



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 16, 2003

Levi Valdez, P.E.
C/O George Rodriguez
12800 San Juan NE
Albuquerque, New Mexico 87123

RE: 2117 COAL AVE SE (K-15/D74)
(2117 Coal Ave SE)
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
ENGINEERS STAMP DATED 3/25/2003
ENGINEERS CERTIFICATION DATED 3/28/2003

Dear Mr. Valdez:

Based upon the information provided in your Engineers Certification submittal dated 4/2/2003, and based upon the approval of the SO19 dated 4/16/2003 by the City's Storm Drainage Maintenance Inspector, the above referenced site is approved for a Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Teresa A. Martin
Hydrology Plan Checker
Development & Bldg. Ser. Div.

3LB

C: Certificate of Occupancy Clerk, COA
drainage file
approval file

CITY OF ALBUQUERQUE
PERMIT FOR EXCAVATION, CONSTRUCTION AND BARRICADING 4/16/03

CONTRACTOR
LICENSE
ADDRESS

UNIT CONSTRUCTION
0809
7228 US HIGHWAY 85 N.E.
LOS LUNAS, NM 87031

STREET

2117 DONALD AVE SE

PERMIT AND DETOUR PLAN COMMENTS

SDM19, LETTER ON FILE DATED 1/7/03
BUENA VISTA ADDITION

START DATE COMPLETION DATE PERMIT EXPIRES

04/10/2003 04/20/2003 04/20/2003

INSURANCE EXPIRES

05/16/2003

BOND EXPIRES

12/31/2003

ZONE ATLAS

PERMIT NUMBER
PROJECT NUMBER

PERMIT ISSUE DATE
BARRICADED BY

BLUE STAKE

PAVING BY

EXCAVATION 443008-5810000

SIDEWALK 443012-5810000

DRIVEPAD 443011-5810000

CURB/GUTTER 443010-5810000

BARRICADING 443009-5810000

RESTORATION 443017-5810000

TOTAL FEE

00.00

00.00

04/15/2003

0.00

0.00

0.00

0.00

0.00

0.00

0.00

VOID UNTIL VALIDATED BY CITY TREASURER

APPLICANT

ISSUED BY

PERMITTEE AGREES TO ASSUME ALL LIABILITY, INCLUDING INDEMNIFYING, DEFENDING AND HOLDING THE CITY HARMLESS FOR ALL DAMAGES OR INJURY TO PERSONS OR PROPERTY RESULTING FROM PERMITTEE'S EXCAVATION AND/OR BARRICADE WORK. THIS PERMIT IS GRANTED IN CONSIDERATION OF PERMITTEE'S ASSUMING SAID LIABILITY AND IS APPROVED FOR THE WORK DESCRIBED ABOVE. IN ACCORDANCE WITH SECTION 6-5-2-1 ET SEQ. R.O. (1994), PERMITTEE AGREES TO COMPLY WITH ALL APPLICABLE CITY RULES, REGULATIONS AND ORDINANCES, AND WHEN EXCAVATING, TO PATCH OR PLATE PRIOR TO OPENING TO TRAFFIC IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS AND ORDINANCES. PLEASE CALL 768-2551 FOR ADDITIONAL INFORMATION.

CAUTION: PROTECT UNDERGROUND UTILITIES CALL 260-1990, 48 HOURS IN ADVANCE FOR LINE STAKING



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 4, 2003

Levi Valdez, P.E.
C/O George Rodriguez
12800 San Juan NE
Albuquerque, New Mexico 87123

RE: 2117 COAL AVE SE (K-15/D74)
(2117 Coal Ave SE)
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
ENGINEERS STAMP DATED 3/25/2002
ENGINEERS CERTIFICATION DATED 3/28/2003

Dear Mr. Valdez:

We are in receipt of your Engineers Certification submittal dated 4/2/2003 for the above referenced site; However, a Certificate of Occupancy from City Hydrology **can not** be issued at this time.

- Per the City's Permit Section, it has been verified that the contractor has *not* obtained the permit for the SO19 ~~for the adjustment of the storm drainage system~~. This permit, as well as having the City's storm drainage inspector's approval signature on the SO19, needs to be submitted with the Engineers Certification prior to the approval of a Certificate of Occupancy, as per the Design Process Manual (DPM) Chapter 17 "Private Storm Drain Facilities within a City Right-of-Way and/or Easement"

When the above drainage issue has been addressed, we will revisit the issue of granting a permanent Certificate of Occupancy for this site.

If you have any questions, please feel free to contact me at 924-3981.

Sincerely,

Teresa A. Martin
Hydrology Plan Checker
Development & Bldg. Services Division

bab

c:  File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: 2117 COAL AVE. S.E. ZONE MAP/DRG. FILE #: K15/D74
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 16, BLK. G, BUENA VISTA HEIGHTS
CITY ADDRESS: 2117 COAL AVE. S.E.

ENGINEERING FIRM: LEVI J. VALDEZ P.E. - DEVEL. CONSULT. CONTACT: MR. VALDEZ
GEORGE T. RODRIGUEZ PHONE: 610-0593
ADDRESS: 12800 SAN JUAN N.E. ZIP CODE: 87123
CITY, STATE: ALBUQUERQUE, NEW MEXICO

OWNER: ORREN COBB CONTACT: MR. COBB
ADDRESS: 2117 COAL AVE. S.E. PHONE: _____
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: _____

ARCHITECT: JIM MILLER & ASSOC. CONTACT: JIM MILLER
ADDRESS: 5220 2ND ST. N.W. PHONE: 245-1312
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87107

SURVEYOR: ENGINEER CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: ? CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

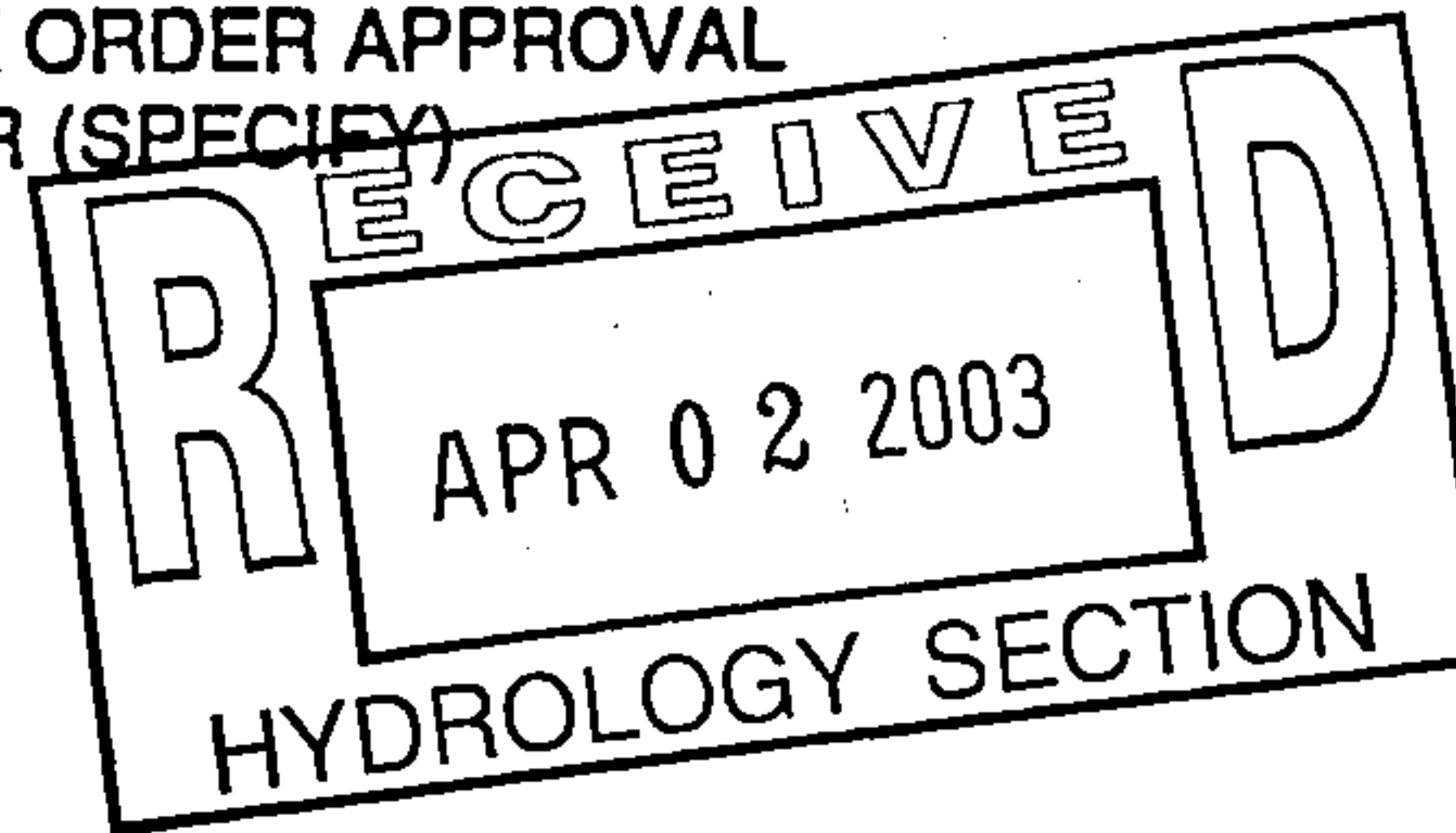
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 04-02-03 BY: GT RODRIGUEZ

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Planning Department
Transportation Development Services Section***

April 7, 2003

James Miller, Registered Architect
5220 Second Street NW
Albuquerque, NM 87107

Re: Certification Submittal for Final Building Certificate of Occupancy for
Triplex Apartments, [K-15 / D74], 2117 Coal Ave. SE
Architect's Letter Dated 03/31/03

Dear Mr. Clark:

The TCL / Letter of Certification submitted on April 2, 2003 is approved by this office for final Certificate of Occupancy (C.O.) for Transportation. Notification has been made to the Building and Safety Section.

Please note that in the future use a copy of the City stamped approved TCL for certification.

Sincerely,

Richard Dourte, P.E.
Traffic Engineer
Development and Building Services
Planning Department

c: File
Hydrology file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/28/2003rd)

PROJECT TITLE: 2117 COAL AVE. S.E. ZONE MAP/DRG. FILE #: K15/D74
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 16, BLK. G, BUENA VISTA HEIGHTS
CITY ADDRESS: 2117 COAL AVE. S.E.

ENGINEERING FIRM: LEVI J. VALDEZ P.E. CONTACT: MR. VALDEZ
GEORGE T. RODRIGUEZ - DEVELOPMENT CONSULTING MR. RODRIGUEZ
ADDRESS: 12800 SAN JUAN N.E. PHONE: 610-05773
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87123

OWNER: ORREN COBB CONTACT: MR. COBB
ADDRESS: 2117 COAL AVE. S.E. PHONE: _____
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: _____

ARCHITECT: JIM MILLER & ASSOC. CONTACT: JIM MILLER
ADDRESS: 5220 2ND ST. N.W. PHONE: 245-1312
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87117

SURVEYOR: ENGINEER CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: ? CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☒ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☒ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

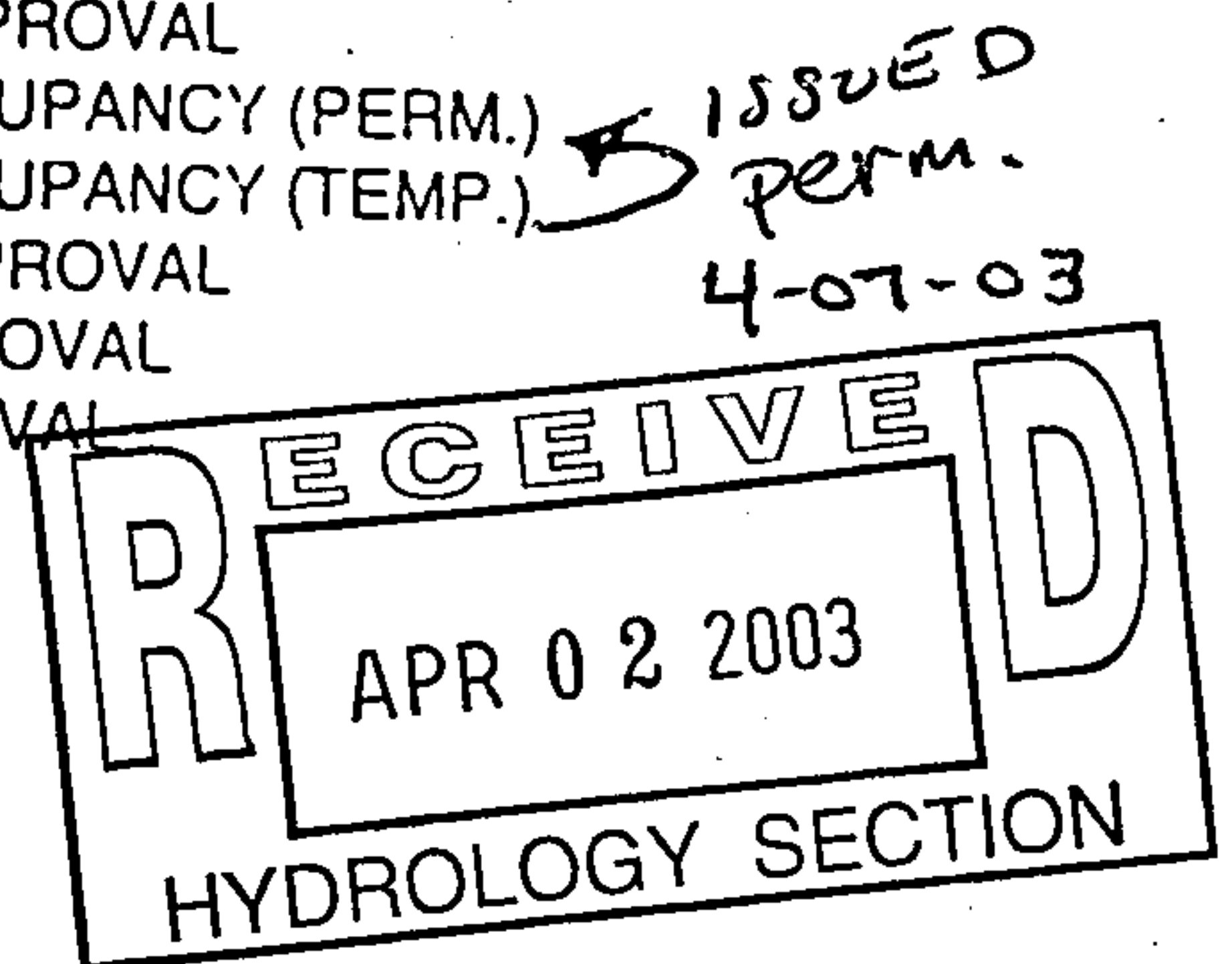
AS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 04-02-03 BY: GEORGE T. RODRIGUEZ for JIM MILLER

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. Particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or subdivisions.



MILLER AND ASSOCIATES

ARCHITECTS - PLANNERS

5220 2ND ST. NW STE. A - ALBUQUERQUE, NEW MEXICO 87107 - PHONE (505) 345-1312

March 31, 2003

Traffic Engineering Section
City of Albuquerque
600 2nd St., N. W.
Albuquerque, New Mexico

RE: NEW PROJECT LOCATED @ 2117 COAL S. E.
ALBUQUERQUE, NEW MEXICO.

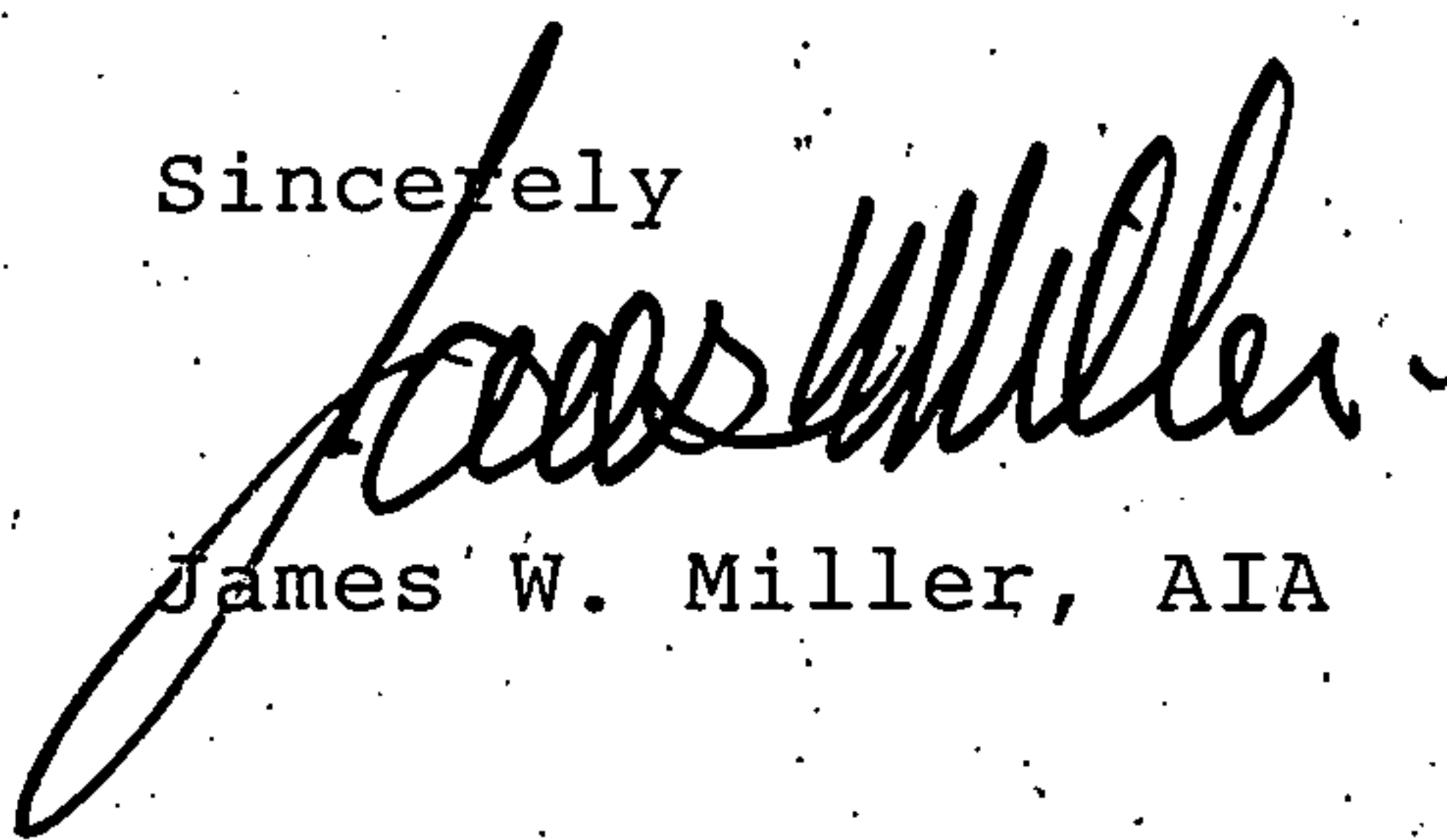
This letter is to certify that the above referenced project has been completed and is in compliance with the comments noted on the building permit by the Traffic Engineering Section.

An updated Site Plan is attached.

The above referenced project is nearly complete and a temporary C. O. is being requested at this time.

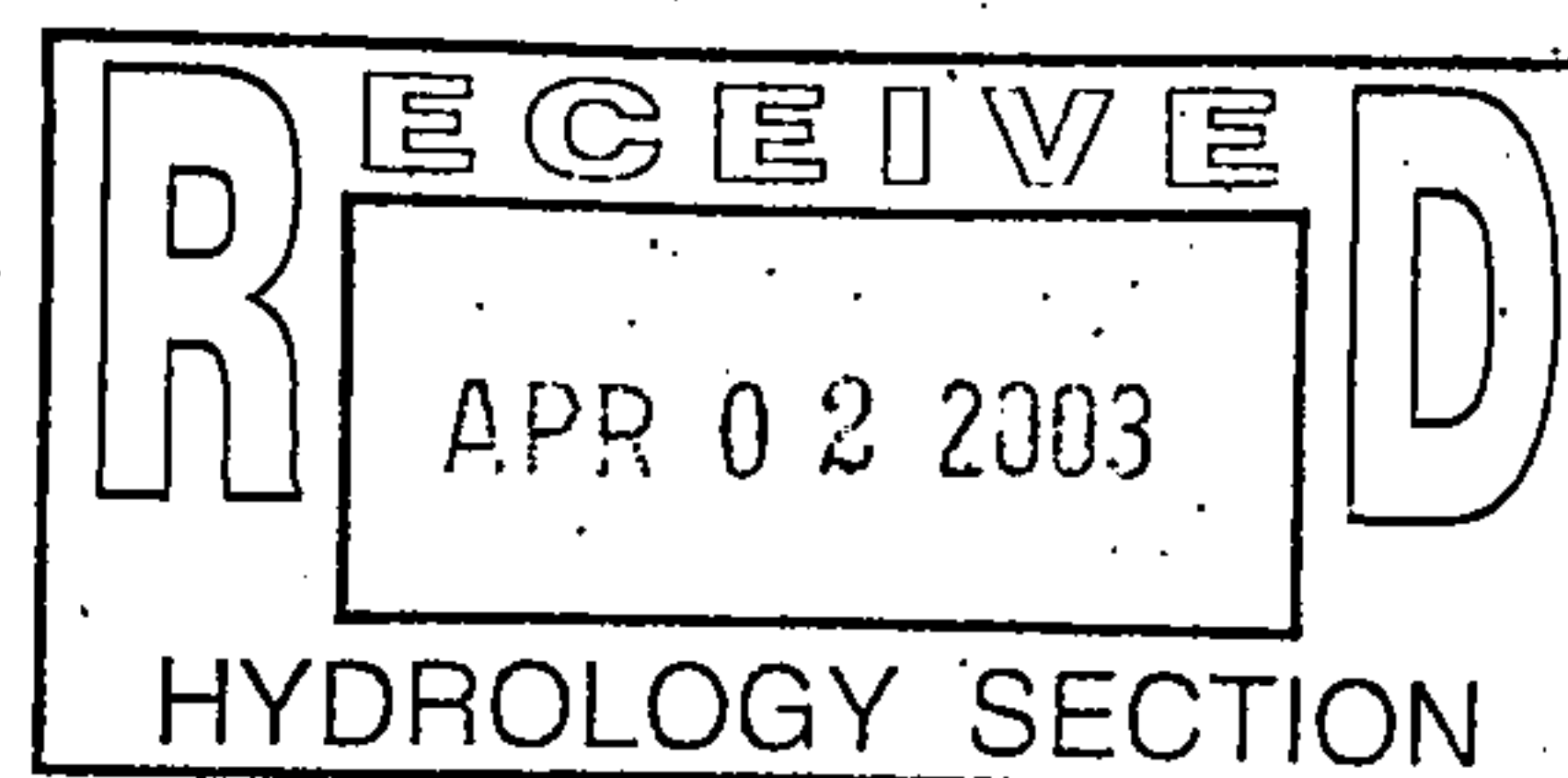
If there are any questions, please do not hesitate to call this office.

Sincerely


James W. Miller, AIA

Called Jim Miller 4-07-03

← o/c to issue Perm. Co.





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

COA SO#
Matt Cline
2067498
4/16/03

April 2, 2002

Levi J. Valdez
12800 San Juan NE
Albuquerque, New Mexico 87123

**RE: Grading and Drainage Plan for 2117 Coal Avenue SE (K15-D74) Dated
March 25, 2002**

Dear Mr. Valdez:

The above referenced drainage plan received April 1, 2002 is approved for Building Permit. The plan is also approved for SO#19 permit for construction within city right-of-way. Engineer's Certification for completion of final site grading and drainage plan, and sign-off by the City's field inspector for the SO#19, is required for Hydrology final approval and Certificate of Occupancy.

If you have any questions please call me a 924-3982.

Carlos A. Montoya
City Floodplain Administrator

C: Matt Cline, Arroyo Maintenance w/attached plan
Pam Lujan

DRAINAGE INFORMATION SHEET

K-15/074

PROJECT TITLE: 2117 COAL AVE. S.E. ZONE MAP/DRG. FILE #: K-15
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 16, BLOCK G, BUENA VISTA HEIGHTS SUBDIVISION
 CITY ADDRESS: 2117 COAL AVE. S.E.

ENGINEERING FIRM: LEVI J. VALDEZ, P.E. CONTACT: MR. VALDEZ
GEORGE T. RODRIGUEZ, DEVEL. CONSULT. MR. RODRIGUEZ
 ADDRESS: 12800 SAN JUAN N.E. PHONE: 294-0320
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87123

OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: JIM MILLER - ARCHITECT CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: _____

SURVEYOR: ENGINEER CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

- TYPE OF SUBMITTAL:**
- ☒ DRAINAGE REPORT
 - ☒ DRAINAGE PLAN
 - ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
 - ☐ GRADING PLAN
 - ☐ EROSION CONTROL PLAN
 - ☐ ENGINEER'S CERTIFICATION
 - ☐ CLOMR/LOMR
 - ☐ OTHER
- WAS A PRE-DESIGN CONFERENCE ATTENDED:**
- ☒ YES
 - ☐ NO
 - ☐ COPY PROVIDED

- CHECK TYPE OF APPROVAL SOUGHT:**
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 - ☒ PAVING PERMIT APPROVAL
 - ☐ WORK ORDER APPROVAL
 - ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 03-29-02 BY: GEORGE T. RODRIGUEZ

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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