

# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

K15D053A

Project Title: KANW Building Permit #: \_\_\_\_\_ City Drainage #: KESD

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: TRACT C, HEIGHTS COMMUNITY ADDITION

City Address: 2020 COAL AVENUE SE

Engineering Firm: High Mesa Consulting Group Contact: Jeffrey Mortensen #8547

Address: 6010-B Midway Park Blvd NE, Albuquerque NM 87109

Phone#: 505-345-4250 Fax#: 505-345-4254 E-mail: jmortensen@highmesacg.com

Owner: ALBUQUERQUE PUBLIC SCHOOLS Contact: ANNELLE DARBY

Address: 915 OAK STREET SE, 87106

Phone#: 505-848-8829 Fax#: \_\_\_\_\_ E-mail: annelle.darby@aps.edu

Architect: BAKER ARCHITECTS AND DESIGN Contact: MARK BAKER

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: High Mesa Consulting Group Contact: Chuck Cala NMPS#11184

Address: 6010-B Midway Park Blvd NE, Albuquerque NM 87109

Phone#: 505-345-4250 Fax#: 505-345-4254 E-mail: ccala@highmesacg.com

Contractor: ANCHOR BUILT Contact: OWNER

Address: \_\_\_\_\_

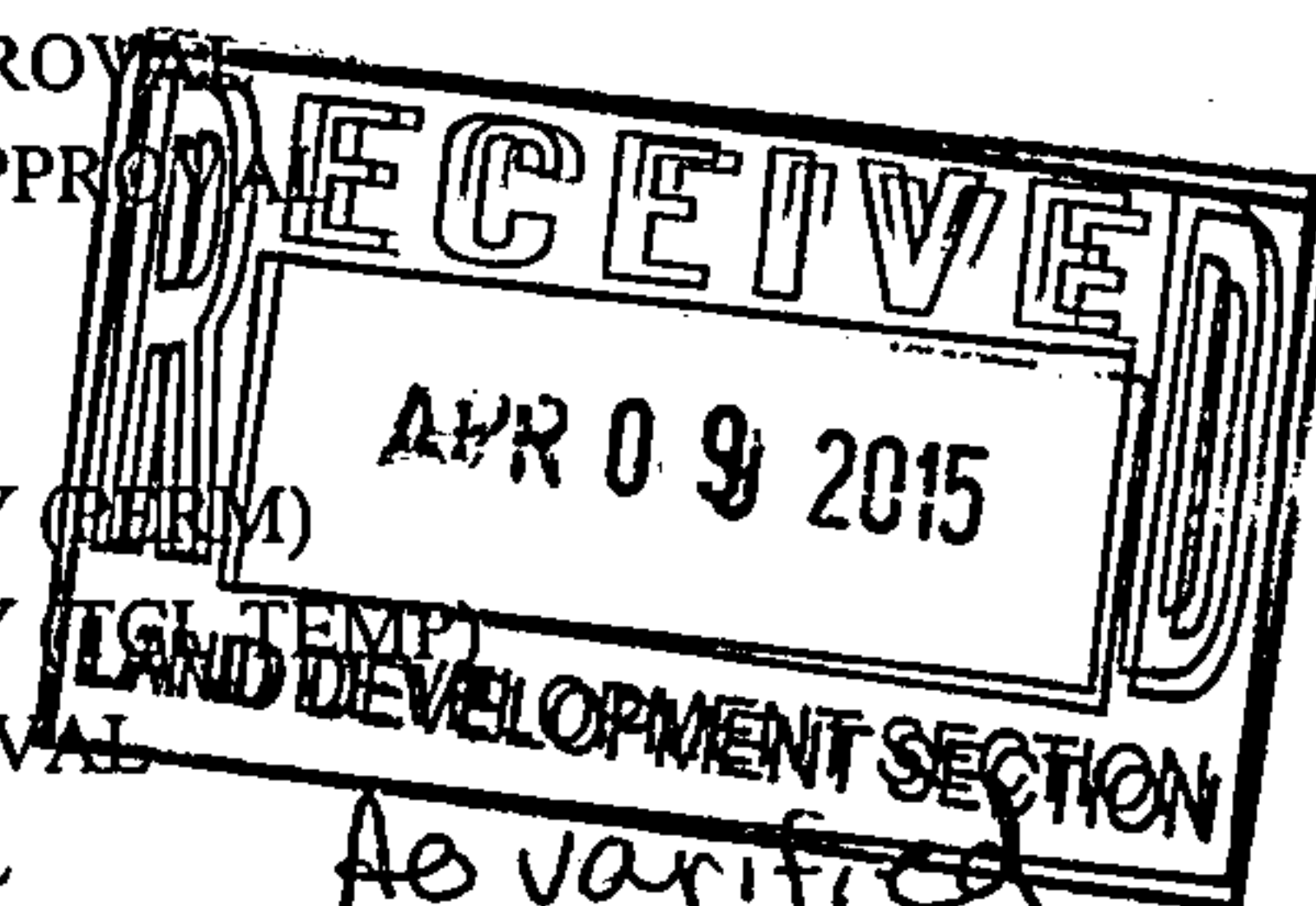
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT (DMP)
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (DMP) \_\_\_\_\_



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes ☒ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: 04-09-2015 By: Jeff Mortensen (HMCG 2013.189.3)

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

## Jeffrey Mortensen

---

**From:** Ortiz, Monica <mortiz@cabq.gov>  
**Sent:** Thursday, April 09, 2015 10:28 AM  
**To:** Jeffrey Mortensen  
**Subject:** RE: 2020 Coal Ave SE KANW Radio

Thanks Jeff, I'll add it to the file folder!

### Monica Ortiz

Planning Department – Transportation & Hydrology  
Development & Building Services Division  
600 2nd St. NW, Suite 201  
Albuquerque, NM 87102  
t 505-924-3981  
f 505-924-3864

**From:** Jeffrey Mortensen [mailto:JMortensen@highmesacg.com]  
**Sent:** Thursday, April 09, 2015 10:17 AM  
**To:** Ortiz, Monica  
**Subject:** RE: 2020 Coal Ave SE KANW Radio

Monica,

Attached is a PDF of the Engineer's Drainage Certification for this project. Although a cert isn't required for CO, we are providing a copy for information purposes.

Formal submittal to follow.

Jeff

**HIGH  
MESA Consulting Group**

Jeffrey G. Mortensen, P.E.  
Chairman

6010-B Midway Park Blvd. NE Phone: 505.345.4250  
Albuquerque, NM 87109 Fax: 505.345.4254  
www.highmesacg.com jmortensen@highmesacg.com

**From:** Ortiz, Monica [mailto:mortiz@cabq.gov]  
**Sent:** Thursday, January 29, 2015 12:17 PM  
**To:** Jeffrey Mortensen  
**Subject:** RE: 2020 Coal Ave SE KANW Radio

Hello Jeff, I spoke to Curtis just now and he said that an Engineer Drainage Certification for release of CO would not be required. Being that the formal review and approval was never done. We do have the grading plan for information purpose only on file. Thanks



**Monica Ortiz**

Planning Department – Transportation & Hydrology  
Development & Building Services Division  
600 2nd St. NW, Suite 201  
Albuquerque, NM 87102  
t 505-924-3981  
f 505-924-3864

**From:** Jeffrey Mortensen [<mailto:JMortensen@highmesacg.com>]

**Sent:** Wednesday, January 28, 2015 4:40 PM

**To:** Ortiz, Monica

**Cc:** Cherne, Curtis

**Subject:** RE: 2020 Coal Ave SE KANW Radio

Hi Monica,

Here's a follow-up question on this project:

Will Hydrology require an Engineer's Drainage Certification for CO release?

I ask because they (APS) are anxious to move-in, but the Contractor hasn't finished the following:

1. Pavement patching
2. Striping of old parking
3. Landscaping

While we intend to provide a complete Engineer's Drainage Certification for project closeout and determination of compliance with the Plan, we would like to avoid the two-step process of requesting a Temp in advance of the completion of the items listed above.

Please review this with Curtis and let us know how we may proceed. It is my intention to provide the complete Engineer's Drainage Certification to Hydrology upon 100% completion "FOR INFORMATION". I only want to avoid preparing and submitting a Cert for a Temp.

Thanks,  
Jeff

**HIGH  
MESA Consulting Group**

**Jeffrey G. Mortensen, P.E.**  
Chairman

6010-B Midway Park Blvd. NE  
Albuquerque, NM 87109  
[www.highmesacg.com](http://www.highmesacg.com)

Phone: 505.345.4250  
Fax: 505.345.4254  
[jmortensen@highmesacg.com](mailto:jmortensen@highmesacg.com)

**From:** Ortiz, Monica [<mailto:mortiz@cabq.gov>]

**Sent:** Monday, December 08, 2014 8:41 AM

**To:** Jeffrey Mortensen  
**Subject:** RE: 2020 Coal Ave SE KANW Radio

Hello Jeff, I just spoke to Curtis and he advised me to log it in as an information only. Thanks

**Monica Ortiz**

Planning Department – Transportation & Hydrology  
Development & Building Services Division  
600 2nd St. NW, Suite 201  
Albuquerque, NM 87102  
t 505-924-3981  
f 505-924-3864

**From:** Jeffrey Mortensen [<mailto:JMortensen@highmesacg.com>]  
**Sent:** Monday, December 08, 2014 8:18 AM  
**To:** Ortiz, Monica  
**Subject:** RE: 2020 Coal Ave SE KANW Radio

Good Morning Monica,

I'm a bit confused by this request as the Building Permit was issued without a Grading Plan. We prepared a Grading Plan to support construction only therefore never made a formal Drainage Submittal.

Jeff

**HIGH  
MESA Consulting Group**

**Jeffrey G. Mortensen, P.E.**  
Chairman

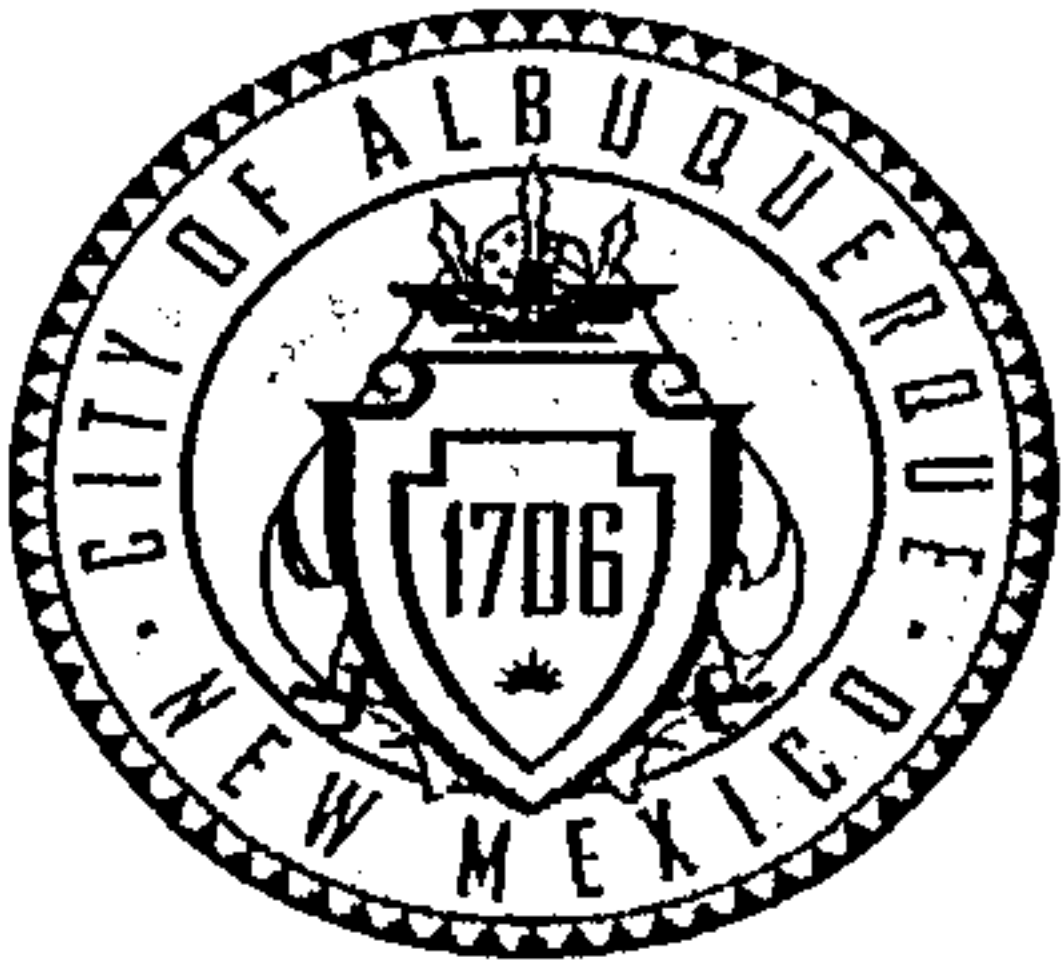
6010-B Midway Park Blvd. NE Phone: 505.345.4250  
Albuquerque, NM 87109 Fax: 505.345.4254  
[www.highmesacg.com](http://www.highmesacg.com) [jmortensen@highmesacg.com](mailto:jmortensen@highmesacg.com)

**From:** Ortiz, Monica [<mailto:mortiz@cabq.gov>]  
**Sent:** Monday, December 08, 2014 8:14 AM  
**To:** Jeffrey Mortensen  
**Subject:** 2020 Coal Ave SE KANW Radio  
**Importance:** High

Good Morning Jeff, can you please email me the electronic copy of your submittal to Hydrology for the KANW Radio.  
Thanks

**Monica Ortiz**

Planning Department – Transportation & Hydrology  
Development & Building Services Division  
600 2nd St. NW, Suite 201  
Albuquerque, NM 87102  
t 505-924-3981  
f 505-924-3864



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

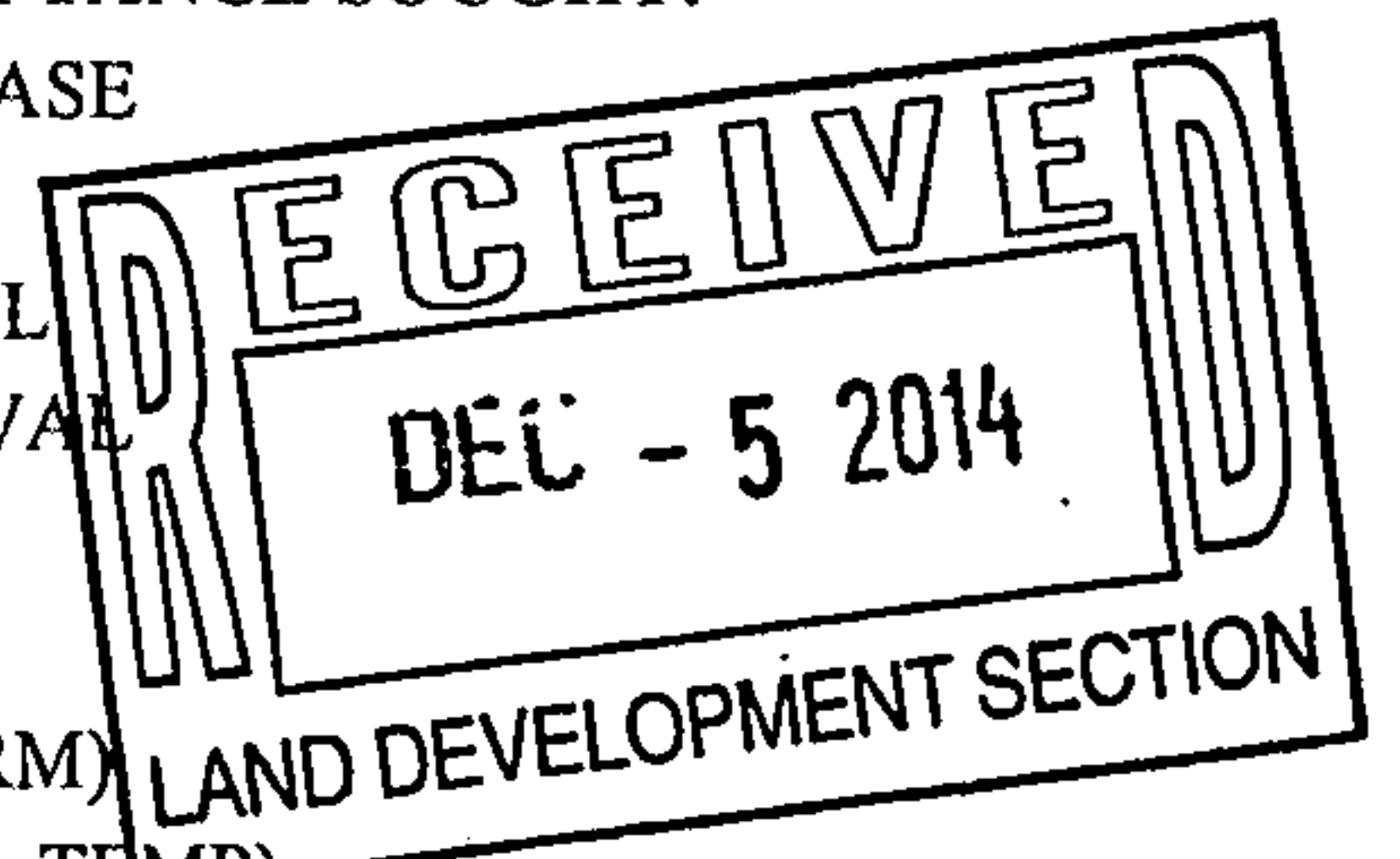
Project Title: KANW RADIO Building Permit #: 201392052 City Drainage #: K15D053A  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: \_\_\_\_\_  
City Address: 2020 COAL AVE SE  
Engineering Firm: HIGH MESA CONSULTING GROUP Contact: JEFF MORTENSEN  
Address: 6010-B MIDWAY PK. BLDG NE  
Phone#: 345-4250 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Owner: A.P.S. Contact: ANNELLE DABBY  
Address: 915 OAK ST. SE 8710C  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Architect: BAKER A+D Contact: MARK BAKER  
Address: 4200-B LOMAS BLVD NE  
Phone#: 254 4697 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Surveyor: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Contractor: ANCHOR BUILT Contact: ROSENDO GARCIA  
Address: 304 INDIANA ST. SE 8710B  
Phone#: 342 2452 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes ☒ No ☐ Copy Provided ☐  
DATE SUBMITTED: 12-5-14 By: Mark Baker

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

INFO ONLY



# CITY OF ALBUQUERQUE



April 13, 2010

Claudio Antonio Vigil, R.A.  
Claudio Vigil Architects  
1801 Rio Grande Blvd. NW  
Albuquerque, NM 87104

Re: KANW Radio Station, 2020 Coal Avenue SE, Traffic Circulation Layout  
Architect's Stamp dated 04-13-10 (K15-D053A)

Dear Mr. Vigil,

The TCL submittal received 04-13-10 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

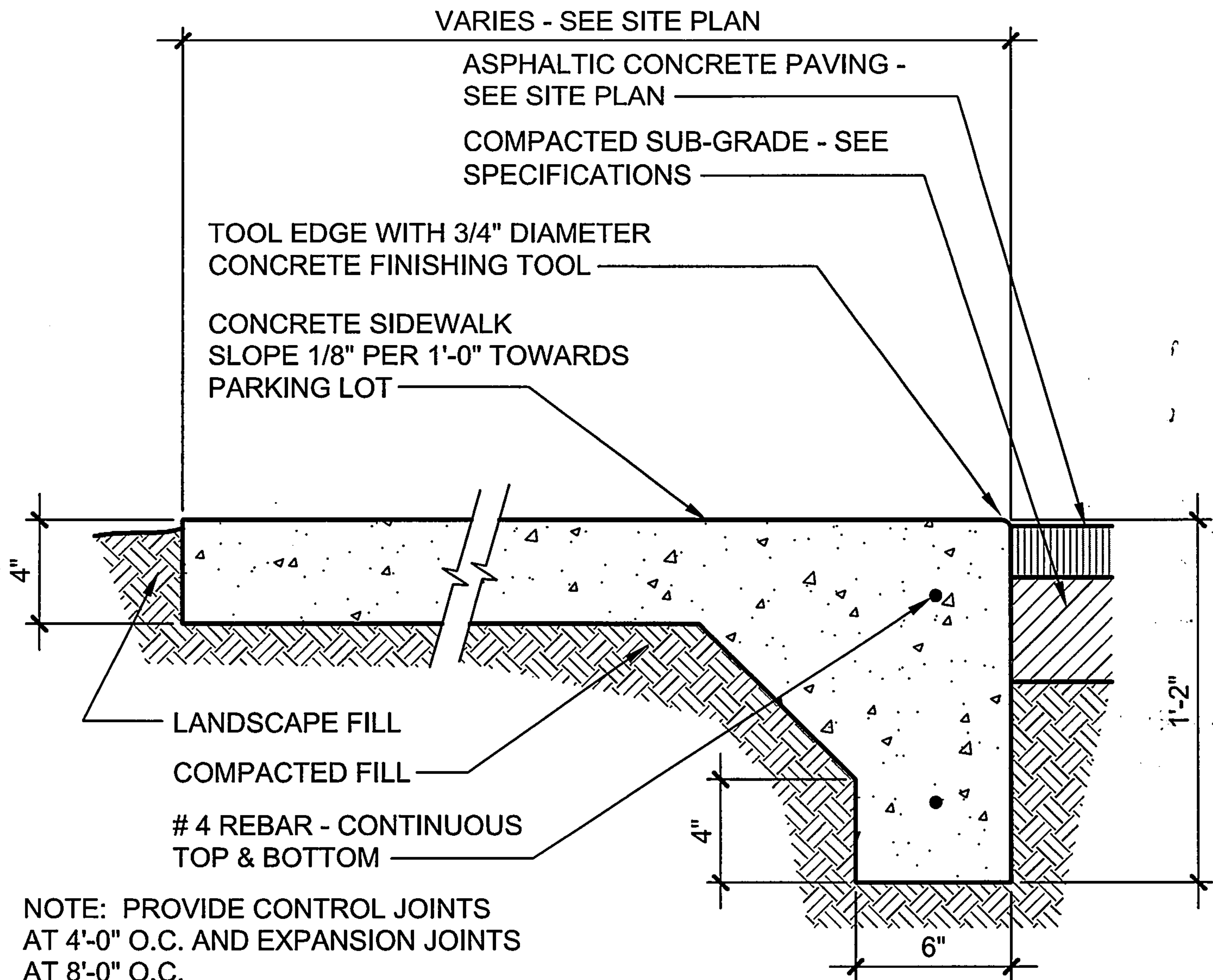
C: File

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



**A3**

# TURN DOWN SIDEWALK

SCALE: 1-1/2" = 1'-0"





CONTINUOUS  
TOM OF  
FOOTING

LL

16"

METER  
COL

IN

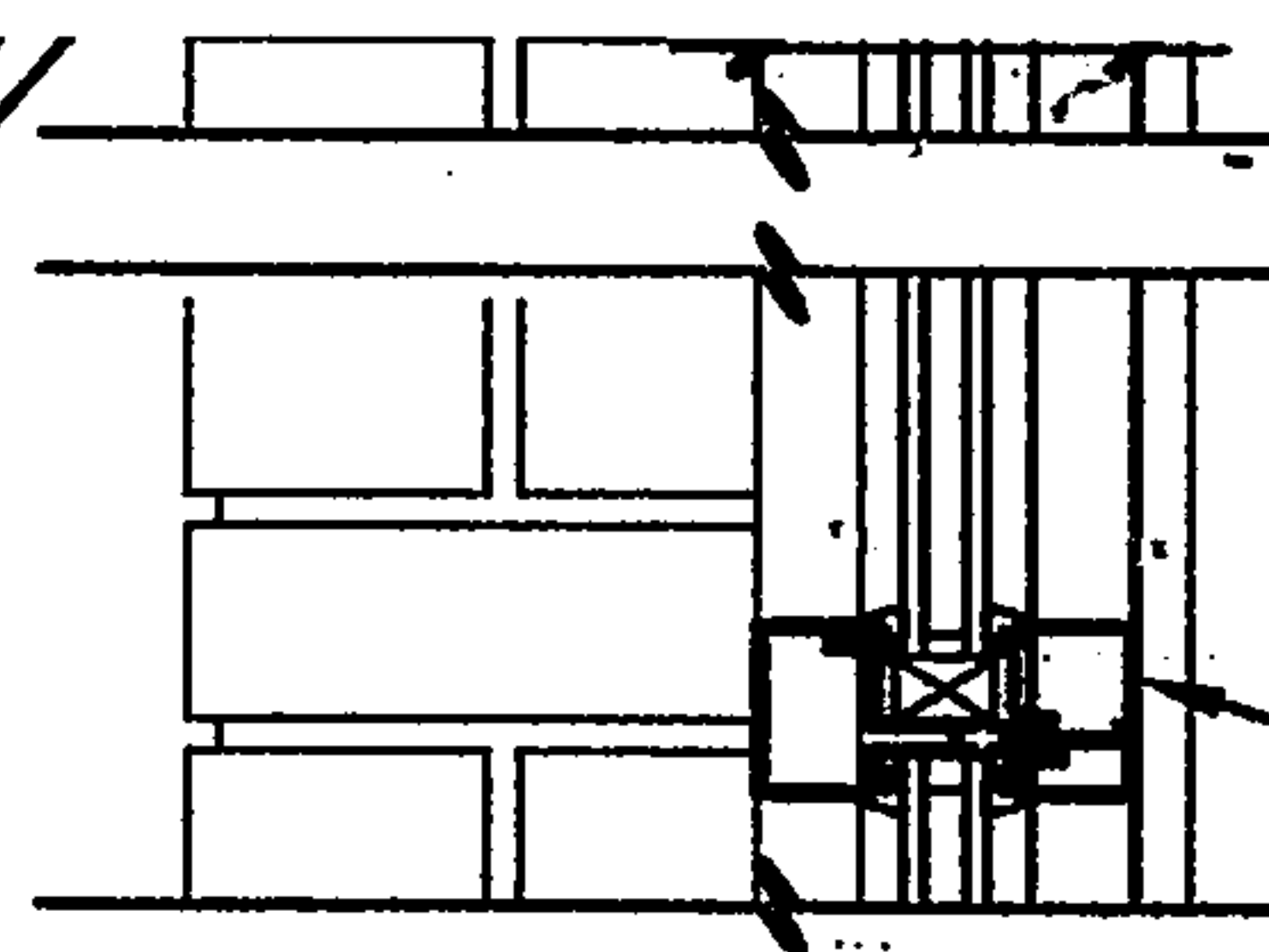
6"  
1'-0"

RB

16"

CONCRETE LINTEL WITH  
INTEGRAL DRIP EDGE

NOTE: PRECAST  
STONE/CONCRETE  
MANUFACTURER SHALL  
DESIGN AND PROVIDE  
ATTENDANT ANGLES TO  
MASON. ANGLES TO BE  
STAINLESS STEEL



METAL DRYWALL  
CORNER BEAD  
CONTINUOUS AROUND  
WINDOW

INTERMEDIATE  
HORIZONTAL MULLION  
WITH 1" INSULATED  
GLAZING

INTERIOR

B5

## WINDOW HEAD DETAIL

SCALE: 1-1/2" = 1'-0"

0 2" 4" 8" 16"

ALBUQUERQUE  
BUILDING & SAFETY

MAR 11 2010

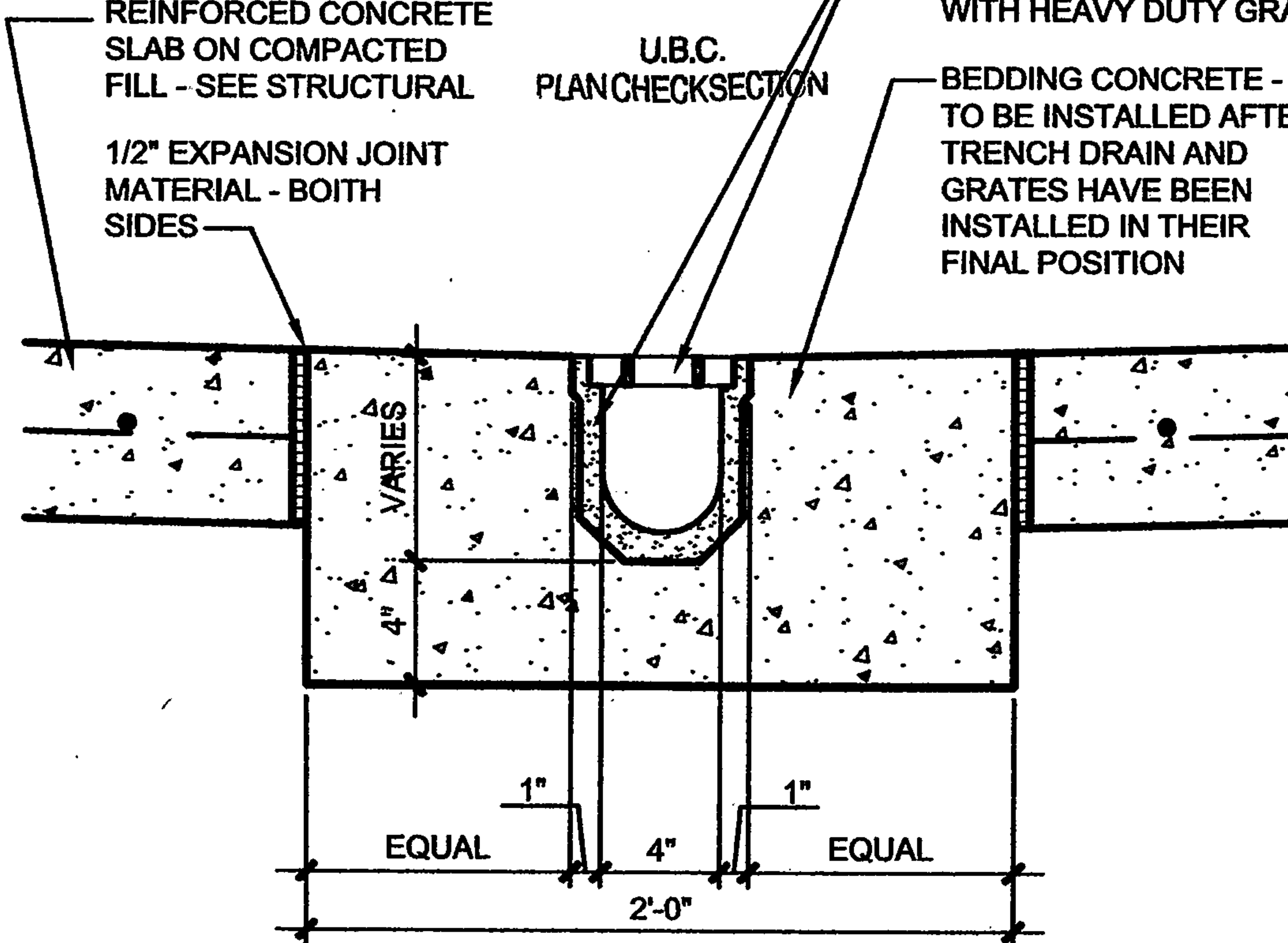
U.B.C.  
PLAN CHECK SECTION

REINFORCED CONCRETE  
SLAB ON COMPACTED  
FILL - SEE STRUCTURAL

1/2" EXPANSION JOINT  
MATERIAL - BOTH  
SIDES

MODULAR PRECAST  
POLYMER CONCRETE  
TRENCH DRAIN SYSTEM  
WITH HEAVY DUTY GRATE

BEDDING CONCRETE -  
TO BE INSTALLED AFTER  
TRENCH DRAIN AND  
GRATES HAVE BEEN  
INSTALLED IN THEIR  
FINAL POSITION



A5

## TRENCH DRAIN DETAIL

SCALE: 1-1/2" = 1'-0"

0 2" 4" 8" 16"

# KANW RADIO STATION

2020 COAL AVENUE SE  
ALBUQUERQUE, NEW MEXICO

-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
MARK	DATE	DESCRIPTION

PROJECT NUMBER:	09185
DRAWING FILE:	4CONDOCA501-DETL
DRAWN BY:	LM
CHECK BY:	CAV
COPYRIGHT:	CLAUDIO VIGIL ARCHITECTS 2009
DATE:	FEBRUARY 9, 2009

SHEET TITLE

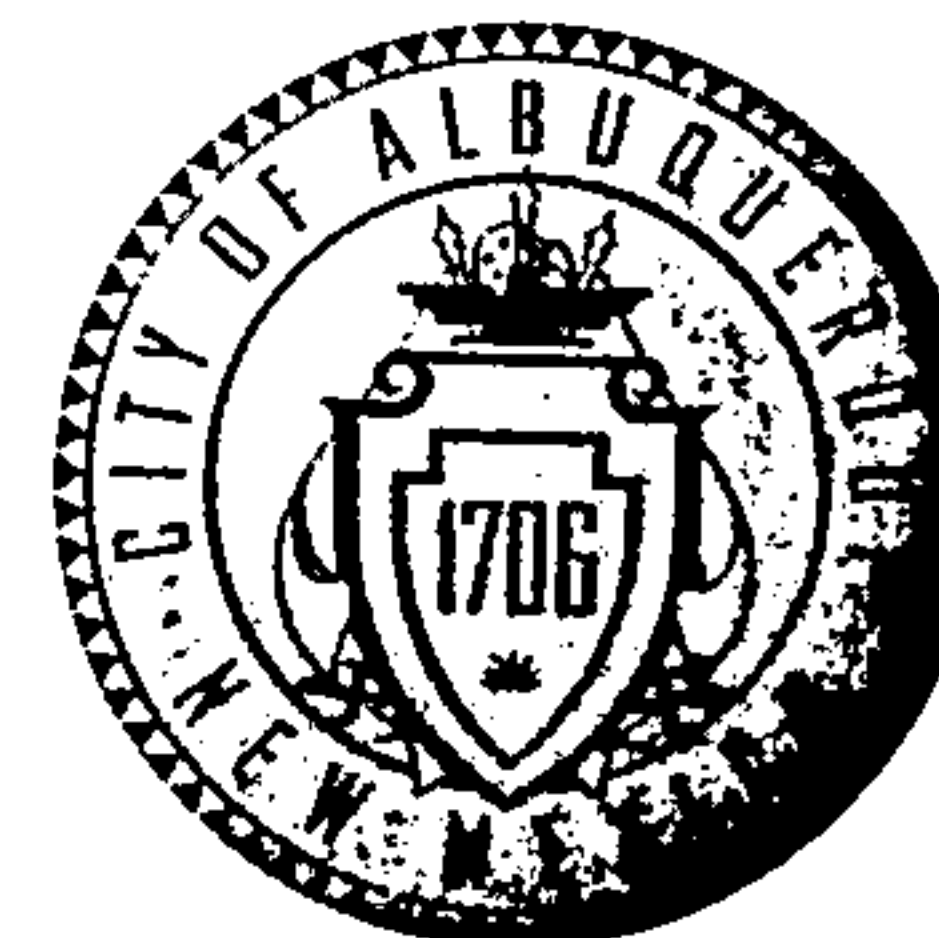
DETAILS

SHEET NUMBER

A501



# CITY OF ALBUQUERQUE



April 5, 2010

Claudio Antonio Vigil, R.A.  
Claudio Vigil Architects  
1801 Rio Grande Blvd. NW  
Albuquerque, NM 87104

Re: KANW Radio Station, 2020 Coal Avenue SE, Traffic Circulation Layout  
Architect's Stamp dated 03-30-10 (K15-D053A)

Dear Mr. Vigil,

The TCL submittal received 03-30-10 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: File

SEE REVISED  
PLAN DATED  
04/13/10

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: KANUN RADIO STATION ZONE MAP: K-15/DO 53A  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: TR C PLAT OF TRACTS A, B, & C HEIGHTS COMMUNITY CENTER CONT.  
 CITY ADDRESS: 2020 Coal Avenue SE Albuquerque, NM 16095 AC

ENGINEERING FIRM: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

OWNER: Board of Education CONTACT: \_\_\_\_\_  
 ADDRESS: P.O. Box 25704 PHONE: \_\_\_\_\_  
 CITY, STATE: Albuquerque, NM ZIP CODE: \_\_\_\_\_

ARCHITECT: Claudio Vigil Architects CONTACT: Lora Mondragon  
 ADDRESS: 1801 Rio Grande Blvd NW PHONE: 842-1113  
 CITY, STATE: Albuquerque, NM 87104 ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

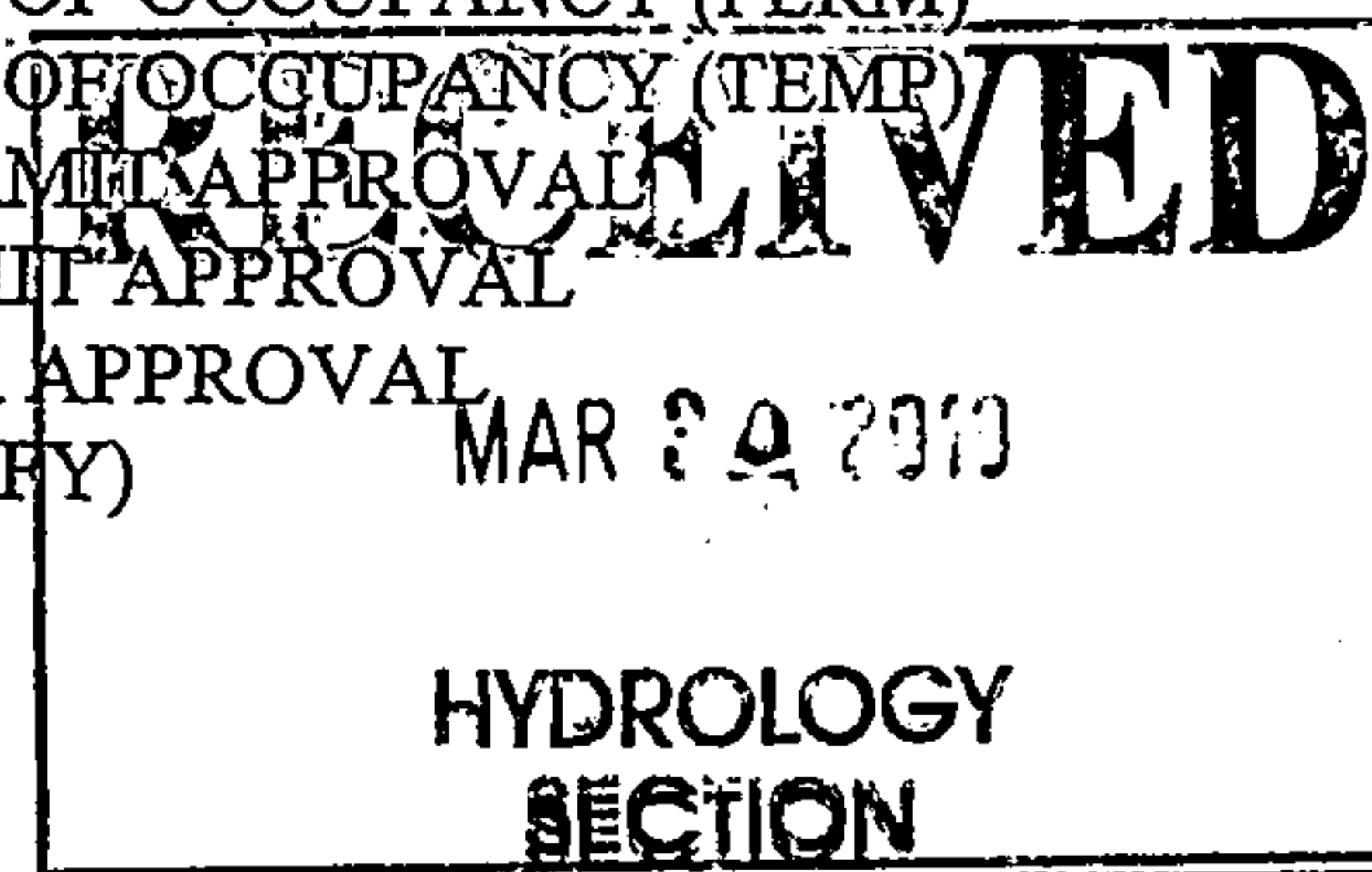
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 3-30-2010 BY: Lora Mondragon

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





March 30, 2010

Traffic Engineer  
Development and Building Services  
600 2nd St. N.W  
Albuquerque, New Mexico

RE: Traffic Circulation Layout  
KANW Radio Station Addition  
2020 Coal Avenue SE

To whom it may concern:

This is a Traffic Circulation Layout for Building Permit for a Radio Station building addition. This project will be located at 2020 Coal Avenue S.E. Albuquerque, NM. The existing building is situated near Coal Avenue S.E. and Buena Vista Drive S.E. and the proposed building addition is on the northwest corner of the existing building.

The addition is a one story structure with a footprint of 508 sq.ft. The building addition will primarily function as office space. The building's main facade will be comprised of glass storefront systems, a steel entry canopy element, brick walls to match the existing walls and an EIFS system to match the exterior concrete beam which runs along the top of the existing building. The building's exterior walls will have a palette of two colors to match the existing building and to create a cohesive appearance with adjacent building developments. The steel entry canopies will be painted. The exterior lighting as proposed shall be building mounted light fixtures and existing pole lights to illuminate the area around the building's perimeter. Any landscaping that is disturbed during the construction process will be repaired and replaced consistently with the landscape previously established. The gross landscape area provided shall meet with the city's landscape requirement. As for the number of parking spaces, we have provided three new spaces as required by the City of Albuquerque Zoning Code.

In closing, we respectfully extend our appreciation for your review and request your approval for this development which we feel confidently will continue to add to the vitality of the area.

Sincerely,

Lora Mondragon,  
Project Manager, Claudio Vigil Architects

