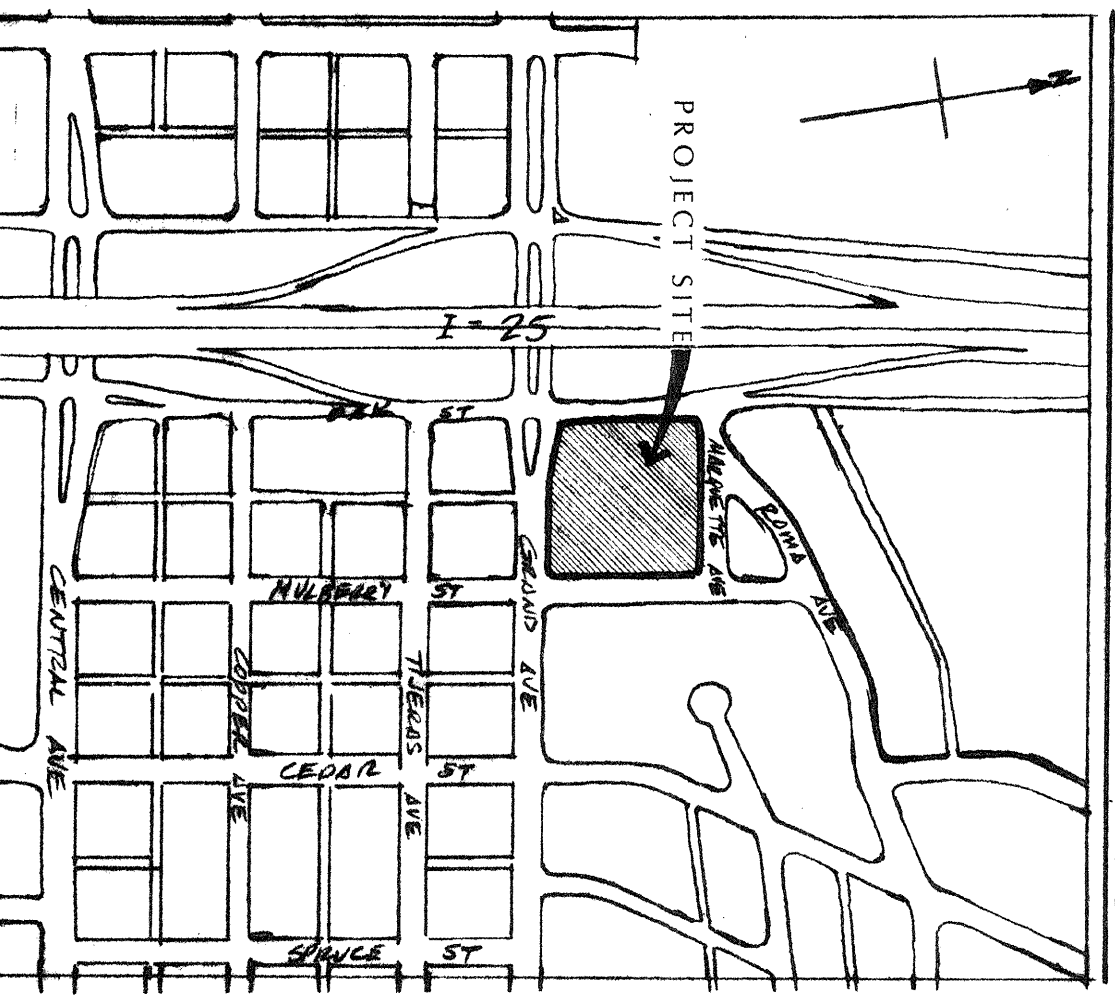
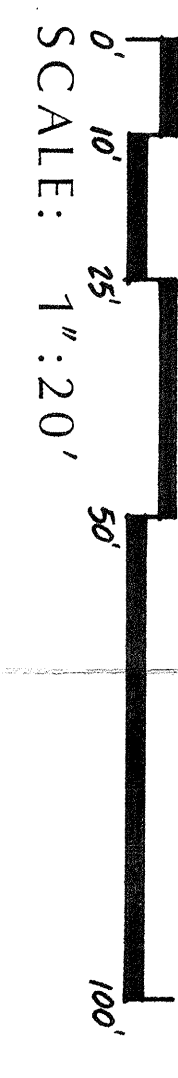
Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

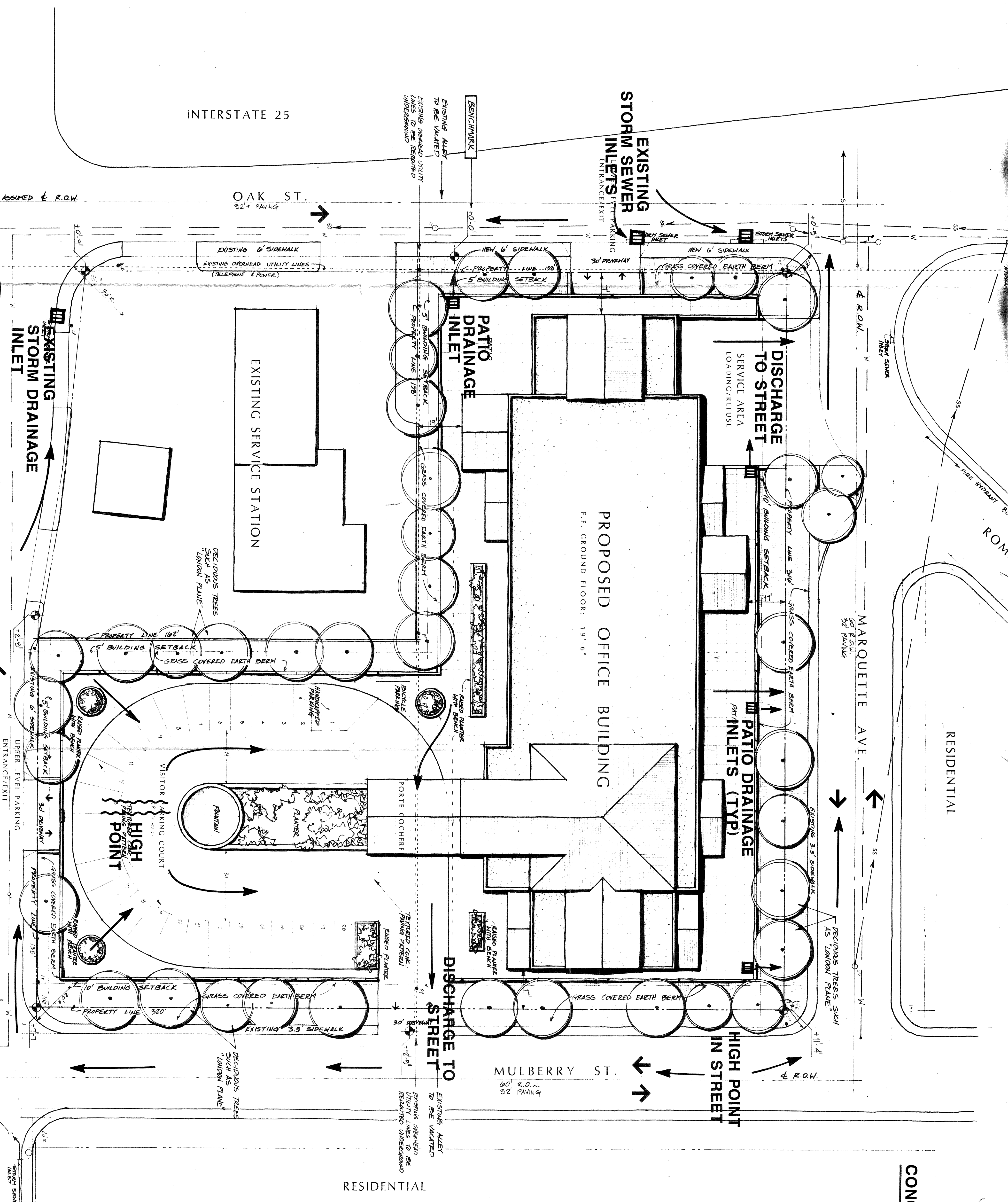




SITE DEVELOPMENT PLAN - PROPOSED OFFICE BUILDING  
CONCEPTUAL DRAINAGE/GRADING PLAN



DATE \_\_\_\_\_ DRAWN \_\_\_\_\_ CHECKED \_\_\_\_\_



LEGEND OF DRAINAGE SYMBOLS

- DIRECTION OF DRAINAGE FLOW
- INLET(S) -- NOT TO SCALE

DESIGN DATA	
AREAS:	
SITE	75,500 S.F.
GROUND LEVEL BUILDING	25,500 S.F.
NET LOT AREA	50,000 S.F.
LANDSCAPING REQUIRED (15%)	7,500 S.F.
LANDSCAPING PROVIDED	12,000 S.F.
PLANTERS	14,000 S.F.
TOTAL	14,000 S.F.
FOUR STORY OFFICE BUILDING	
GROSS	88,500 S.F.
NET LEASABLE	80,000 S.F.
PARKING SPACES REQUIRED	305
(HANDICAPPED INCLUDED)	12
PARKING SPACES PROVIDED	285
TWO LEVEL PARKING STRUCTURE	28
SURFACE PARKING	312
TOTAL	312

EXISTING CONDITIONS AND SITE DESCRIPTION

The proposed site is located between Grand Avenue on the south, Oak Street on the west, Marquette Avenue on the north and Mulberry Street on the east. The site is a rectangular lot measuring approximately 100 feet wide by 150 feet deep. The site is currently vacant and is surrounded by residential and commercial development. The site is located in a flood-prone area and is subject to flooding from the surrounding streets. The site is located in a flood-prone area and is subject to flooding from the surrounding streets. The site is located in a flood-prone area and is subject to flooding from the surrounding streets.

PROPOSED DRAINAGE CONDITIONS

An office development is proposed to be constructed on this site. The proposed development is a four-story office building with a total area of 88,500 square feet. The proposed development is a four-story office building with a total area of 88,500 square feet. The proposed development is a four-story office building with a total area of 88,500 square feet.

CONCEPTUAL DRAINAGE MANAGEMENT PLAN