
*** TX REPORT ***

TRANSMISSION OK

TX/RX NO 3359
CONNECTION TEL 98816896
SUBADDRESS
CONNECTION ID
ST. TIME 12/05 16:59
USAGE T 00'45
PGS. 2
RESULT OK

City of Albuquerque
Public Works Department
505-924-3900 (main number)
505-924-3864 (fax number)
Development and Building Services (One Stop Shop)
Plaza Del Sol Building, 2nd Floor
600 2nd Street NW
Albuquerque, NM 87102

City of Albuquerque
Public Works Dept.
Dev. & Bldg. Svcs.

Fax

To: Celia Tomlinson, PE From: JP MURRAY PE
Fax: 881-6896 Pages Sent: (including this page) 2
Phone: 881-6690 Date: 12/5/00
Time: 4:05 PM

☐ Urgent ☐ For Review ☐ Please Comment ☐ Please Reply ☐ Please Recycle

FYI

Comments:



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 10, 2001

Celia Tomlinson, P.E.
Rhombus P.A.
2620-B San Mateo NE
Albuquerque, New Mexico 87110

RE: PRESBYTERIAN CHURCH- Addition & Renovation (K-15/D71)
(Copper & Elm St.)
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
ENGINEERS STAMP DATED 6/21/2000
ENGINEERS CERTIFICATION DATED 6/21/2001

Dear Ms. Tomlinson:

Based upon the information provided in your Engineers Certification submittal dated 7/10/2001, and the permit for the SO19 (approved 7/10/2001 by the City's Storm Drainage Maintenance inspector), the above referenced site is approved for a Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Teresa A. Martin
Hydrology Plan Checker
Public Works Department
B&B

C: Vickie Chavez, CAO
drainage file
approval file

PERMIT FOR EXCAVATION, CONSTRUCTION

CONTRACTOR TRIAD BUILDERS OF NM		PERMIT NUMBER 2041675		
LICENSE SF98		PROJECT NUMBER 02/01/2001		
ADDRESS 104 SIN NOMBRE COURT N.E. ALBUQUERQUE, NM 87113		PERMIT ISSUE DATE 02/01/2001		
215 LOCUST ST NE		BARRICADED BY BLUE STAKE		
PERMIT AND DETAIL PLAN COMMENTS SD #19, LETTER ON FILE NO PLANS ATTACHED, NO LANE CLOSURES		PAVING BY CON		
		EXCAVATION 443008-5810000 42.00 EX		
		SIDEWALK 443012-5810000 0.00 SW		
		DRIVEPAD 443011-5810000 0.00 DP		
		CURB/OUTLET 443010-5810000 0.00 CG		
		BARRICADE 443009-5810000 25.00 BR		
		RESTORATION 443017-5810000 0.00 RS		
		TOTAL FEE 67.00		
START DATE	COMPLETION DATE	PERMIT EXPIRES	BOND EXPIRES	ZONE ATLAS
02/07/2001	02/09/2001	02/09/2001	01/01/2002	12/31/2001
APPLICANT <i>[Signature]</i>		VOID UNTIL VALIDATED BY CITY TREASURER		
ISSUED BY <i>[Signature]</i>		RECEIVED 00001905-00001905 PERMIT# 2041675 TREASNS Trans Ant 567.00 Excavation 42.00 Barricade 25.00		

PERMITTEE AGREES TO ASSUME ALL LIABILITY, INCLUDING DEMNIFYING, DEFENDING AND HOLDING THE CITY HARMLESS FOR ALL DAMAGES OR INJURY TO PERSONS OR PROPERTY RESULTING FROM PERMITTEE'S EXCAVATION AND/OR BARRICADE WORK. THIS PERMIT IS GRANTED IN CONSIDERATION OF PERMITTEE'S ASSUMING SAID LIABILITY AND IS APPROVED FOR THE WORK DESCRIBED ABOVE. IN ACCORDANCE WITH SECTION 8-5-2-1 ET SEQ. R.O. (1994), PERMITTEE AGREES TO COMPLY WITH ALL APPLICABLE CITY RULES, REGULATIONS AND ORDINANCES. AND WHEN EXCAVATING, TO PATCH OR PLATE PRIOR TO OPENING TO TRAFFIC IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS AND ORDINANCES. PLEASE CALL 788-2551 FOR ADDITIONAL INFORMATION.

PERMITTEE MUST CALL 250-1990, 48 HOURS IN ADVANCE FOR LINE STAKING

PWD 003 REV 07

K-15/D71
PRESBYTERIAN CHURCH
COA Tomlinson

RECEIVED
JUL 10 2001
HYDROLOGY SECTION

Completed
7/10/01
SD-19
COA [Signature]
SDM.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 29, 2001

Celia Tomlinson, P.E.
Rhombus, P.A.
2620-B San Mateo NE
Albuquerque, New Mexico 87110

RE: PRESBYTERIAN CHURCH- Addition & Renovation (K-15/D71)
(Copper & Elm St)
ENGINEER CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
ENGINEERS STAMP DATED 6/21/2000
ENGINEERS CERTIFICATION DATED 6/21/2001

Dear Ms. Tomlinson:

Based on the information provided on your submittal dated June 27, 2001, the above referenced project can not be approved for a Certificate of Occupancy at this time.

The S.O. #19 on the Engineers Certification requires the City's storm drainage inspector's signature prior to approval of the Certificate of Occupancy as per the Design Process Manual (DPM) Chapter 17 "Private Storm Drain Facilities within a City Right-of-Way and/or Easement"

When the signature of the City's storm drainage maintenance inspector has been obtained and submitted to the City's Hydrology Division for approval, we will take every measure to expedite this submittal, so that a Certificate of Occupancy can be issued.

If I can be of further assistance, please feel free to contact me at 924-3981.

Sincerely,

Teresa A. Martin
Hydrology Plan Checker
Public Works Department

BUB

c:  File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: PRESBYTERIAN CHURCH ZONE MAP/DRG. FILE #: K15-D71
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 12-A BLOCK 20 BROWNEWELL & LAIL'S HIGHLAND ADDN.
 CITY ADDRESS: 208 LOCUST ST. NE

ENGINEERING FIRM: RHOMBUS PA. CONTACT: CELIA TOMLINSON
 ADDRESS: 2620-B SAN MATEO NE PHONE: 881 6690
 CITY, STATE: ALBUQ., NM 87110 ZIP CODE: 87110

OWNER: PRESBYTERIAN CHURCH CONTACT: NA
 ADDRESS: 208 LOCUST ST. NE PHONE: NA
 CITY, STATE: ALBUQ., NM ZIP CODE: _____

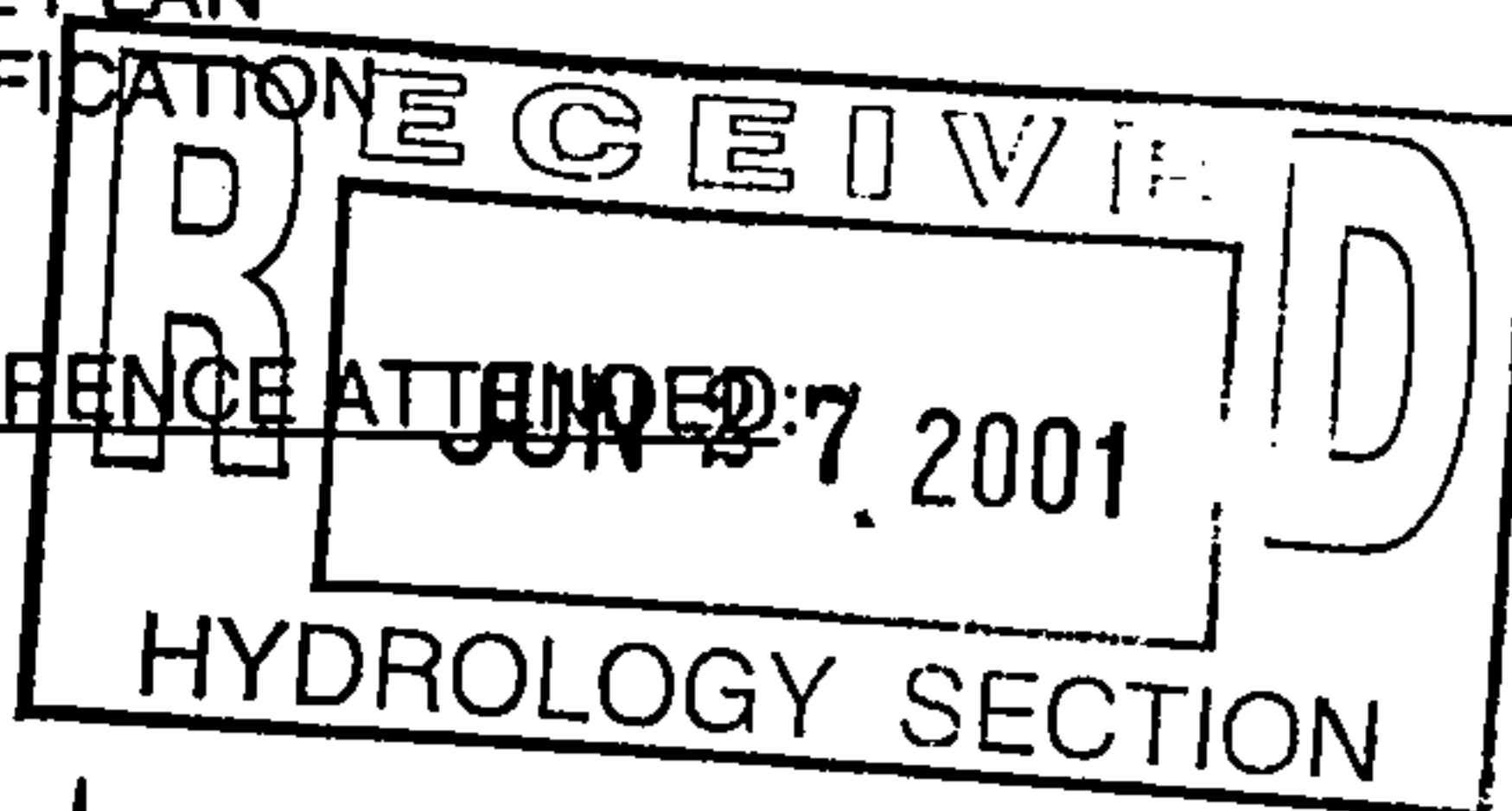
ARCHITECT: CUSTER-BASARUKA, LTD CONTACT: NANCY QUINTANA
 ADDRESS: 1400 CENTRAL AVE. SE SUITE 3000 PHONE: 766 1020
 CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: RHOMBUS (JOHN MIERS) CONTACT: CELIA TOMLINSON
 ADDRESS: 2620-B SAN MATEO NE PHONE: 881 6690
 CITY, STATE: ALBUQ., NM ZIP CODE: 87110

CONTRACTOR: KLINGER CONST. CONTACT: NA
 ADDRESS: 8701 WASHINGTON NE PHONE: 822 2990
 CITY, STATE: ALBUQ. NM 87113 ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ CLOMR/LOMR
☐ OTHER
- WAS A PRE-DESIGN CONFERENCE ATTENDED: JUN 27 2001
☒ YES
☒ NO
☐ COPY PROVIDED



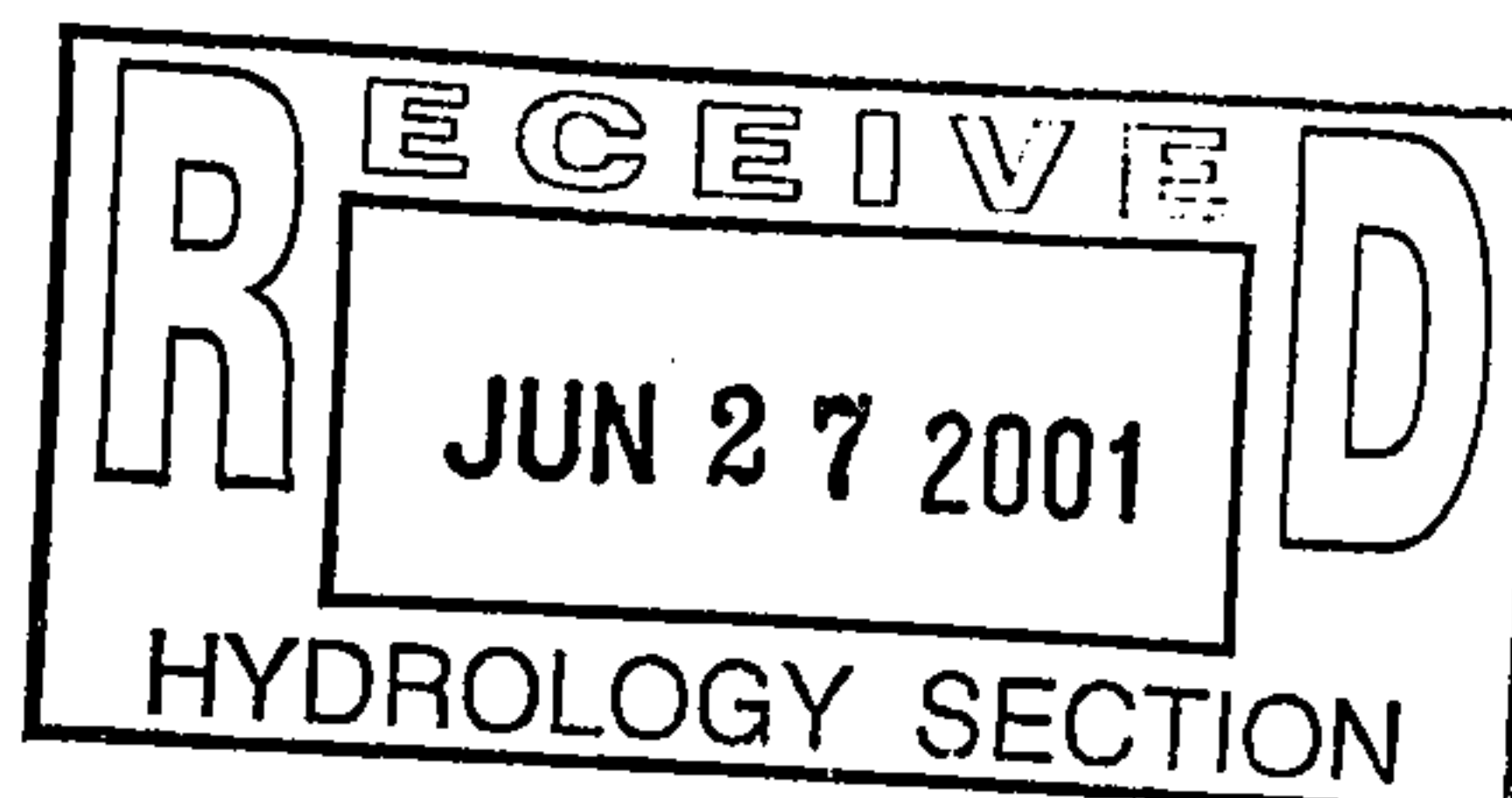
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

DATE SUBMITTED: 6/27/01 BY: Thomas G. Smith

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 5, 2000

Celia Tomlinson, P.E.
Rhombus, P.A., Inc.
2620 San Mateo NE, Suite B
Albuquerque, NM 87111

RE: FIRST PRESBYTERIAN CHURCH - Locust St. NE (K15-D71). Supplemental GRADING AND DRAINAGE PLAN FOR BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED JUNE 21, 2000 with Profile Sheet STAMPED OCTOBER 18, 2000. ORIGINAL ENGINEER'S STAMP DATED MARCH 19, 2000.

Dear Ms. Tomlinson:

Based on the information provided on your November 9, 2000 submittal, the above referenced project again is approved for Building Permit.

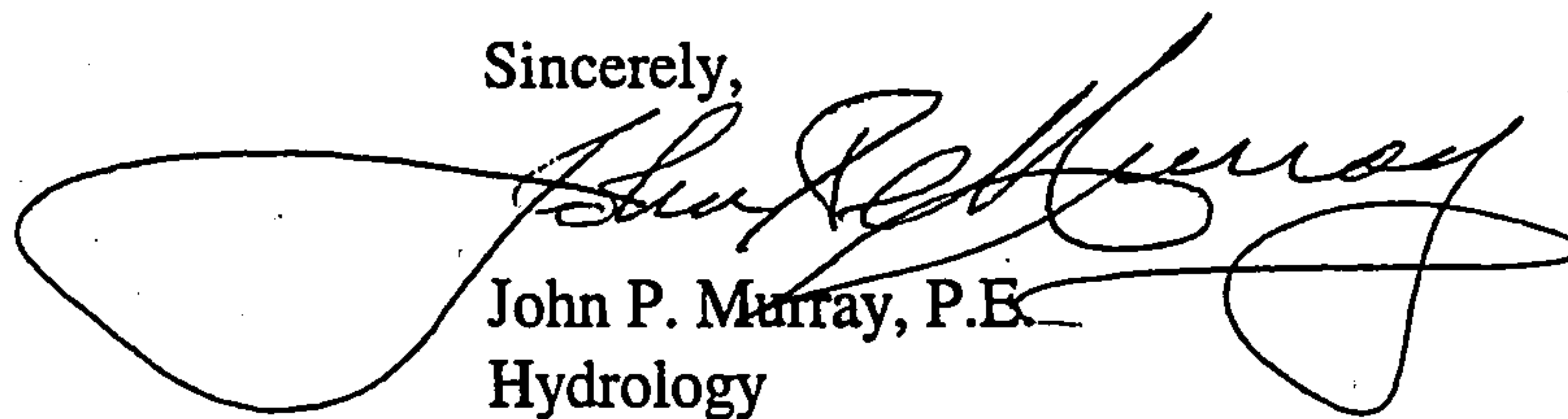
Please attach a copy of these approved supplemental sheets to the previously approved G & D Plan for inclusion in the construction sets prior to sign-off by Hydrology.

A separate permit is required for construction within the City right-of-way. A copy of this approval letter must be on hand when applying for the excavation permit. Please note that only the Inspector's Signature is now required for the SO#19 sign-off.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: Pam Lujan
Whitney Reiersen
File

Get
G&D Set
for
1/18/01 File

PUBLIC WORKS DEPARTMENT

February 8, 2001

INTEROFFICE CORRESPONDENCE

HYDROLOGY DIVISION

TO: Pam Lujan, Permits

FROM:  John Murray, Hydrology, PWD

SUBJECT: **PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHT-OF-WAY
DRAINAGE FILE NUMBER (K15-D71). FIRST PRESBYTERIAN CHURCH
@ Locust St NE.**

Transmitted herewith is a copy of the approved drainage plan for the referenced project incorporating the SO #19 design.

This plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed off SO #19 is required by this office for Certificate of Occupancy release; therefore your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation and if you should have any questions and/or comments, please feel free to call me at 924-3984.

Attachment

DRAINAGE INFORMATION SHEET

PROJECT TITLE: PRESBYTERIAN CHURCH ZONE ATLAS/DRNG. FILE #: K-15/10071

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOTS 12-A BLOCK 24 BROWNELL & LAIL'S
HIGHLAND ADDN.

CITY ADDRESS: 208 LOCUST STREET N.E.

ENGINEERING FIRM: RHOMBUS P.A. CONTACT: CELIA TOMLINSON

ADDRESS: 2620-B San Mateo NE PHONE: 881-6690
87110

OWNER: Presbyterian Church CONTACT: NA

ADDRESS: 208 LOCUST STREET NE PHONE: NA

ARCHITECT: CUSTER-BASARICH, LTD CONTACT: NANCY QUINTANA

ADDRESS: 1400 CENTRAL AV. SE PHONE: 766-1020
SUITE 3000

SURVEYOR: RHOMBUS (JOHN MIERS) CONTACT: CELIA TOMLINSON

ADDRESS: 2620-B San Mateo NE PHONE: 881-6690

CONTRACTOR: KLINGER CONST. CONTACT: NA

ADDRESS: 8701 Washington NE PHONE: 822-2990
87113

TYPE OF SUBMITTAL: REVISED TO

☐ DRAINAGE REPORT INCLUDE

☒ DRAINAGE PLAN STD. DWG 2237
CONNECTION

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

☐ OTHER _____

PRE-DESIGN MEETING:

☐ YES

☒ NO

☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ S. DEV. PLAN FOR SUB'D. APPROVAL

☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL

☐ SECTOR PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ GRADING PERMIT APPROVAL

☐ PAVING PERMIT APPROVAL

☐ S.A.D. DRAINAGE REPORT

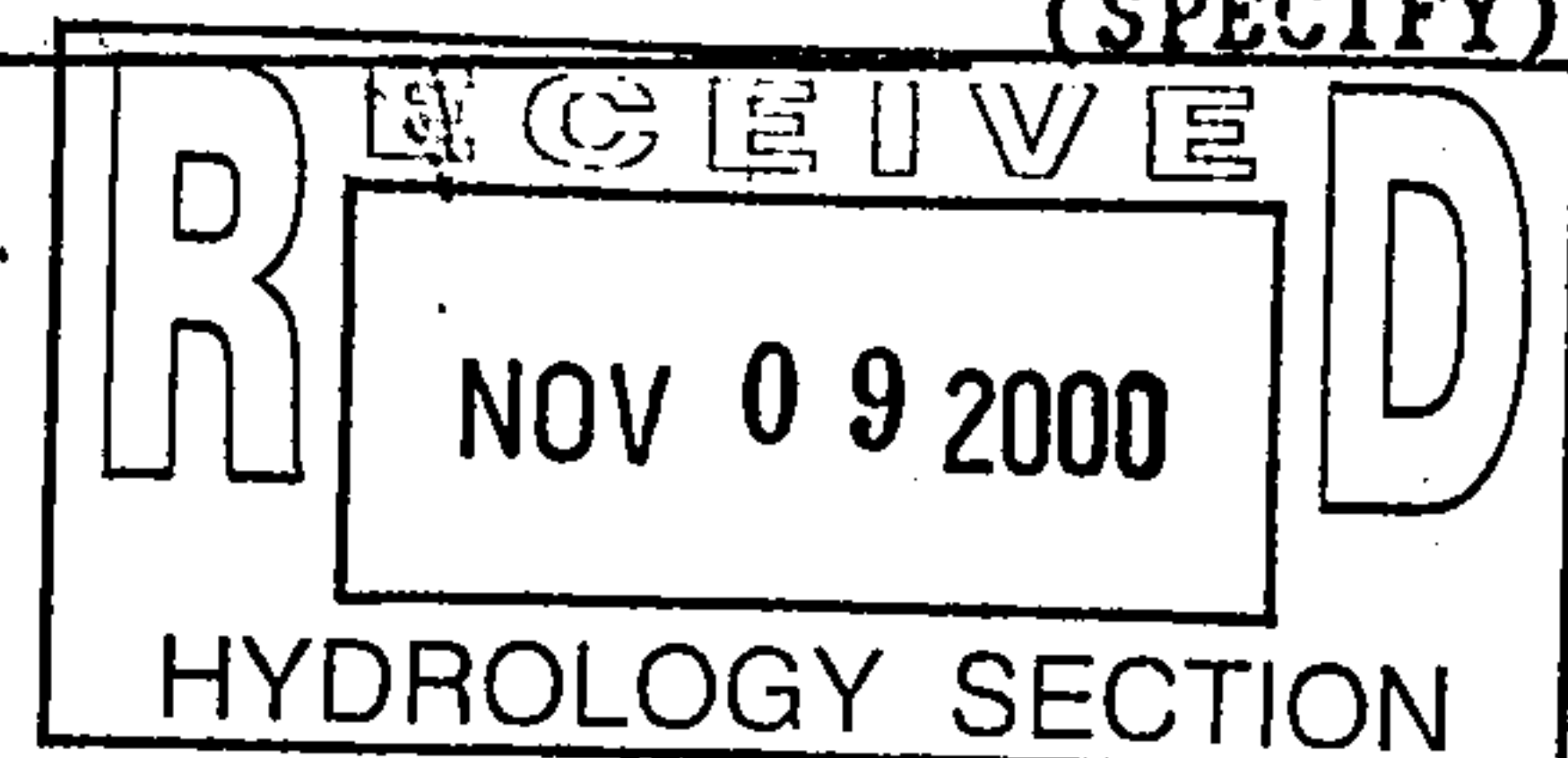
☐ DRAINAGE REQUIREMENTS

☐ SUBDIVISION CERTIFICATION

☐ OTHER _____ (SPECIFY)

DATE SUBMITTED:

BY:

11/8/00Celia J. Miller

PLEASE
DELIVER
to Hydrology

0000 0000

PUBLIC WORKS DEPARTMENT

February 8, 2001

INTEROFFICE CORRESPONDENCE

HYDROLOGY DIVISION

TO: Pam Lujan, Permits

FROM:  John Murray, Hydrology, PWD

SUBJECT: **PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHT-OF-WAY
DRAINAGE FILE NUMBER (K15-D71). FIRST PRESBYTERIAN CHURCH
@ Locust St NE.**

Transmitted herewith is a copy of the approved drainage plan for the referenced project incorporating the SO #19 design.

This plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed off SO #19 is required by this office for Certificate of Occupancy release; therefore your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation and if you should have any questions and/or comments, please feel free to call me at 924-3984.

Attachment

PUBLIC WORKS DEPARTMENT

February 8, 2001

INTEROFFICE CORRESPONDENCE

HYDROLOGY DIVISION

TO: Pam Lujan, Permits

FROM:  John Murray, Hydrology, PWD

SUBJECT: **PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHT-OF-WAY
DRAINAGE FILE NUMBER (K15-D71). FIRST PRESBYTERIAN CHURCH
@ Locust St NE.**

Transmitted herewith is a copy of the approved drainage plan for the referenced project incorporating the SO #19 design.

This plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed off SO #19 is required by this office for Certificate of Occupancy release; therefore your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation and if you should have any questions and/or comments, please feel free to call me at 924-3984.

Attachment

City of Albuquerque
Public Works Department
505-924-3900 (main number)
505-924-3864 (fax number)
Development and Building Services (One Stop Shop)
Plaza Del Sol Building, 2nd Floor
600 2nd Street NW
Albuquerque, NM 87102

**City of Albuquerque
Public Works Dept.
Dev. & Bldg. Svcs.**

Fax

To: Calix Tomlinson, PE From: JP MURRAY PE
Fax: 881-6896 Pages Sent: (including this page) 2
Phone: 881-6690 Date: 12/5/00
Time: 4:05 PM

☐ Urgent ☐ For Review ☐ Please Comment ☐ Please Reply ☐ Please Recycle

FXI

Comments:



City of Albuquerque

March 22, 2000

Celia Tomlinson, P.E.
Rhombus, P.A., Inc.
2620 San Mateo NE, Suite B
Albuquerque, NM 87111

Attn: Tucker Green, P.E.

**RE: *FIRST PRESBYTERIAN CHURCH - Locust St. NE (K15-D71). Resubmittal of
GRADING AND DRAINAGE PLAN FOR BUILDING PERMIT APPROVAL.
ENGINEER'S STAMP DATED MARCH 19, 2000.***

Dear Mr. Green:

Based on the information provided on your March 20, 2000 resubmittal, the above referenced project is approved for Building Permit.

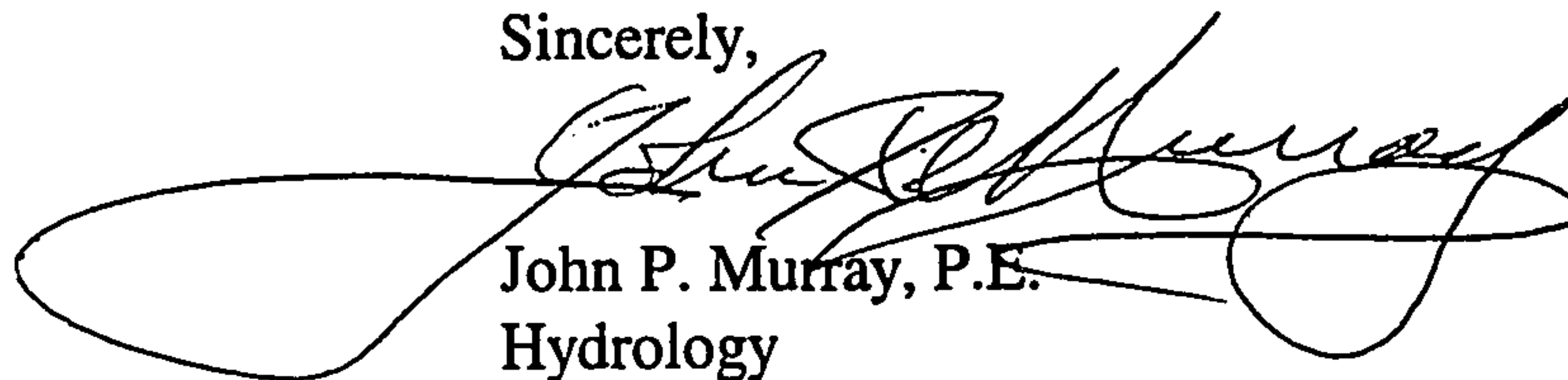
Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

The original submittal did indeed have the sump pump data. It was the catch basin detail, i.e., the sump, which did not show its installation. This is acceptable for this project.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,



John P. Murray, P.E.
Hydrology

c: Whitney Reiersen
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: PRESBYTERIAN CHURCH ZONE ATLAS/DRNG. FILE #: (K-15-D71)

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOTS 12-A BLOCK 24 BROWNEWELL & LAIL'S
HIGHLAND ADDN.

CITY ADDRESS: 208 LOCUST STREET NE

ENGINEERING FIRM: RHOMBUS P.A. CONTACT: CELIA TOMLINSON

ADDRESS: 2620-B San Mateo NE PHONE: 881-6690
87110

OWNER: Presbyterian Church CONTACT: NA

ADDRESS: 208 LOCUST STREET NE PHONE: NA

ARCHITECT: CUSTER-BASARICH, LTD CONTACT: NANCY QUINTANA

ADDRESS: 1400 CENTRAL AV. SE PHONE: 766-1020
SUITE 3000

SURVEYOR: RHOMBUS (JOHN MIERS) CONTACT: CELIA TOMLINSON

ADDRESS: 2620-B San Mateo NE PHONE: 881-6690

CONTRACTOR: KLINGER CONST. CONTACT: NA

ADDRESS: 8701 Washington NE PHONE: 822-2990
87113

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN **ADDENDUM**

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☐ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

☐ OTHER _____

PRE-DESIGN MEETING:

☐ YES

☒ NO

☐ COPY PROVIDED

Resubmitted

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ S. DEV. PLAN FOR SUB'D. APPROVAL

☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL

☐ SECTOR PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ GRADING PERMIT APPROVAL

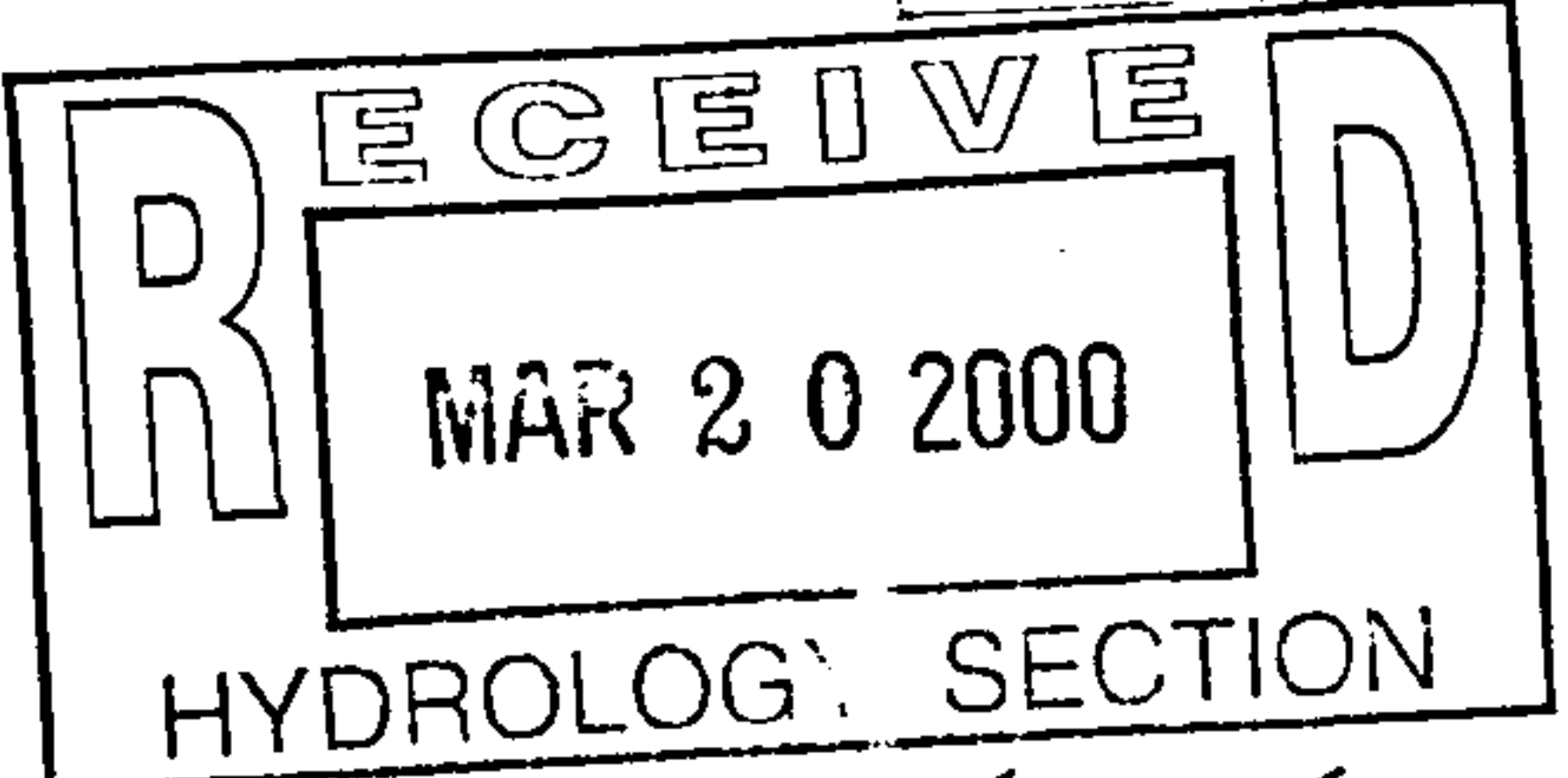
☐ PAVING PERMIT APPROVAL

☐ S.A.D. DRAINAGE REPORT

☐ DRAINAGE REQUIREMENTS

☐ SUBDIVISION CERTIFICATION

☒ OTHER JOHN MURRAY'S (SPECIFY)



DATE SUBMITTED: 3/20/00

BY: Celia J. Miller

**REVIEW COMMENT
 REQUIREMENT.
 SEE ATTACHED LETTER**



City of Albuquerque

February 24, 2000

Celia Tomlinson, P.E.
Rhombus, P.A., Inc.
2620 San Mateo NE, Suite B
Albuquerque, NM 87111

RE: FIRST PRESBYTERIAN CHURCH - Locust St. NE (K15-D71). GRADING AND DRAINAGE PLAN FOR BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED JANUARY 17, 2000.

Dear Ms. Tomlinson:

Based on the information provided on your January 31, 2000 submittal, City Hydrology has the following comments:

- ✓ ① There is no G&D Plan on record. While the site is "fully developed", the subbasins for this 3.5 acre site should be identified and analyzed. What are the downstream conditions?

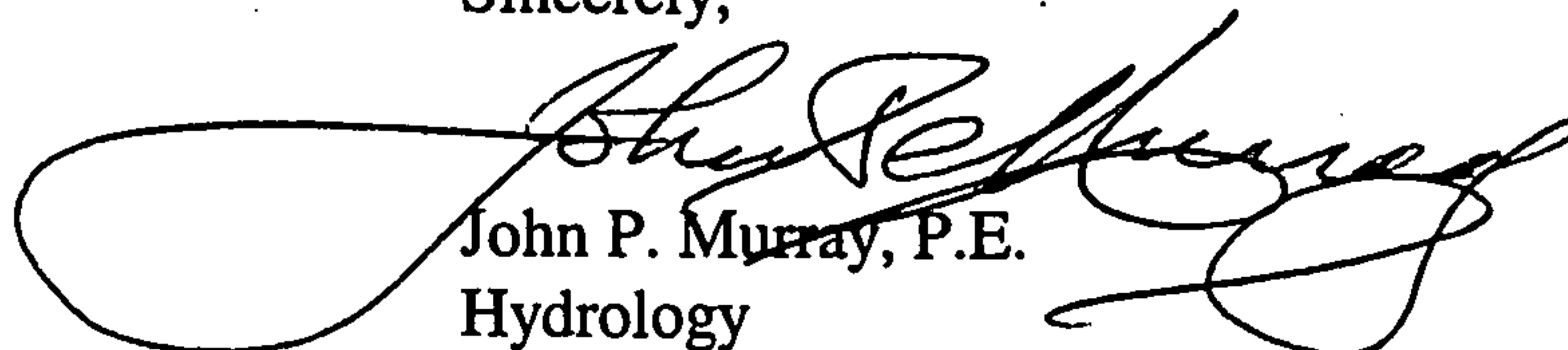
② The building addition needs to be clearly delineated. Neither Keyed Note "J" for new sidewalk nor the plans state its width. It would seem that it should be part of the drivepad itself. The legend does not define the cross-hatched area - taken to be the proposed outdoor worship area.

③ From the elevations given, the proposed 2" pipe could not drain to Copper Ave, While it would be the owner's maintenance responsibility, 100 feet of 2" line is not practical for drainage.

④ The limits of the existng sidewalk and how it is supposed to tie into the new sidewalk are poorly defined. See a previous comment.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: Whitney Reiersen
File

ADDENDUM to DRAINAGE REPORT for
FIRST PRESBYTERIAN CHURCH ADDITION & RENOVATION

This addendum has been prepared at the request of COA (City of Albuquerque) PWD Hydrology, in the comments to the original drainage submittal. Associated with the proposed improvements is a platting action to combine the current church site (Lots 1-12, Block 24, Brownwell & Lails Highland Addition) and the smaller eye doctors' site (Block 24A, Brownwell & Lails Highland Addition) adjacent on the north. Both parcels are currently completely developed.

The proposed site work - in the southwest corner of the combined lot - involves less than a quarter of the roughly 3-1/2 acre combined site and has essentially no effect on the amount, rate, or location of flow leaving the site. However, there is no drainage report on record for this site near downtown Albuquerque. Hence the City's request for this addendum showing onsite drainage basins and associated runoff.

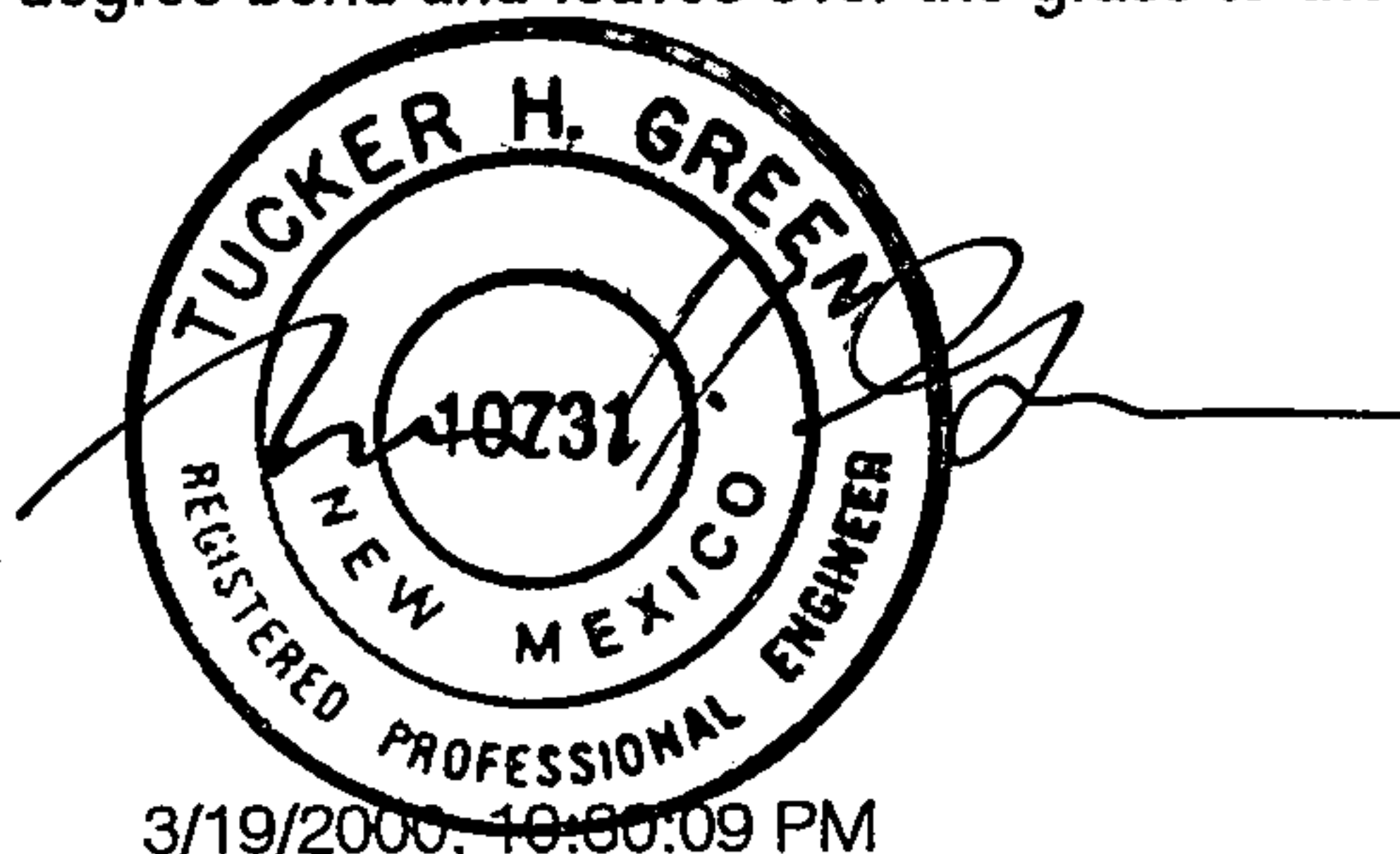
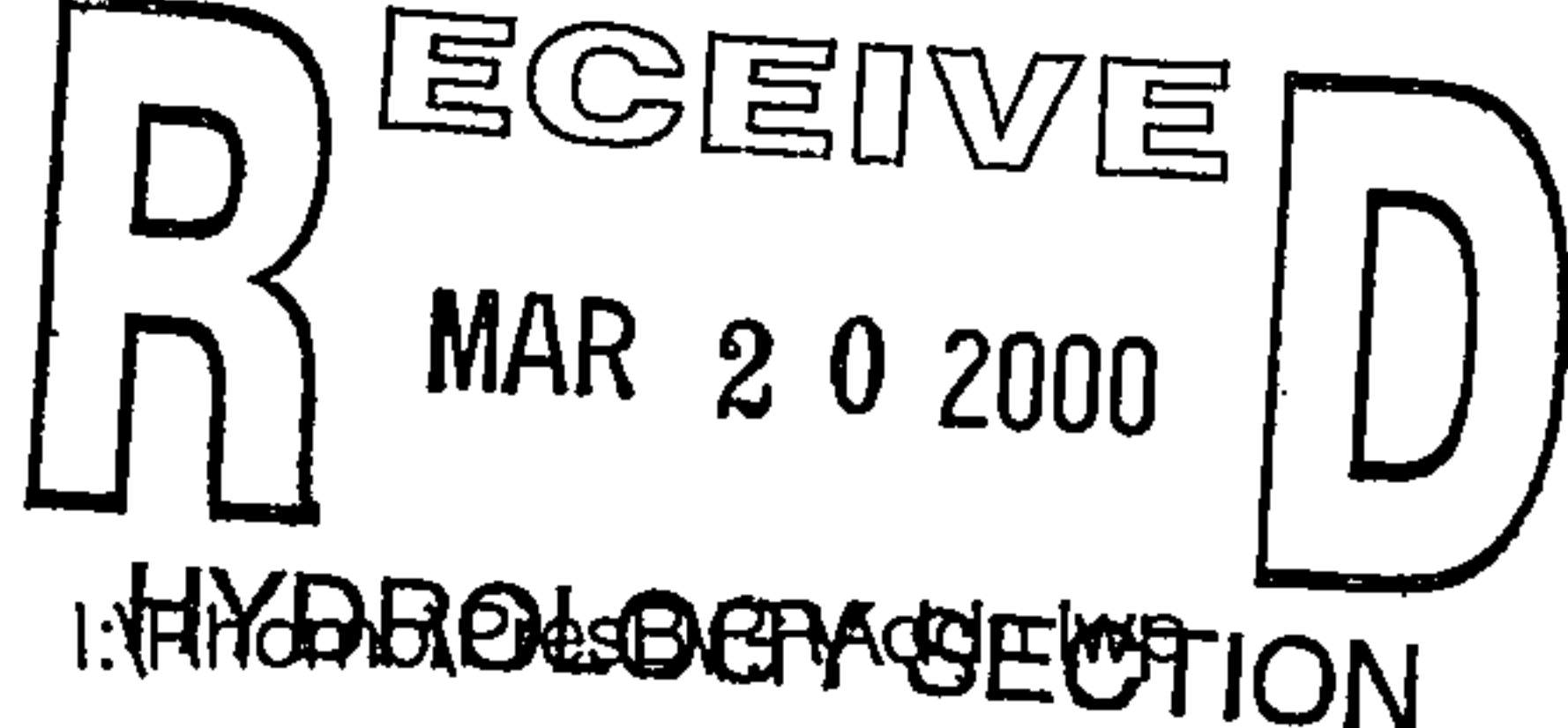
This addendum is for conditions after the proposed changes but is essentially the same as for "before" conditions. Apparently no offsite flow enters the site, but see below for further discussion. Roughly 3/5 of the site drains to the corner of Elm St. & Martin Luther King Jr. Drive, thence west on MLK. The remainder drains to the corner of Elm St. & Copper Ave.; grades at that intersection do not permit an accurate determination of how or whether flow divides, but the general flow directions are south and west.

Runoff was calculated using COA DPM (Development Process Manual) Chapter 22.2 methods for small watersheds, as shown on the spreadsheet accompanying this report. The overall site layout is based on aerial photo-topo and total area per this addendum may not exactly match plat acreage, although it should be close. Delineation of drainage basins was based partly on the existing and proposed contour lines but also on extensive site inspection and photographs by the author of this addendum. Apparent high points in Locust St. and Elm St. were determined by the author's repeatedly rolling a rubber ball. Individual areas were developed as AutoCAD polylines. The site includes numerous raised planters which probably contribute no runoff under the design 100-year 6-hour rainfall of 2.35 inches; for calculation purposes, however, all areas were assumed to contribute. Most of the site is either impervious (roofs, paving) or landscaping, but a small amount - in the playground areas east and west of the Mitchell Education building - was considered as packed dirt, called Land Treatment C in the DPM.

Disposition of runoff from the Mitchell Education Building merits some comment. Although there are no external roof drains, the building must be part of Basin 5, which drains northward on Elm. Fred Leonard of the First Presbyterian Church still has the building plans for this building as prepared by Flatow, Moore ... in 1959, still in good condition. The Plumbing plan clearly shows the combined interior roof drains exiting the north end of the building, with a reference to the site plan for continuation, which the site plan does not seem to show. (Per the same plans, interior plumbing exits the west side of the building.) There is a double outlet pipe (prob 3" & 4") though the curb in Elm St. roughly 4 ft north of the north side of the building. And, between the building and the street, there is a sump and grate centered about 4 ft north of the building. The inlet pipe is larger and higher than the outlet pipes. As the sump fills with debris, as presently, the grate may function more as an upflow outlet than as a surface inlet.

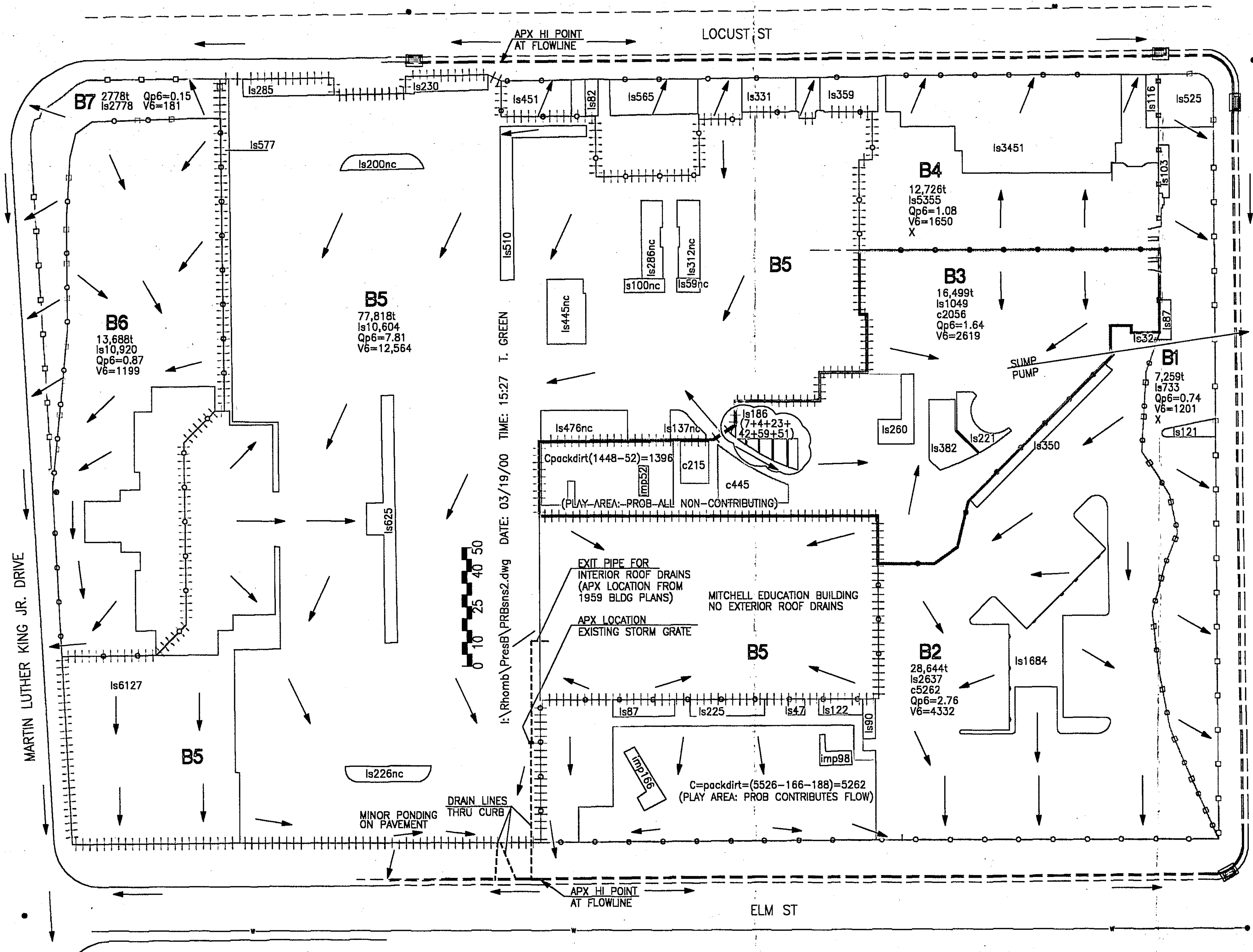
One other area of drainage interest is the driveway between the main church and Westminster House, because the driveway is depressed from street level and slopes back away from the curb. High point on Locust is only about 100 ft north and very little flow reaches this driveway, which does have the typical raised lip at curb flow line. Careful inspection by the author, including observing stains on the concrete and carefully rolling the ball, indicates that some flow probably enters the north side on the driveway then makes about a 150 degree bend and leaves over the grass to the south, reaching the street again about 25 ft south, at the next curb cut.

END OF ADDENDUM TEXT



3/19/2000, 10:00:09 PM

Also on SH C-3



NOTES:
 Runoff calculated per Albuquerque D.P.M. Chap 22.2 for small watersheds (<=40 acres), Rain Zone 2

Basins based partly on new & existing contours, but more on field inspection & photos.

Runoff calculations assume all areas contribute flow, even though some probably do not contribute.

ABBREVIATIONS:
 t total area, sf
 ls landscaping, sf
 c land class C, sf (C= packed dirt)
 nc non-contributing
 Qp6 peak flow rate (Q) 6-hr, 100-yr storm cu ft/second
 V6 runoff volume, 6-hr, 100-yr storm cubic feet

03/18/2000
08:34 PM

HEADING:: BASIN 4

SF TOTAL 12,726

TRTMT CLASS	AREA SQUARE FEET	AREA ACRES	PX100-6 IN/AC	QP100-6 CFS/AC	QP100-6 CFS	VOL6HR AC-FT	VOL1D AC-FT	VOL4D AC-FT	VOL10D AC-FT	TRTMT PERCENT
A	0.0	0.0000	0.53	1.56	0.000	0.000	0.000	0.000	0.000	0.00
B	5,355.0	0.1229	0.78	2.28	0.280	0.008	0.008	0.008	0.008	42.08
C	0.0	0.0000	1.13	3.14	0.000	0.000	0.000	0.000	0.000	0.00
D	7,371.0	0.1692	2.12	4.70	0.795	0.030	0.036	0.043	0.052	57.92
TOTAL	12,726	0.2921	AVG Q/AC=	3.682	1.076	0.038	0.044	0.051	0.060	100.00
	SQ MI=>	0.000456			CU FT=>	1650	1896	2234	2633	<=CU FT

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HEADING:: BASIN 5

SF TOTAL 77,818

TRTMT CLASS	AREA SQUARE FEET	AREA ACRES	PX100-6 IN/AC	QP100-6 CFS/AC	QP100-6 CFS	VOL6HR AC-FT	VOL1D AC-FT	VOL4D AC-FT	VOL10D AC-FT	TRTMT PERCENT
A	0.0	0.0000	0.53	1.56	0.000	0.000	0.000	0.000	0.000	0.00
B	10,604.0	0.2434	0.78	2.28	0.555	0.016	0.016	0.016	0.016	13.63
C	0.0	0.0000	1.13	3.14	0.000	0.000	0.000	0.000	0.000	0.00
D	67,214.0	1.5430	2.12	4.70	7.252	0.273	0.324	0.395	0.478	86.37
TOTAL	77,818	1.7865	AVG Q/AC=	4.370	7.807	0.288	0.340	0.411	0.494	100.00
	SQ MI=>	0.002791			CU FT=>	12564	14804	17885	21526	<=CU FT

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HEADING:: BASIN 6

SF TOTAL 13,688

TRTMT CLASS	AREA SQUARE FEET	AREA ACRES	PX100-6 IN/AC	QP100-6 CFS/AC	QP100-6 CFS	VOL6HR AC-FT	VOL1D AC-FT	VOL4D AC-FT	VOL10D AC-FT	TRTMT PERCENT
A	0.0	0.0000	0.53	1.56	0.000	0.000	0.000	0.000	0.000	0.00
B	10,920.0	0.2507	0.78	2.28	0.572	0.016	0.016	0.016	0.016	79.78
C	0.0	0.0000	1.13	3.14	0.000	0.000	0.000	0.000	0.000	0.00
D	2,768.0	0.0635	2.12	4.70	0.299	0.011	0.013	0.016	0.020	20.22
TOTAL	13,688	0.3142	AVG Q/AC=	2.769	0.870	0.028	0.030	0.033	0.036	100.00
	SQ MI=>	0.000491			CU FT=>	1199	1291	1418	1568	<=CU FT

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HEADING:: BASIN 7

SF TOTAL 2,778

TRTMT CLASS	AREA SQUARE FEET	AREA ACRES	PX100-6 IN/AC	QP100-6 CFS/AC	QP100-6 CFS	VOL6HR AC-FT	VOL1D AC-FT	VOL4D AC-FT	VOL10D AC-FT	TRTMT PERCENT
A	0.0	0.0000	0.53	1.56	0.000	0.000	0.000	0.000	0.000	0.00
B	2,778.0	0.0638	0.78	2.28	0.145	0.004	0.004	0.004	0.004	100.00
C	0.0	0.0000	1.13	3.14	0.000	0.000	0.000	0.000	0.000	0.00
D	0.0	0.0000	2.12	4.70	0.000	0.000	0.000	0.000	0.000	0.00
TOTAL	2,778	0.0638	AVG Q/AC=	2.280	0.145	0.004	0.004	0.004	0.004	100.00
	SQ MI=>	0.000100			CU FT=>	181	181	181	181	<=CU FT

HYDROLOGY SECTION

RECEIVED
MAR 20 2000

PRESBYTERIAN CHURCH RENOVATIONS - ENTIRE SITE DRAINAGE
 ALBUQUERQUE, NM (1/93) CRITERIA - SIMPLE PROCEDURE FOR <= 40 ACRES
 PX100-6 = PRECIPITATION EXCESS FROM 100-YEAR 6-HOUR STORM
 VOL10D = VOLUME OF RUNOFF FROM 100-YEAR 10-DAY STORM
 TRTMT CLASS A=UNDISTURBED, B=LAWNS, C=UNPAVED ROADS, D=ROOFS,PAVEMENT: SEE DPM 22.2 P A-5

RECEIVED
 MAR 20 2000
 HYDROLOGY SECTION

***** PROJECT INFO *****

NO OFFSITE FLOW - 7 ONSITE BASINS

RAIN ZONE 2 SEE DPM P 22.2-2
 100-YEAR PRECIPITATION (P) DEPTHS, INCHES

1 HR	6 HR	24 HR	4 DAY	10 DAY
2.01	2.35	2.75	3.3	3.95

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BASIN 1

SF TOTAL 7,259

TRTMT CLASS	AREA SQUARE FEET	AREA ACRES	PX100-6 IN/AC	QP100-6 CFS/AC	QP100-6 CFS	VOL6HR AC-FT	VOL1D AC-FT	VOL4D AC-FT	VOL10D AC-FT	TRTMT PERCENT
A	0.0	0.0000	0.53	1.56	0.000	0.000	0.000	0.000	0.000	0.00
B	733.0	0.0168	0.78	2.28	0.038	0.001	0.001	0.001	0.001	10.10
C	0.0	0.0000	1.13	3.14	0.000	0.000	0.000	0.000	0.000	0.00
D	6,526.0	0.1498	2.12	4.70	0.704	0.026	0.031	0.038	0.046	89.90
TOTAL	7,259	0.1666	AVG Q/AC=	4.456	0.743	0.028	0.033	0.039	0.048	100.00
	SQ MI=>	0.000260			CU FT=>	1201	1418	1717	2071	<=CU FT

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BASIN 2

SF TOTAL 28,644

TRTMT CLASS	AREA SQUARE FEET	AREA ACRES	PX100-6 IN/AC	QP100-6 CFS/AC	QP100-6 CFS	VOL6HR AC-FT	VOL1D AC-FT	VOL4D AC-FT	VOL10D AC-FT	TRTMT PERCENT
A	0.0	0.0000	0.53	1.56	0.000	0.000	0.000	0.000	0.000	0.00
B	2,637.0	0.0605	0.78	2.28	0.138	0.004	0.004	0.004	0.004	9.21
C	5,262.0	0.1208	1.13	3.14	0.379	0.011	0.011	0.011	0.011	18.37
D	20,745.0	0.4762	2.12	4.70	2.238	0.084	0.100	0.122	0.148	72.42
TOTAL	28,644	0.6576	AVG Q/AC=	4.191	2.756	0.099	0.115	0.137	0.163	100.00
	SQ MI=>	0.001027			CU FT=>	4332	5023	5974	7098	<=CU FT

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HEADING:: BASIN 3

SF TOTAL 16,449

TRTMT CLASS	AREA SQUARE FEET	AREA ACRES	PX100-6 IN/AC	QP100-6 CFS/AC	QP100-6 CFS	VOL6HR AC-FT	VOL1D AC-FT	VOL4D AC-FT	VOL10D AC-FT	TRTMT PERCENT
A	0.0	0.0000	0.53	1.56	0.000	0.000	0.000	0.000	0.000	0.00
B	1,049.0	0.0241	0.78	2.28	0.055	0.002	0.002	0.002	0.002	6.38
C	2,056.0	0.0472	1.13	3.14	0.148	0.004	0.004	0.004	0.004	12.50
D	13,344.0	0.3063	2.12	4.70	1.440	0.054	0.064	0.078	0.095	81.12
TOTAL	16,449	0.3776	AVG Q/AC=	4.351	1.643	0.060	0.070	0.084	0.101	100.00
	SQ MI=>	0.000590			CU FT=>	2619	3064	3676	4398	<=CU FT



City of Albuquerque

February 24, 2000

Celia Tomlinson, P.E.
Rhombus, P.A., Inc.
2620 San Mateo NE, Suite B
Albuquerque, NM 87111

RE: FIRST PRESBYTERIAN CHURCH - Locust St. NE (K15-D71). GRADING AND DRAINAGE PLAN FOR BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED JANUARY 17, 2000.

Dear Ms. Tomlinson:

Based on the information provided on your January 31, 2000 submittal, City Hydrology has the following comments:

There is no G&D Plan on record. While the site is "fully developed", the subbasins for this 3.5 acre site should be identified and analyzed. What are the downstream conditions?

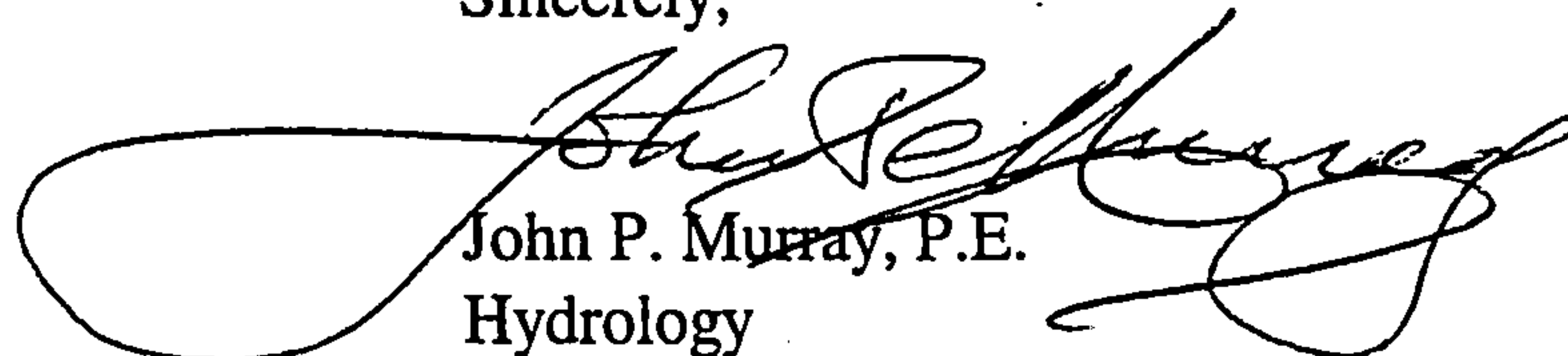
The building addition needs to be clearly delineated. Neither Keyed Note "J" for new sidewalk nor the plans state its width. It would seem that it should be part of the drivepad itself. The legend does not define the cross-hatched area - taken to be the proposed outdoor worship area.

From the elevations given, the proposed 2" pipe could not drain to Copper Ave, While it would be the owner's maintenance responsibility, 100 feet of 2" line is not practical for drainage.

The limits of the existng sidewalk and how it is supposed to tie into the new sidewalk are poorly defined. See a previous comment.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: Whitney Reiersen
File



City of Albuquerque

Public Works Department Transportation Development Services Section

March 14, 2000

Nancy Quintana for Roger Basarich, Registered. Arch.,
Custer Basarich Architects Inc.
1400 Central Ave. S.E., Suite 3000
Albuquerque, New Mexico 87106

Re: T.C.L. submittal for building permit approval for Presbyterian Church Addition and Remodel,
208 Locust N.E., Brownwelle Lails/Highland Addn., Block 24,
Lots 1-12, [K15/ D071], Engineer's Stamp dated 1/24/2000.

Dear Ms. Quintana,

The location referenced above, dated January 24, 2000, is not acceptable and requires modification to the Traffic Circulation Layout (T.C.L.) prior to Building Permit release as stated on the attached written comments and red-lined T.C.L. markup.

Please resubmit revised T.C.L. after addressing typed and marked up comments.
Submit Plan along with typed comments and all red-lined, mark-up copies.

Sincerely,

Mike Zamora,
Commercial Plan Checker

cc:
Engineer
Hydrology File
Office File

Written Comments: File # [K15 / D071]
3/13/2000

- For this Plan, and all others following, call out name of subdivision and lot number or tract number.
- Place a note on the plan stating the following:

“The as-built submittal by the designer-of-record, as required by Transportation Development, must also include a letter of certification that the site has been constructed in accordance with the TCL before a Certificate of Occupancy.”
- Contractor selected must be made aware, by note on Site Plan, that any agreement with the owner stating that any portions of permit construction completed by other than that contractor, will probably cause delay, therefore, Certificate of Occupancy will not be issued until all work is finished.
- The responsibility for errors on the site plan and subsequent unauthorized field changes must be specified on the Site Plan, in bold type, as follows:

“The responsible Party must rectify all unapproved construction resulting from errors on the approved Site Plan.” and
“This Site Plan has been approved and accepted by all parties. Any field changes not accepted by Traffic Engineer, after approval for building permit, will result in:
(1) Untimely delay of certification for final Certificate of Occupancy in order to correct unapproved work, and
(2) increase in construction cost to responsible parties.”
- Existing street sidewalk and C&G affecting safe vehicular or pedestrian travel will be removed and replaced. Note on plan.
- Only one T.C.L. is needed per Permit submittal. Multiple copies of T.C.L. will need to match exactly.
- New and existing elements noted on the T.C.L. must be shown, labelled, and dimensioned correctly and accurately, this includes all drive aisles, driveways, parking stalls (including H.C.), landscaping (if on separate landscape plan, submit plan), concrete wheel stops, all curbing, etc. __Need to see clear differentiation between new construction and existing on T.C.L.: curbing, wheel stops, retaining walls, fences, etc.
- - Show, label, and dimension all existing and/or new street sidewalks. _City sidewalk ordinance requires minim. 6' street sidewalks along the frontage of all churches and schools.
- Dimension new or existing stalls - label “typical” or call out in individual locations, if not typical.
- Call out to restripe entire lot per City Standard.
- - 6" high concrete curb, per city standard, must be constructed per DPM, Section 23.7 B6. Must separate landscape areas from parking surface. _Label concrete curb, and type (or show detail labelled “typical”), at each individual location or call out linework used to designate curbing, as “typical”.
- Because of the preliminary nature of the new review process, if Zoning has not seen this layout prior to this review, any requirements by Zoning at time of their review, altering the parking layout, will void approval of T.C.L. and new review will be needed.
- - Call out and dimension all existing driveways. _Any driveways which will not be used must be shown and called out to close by removal and construction of City standard sidewalk and standard curb & gutter.
- Property description on T.C.L. does not match current City Zone Map. Copy of replat or acceptable current plat, stamped and signed by County Clerk’s Office, will be needed prior to approval for building permit. _Show and label property lines and right-of-way line on Locust St. _If site shown is all one lot, the entire lot will be evaluated.
- Need to see that all existing obstacles in City right-of-way, in existing sidewalks, have been picked up.
- All Civil Sheets (Drainage Plan and T.C.L. & details) must be together at front of plan set.
- Linework on Drainage Plan and Landscape Plan must match T.C.L. exactly. Confirm the acceptability of the changes in T.C.L. that are required by this office with Hydrology. If minor changes are acceptable to Hydrology, callout on T.C.L.: INSPECTION OF CONSTRUCTION FOR C.O., FOR TRANSPORTATION, WILL BE DONE FROM THIS SHEET. This office recommends that as much information as possible that is pertinent to its requirements be placed on T.C.L. and not Drainage Plan. Any changes required by Transportation shown on Drainage Plan cannot be marked up on Drainage Plan per Hydrology’s preference, such as curbs, ramps, driveways, dimensions, labels, etc.
- Callout to label on asphalt “COMPACT” or equal at small car stalls at end of stall, where applicable.

DRAINAGE INFORMATION SHEET

PROJECT TITLE: PRESBYTERIAN CHURCH ZONE ATLAS/DRNG. FILE #: K-15 / 1071

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 12-A, BLOCK 24, BROWNELL & LANE HIGHLAND

CITY ADDRESS: 208 LOCUST AVE. NE

ENGINEERING FIRM: RHOMBUS P.A. CONTACT: Celia Tomlinson

ADDRESS: 2620 SAN MATEO NE PHONE: 881-6690
SUITE B 87110

OWNER: PRESBYTERIAN CHURCH CONTACT: NA

ADDRESS: 208 LOCUST AVE NE PHONE: NA

ARCHITECT: CUSTER-BASARICH LTD. CONTACT: Nancy Quintana

ADDRESS: 1400 CENTRAL AVE SE SUITE 300 PHONE: 765-1020
87110

SURVEYOR: RHOMBUS (MIELS) CONTACT: Celia Tomlinson

ADDRESS: 2620 SAN MATEO NE STE B PHONE: 881-6690
87110

CONTRACTOR: KLINGER CONST. CONTACT: NA

ADDRESS: NA PHONE: NA

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☒ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☒ OTHER SITE PLAN

PRE-DESIGN MEETING:

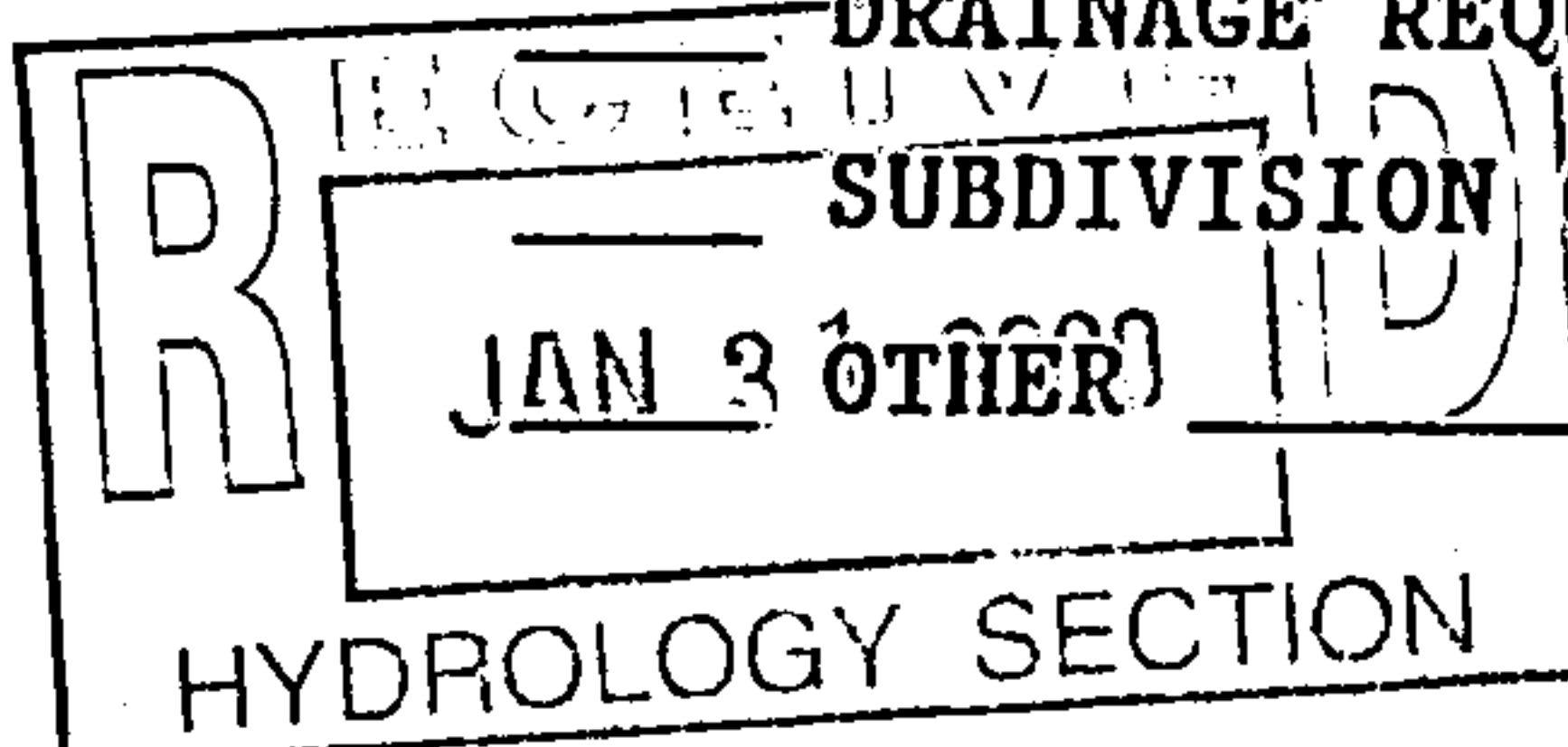
- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT

DRAINAGE REQUIREMENTS

SUBDIVISION CERTIFICATION



(SPECIFY)

DATE SUBMITTED: 1/31/00

BY: Celia Tomlinson