

GENERAL NOTES:

- 1) NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- 2) NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- 1) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- 2) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- 3) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

CONSTRUCTION NOTES:

- 1) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- 2) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- 3) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4) ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

LEGEND:

TOP OF CURB ELEVATION = $TC = 60.82$
 CURB FLOWLINE ELEVATION = $FL = 60.31$
 EXISTING SPOT ELEVATION = $SP = 61.2$
 EXISTING CONTOUR ELEVATION = 61.0
 PROPOSED SPOT ELEVATION = $SP = 61.2$
 PROPOSED CONTOUR ELEVATION = 61.0
 PROPOSED OR EXISTING CONCRETE SURFACE = $CONC.$
 EXISTING FENCE LINE = $FENCE$

LEGAL DESCRIPTION:

LOT SIXTEEN (16), IN BLOCK SIX (6), BUENA VISTA HEIGHTS SUBDIVISION, TO THE CITY OF ALBUQUERQUE, NEW MEXICO.

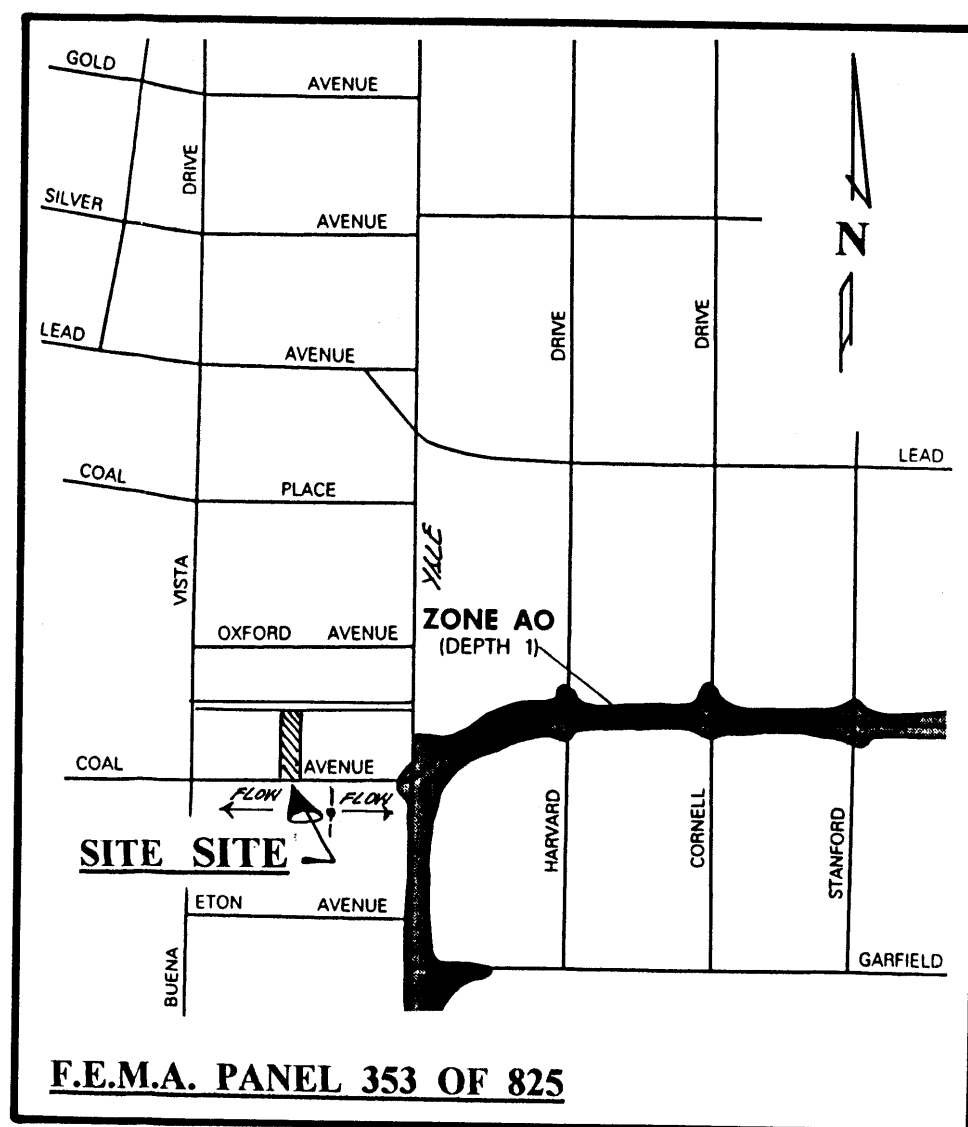
BENCH MARK REFERENCE:

ACS STATION "6-K15", LOCATED AT THE SOUTHWEST CORNER OF LEAD AVENUE S.E. AND YALE BLVD. S.E.; ELEVATION = 5160.768; (PROJECT T.B.M. AS SHOWN ON THE PLAN HEREON).

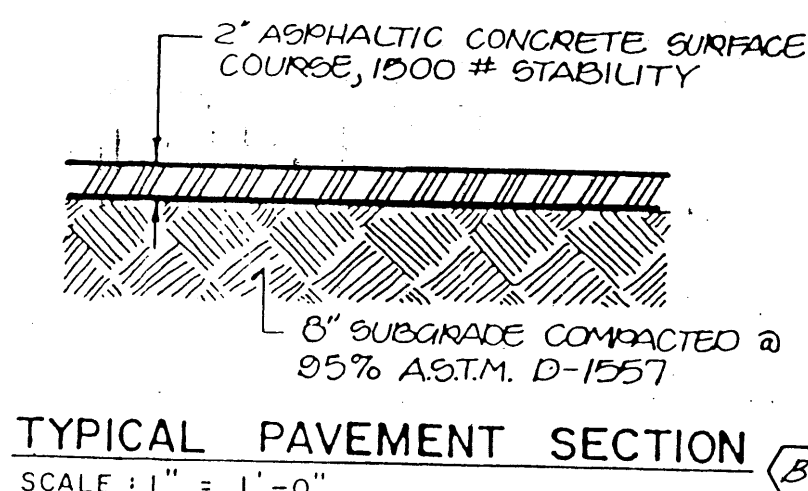
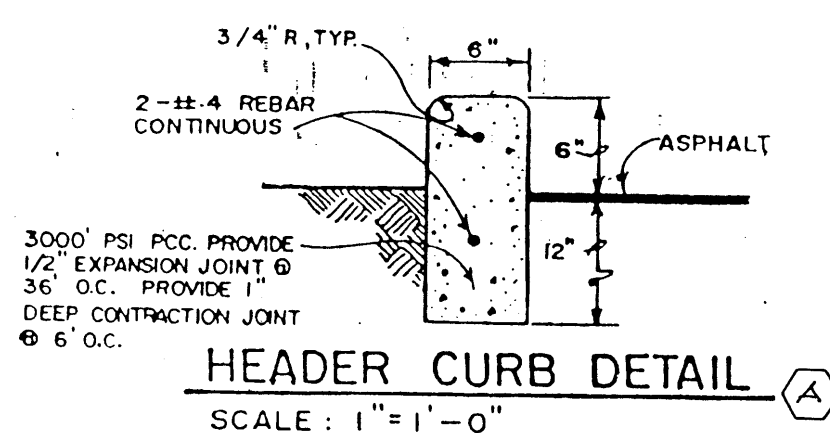
NOTICE TO CONTRACTOR:

- 1.) AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION OF THIS PERMIT.
- 2.) ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATION - PUBLIC WORKS CONSTRUCTION - 1995.
- 3.) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- 4.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 5.) BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
- 6.) MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

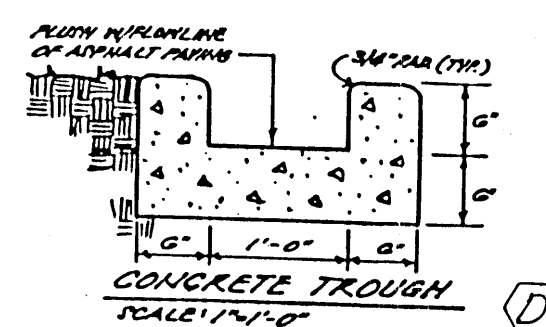
APPROVALS	NAME	DATE
INSPECTOR		



F.E.M.A. PANEL 353 OF 825



EXISTING OLD SURFACE TO BE REMOVED.

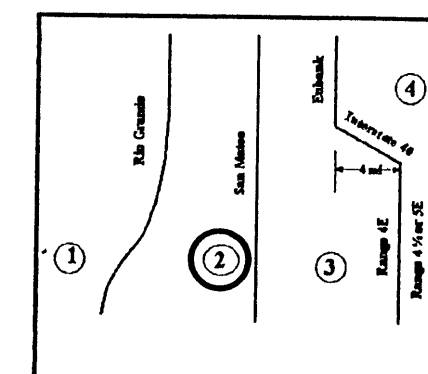


A-1 PRECIPITATION ZONES

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

ZONE	LOCATION
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40, and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40, and East of the East boundary of Range 4 East, South of Interstate 40

Zone	Intensity (IN/HR at 1-2.2 hour)	100-YR (2-YR, 10-YR)
1	4.70 (1.84, 3.14)	
2	3.03 (2.04, 3.41)	
3	3.38 (2.21, 3.65)	
4	5.61 (2.34, 3.83)	



Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading. Unfilled Arroyos.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil uncompacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (desert landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds, and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

Zone	Treatment	100-YR (2-YR, 10-YR)
1	A	1.29 (0.00, 0.24)
2	B	2.03 (0.31, 0.76)
3	C	2.87 (0.47, 1.49)
4	D	4.37 (1.69, 2.89)

DRAINAGE COMMENTS AND CALCULATIONS:

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED ON THE NORTH SIDE OF COAL AVENUE, S.E. APPROXIMATELY ONE-HALF (1/2) BLOCK WEST OF YALE BLVD. S.E., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

THE SUBJECT SITE, 1.) HAS AN EXISTING SINGLE FAMILY STRUCTURE AND ASSOCIATED IMPROVEMENTS LOCATED THEREON, 2.) IS TO HAVE AN ADDITIONAL RENTAL FAMILY STRUCTURE CONSTRUCTED THEREON, 3.) DOES NOT ACCEPT OFF-SITE FLOWS FROM ADJACENT PROPERTIES, 4.) DOES NOT CONTRIBUTE TO THE OFF-SITE FLOWS OF THE ADJACENT PROPERTIES, 5.) ACCORDING TO F.E.M.A. PANEL 353 OF 825 IS NOT LOCATED WITHIN A DESIGNATED FLOODPLAIN, HOWEVER, DOWNSTREAM FLOODING CONDITIONS AT THE INTERSECTION OF COAL AVENUE S.E. AND YALE BLVD. S.E. (ZONE AO-DEPTH 1') ARE SHOWN ON SAID F.E.M.A. PANEL. THE FREE-DISCHARGE OF THE EXISTING AND PROPOSED DEVELOPED RUN-OFF FLOWS HAVE NO ADVERSE IMPACT TO DOWNSTREAM PROPERTIES.

CALCULATIONS:

PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED 1997.

PROJECT AREA = 0.16 ac.
 COAL AVENUE S.E.
 ZONE 2
 PRECIPITATION: 360 = 2.35 in.
 1440 = 2.75 in.
 10day = 3.95 in.

EXCESS PRECIPITATION: PEAK DISCHARGE:
 TREATMENT A 0.53 in. 1.56 cfs/ac.
 TREATMENT B 0.78 in. 2.28 cfs/ac.
 TREATMENT C 1.13 in. 3.14 cfs/ac.
 TREATMENT D 2.12 in. 4.70 cfs/ac.

EXISTING CONDITIONS: PROPOSED CONDITIONS:
 TREATMENT A 0 ac. 0 ac.
 TREATMENT B 0 ac. 0 ac.
 TREATMENT C 0.14 ac. 0.039 ac.
 TREATMENT D 0.03 ac. 0.125 ac.

EXISTING EXCESS PRECIPITATION:

Weighted E = (0.53)(0.00) + (0.78)(0.00) + (1.13)(0.14) + (2.12)(0.03) = 1.29 in.
 V100-360 = (1.29)(0.16) / 12 = 0.017588 ac-ft = 766 cf

EXISTING PEAK DISCHARGE:

Q100 = (1.56)(0.00) + (2.28)(0.00) + (3.14)(0.14) + (4.70)(0.03) = 0.56

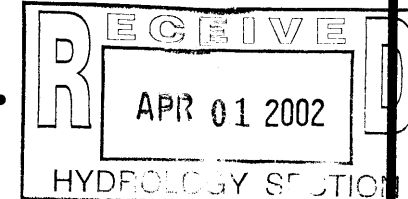
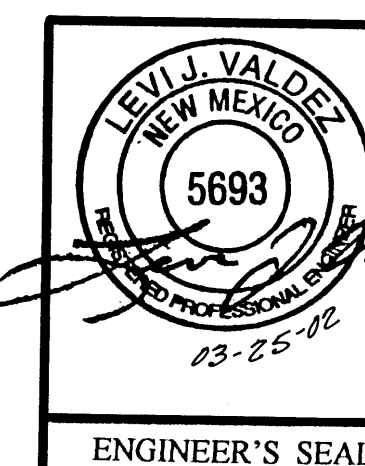
PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.53)(0.00) + (0.78)(0.00) + (1.13)(0.04) + (2.12)(0.13) = 1.88 in.
 V100-360 = (1.88)(0.16) / 12.0 = 0.025756 ac-ft = 1122 cf
 V100-1440 = (0.03)(0.13)(2.75 - 2.35) / 12 = 0.029923 ac-ft = 1303 cf
 V100-10day = (0.03)(0.13)(3.95 - 2.35) / 12 = 0.042423 ac-ft = 1848 cf

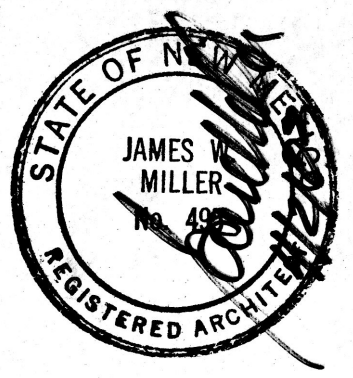
PROPOSED PEAK DISCHARGE:

Q100 = (1.56)(0.00) + (2.28)(0.00) + (3.14)(0.04) + (4.70)(0.13) = 0.71

A PROPOSED GRADING AND DRAINAGE PLAN
 FOR
 2117 COAL AVENUE S.E.
 ALBUQUERQUE, NEW MEXICO
 MARCH, 2002



TRI-PLEX APARTMENTS



JOB NO. 0217
DATE Nov '02
REVISION Jul '02
DRAWN BY JWM
CHECKED BY

SITE PLAN, DESIGN DATA,
NOTES AND DETAILS

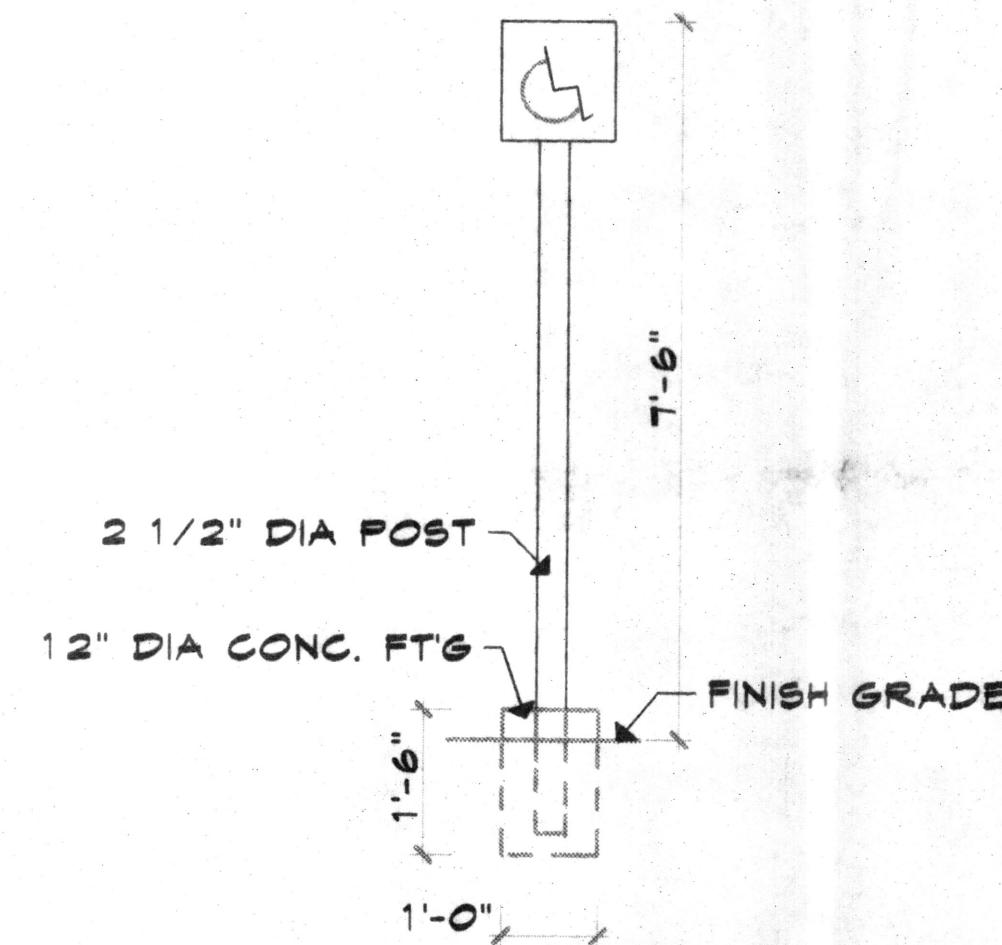
SHEET TITLE

MILLER AND ASSOCIATES
ARCHITECTS PLANNERS
5220 SECOND STREET N.W.
ALBUQUERQUE, NEW MEXICO
505/545-1312

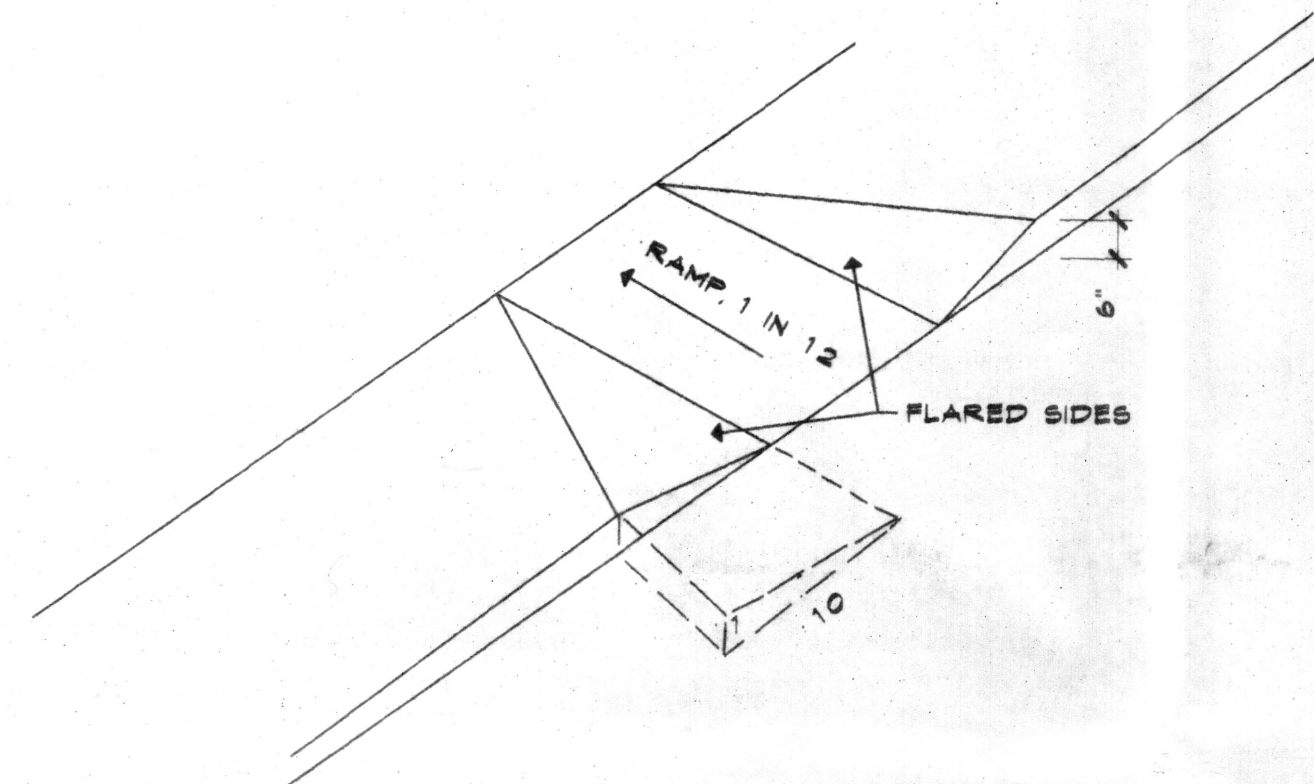
PROPOSED TRIPLEX APARTMENTS
2117 COAL AVENUE S.W.
ALBUQUERQUE, NEW MEXICO

JOB TITLE

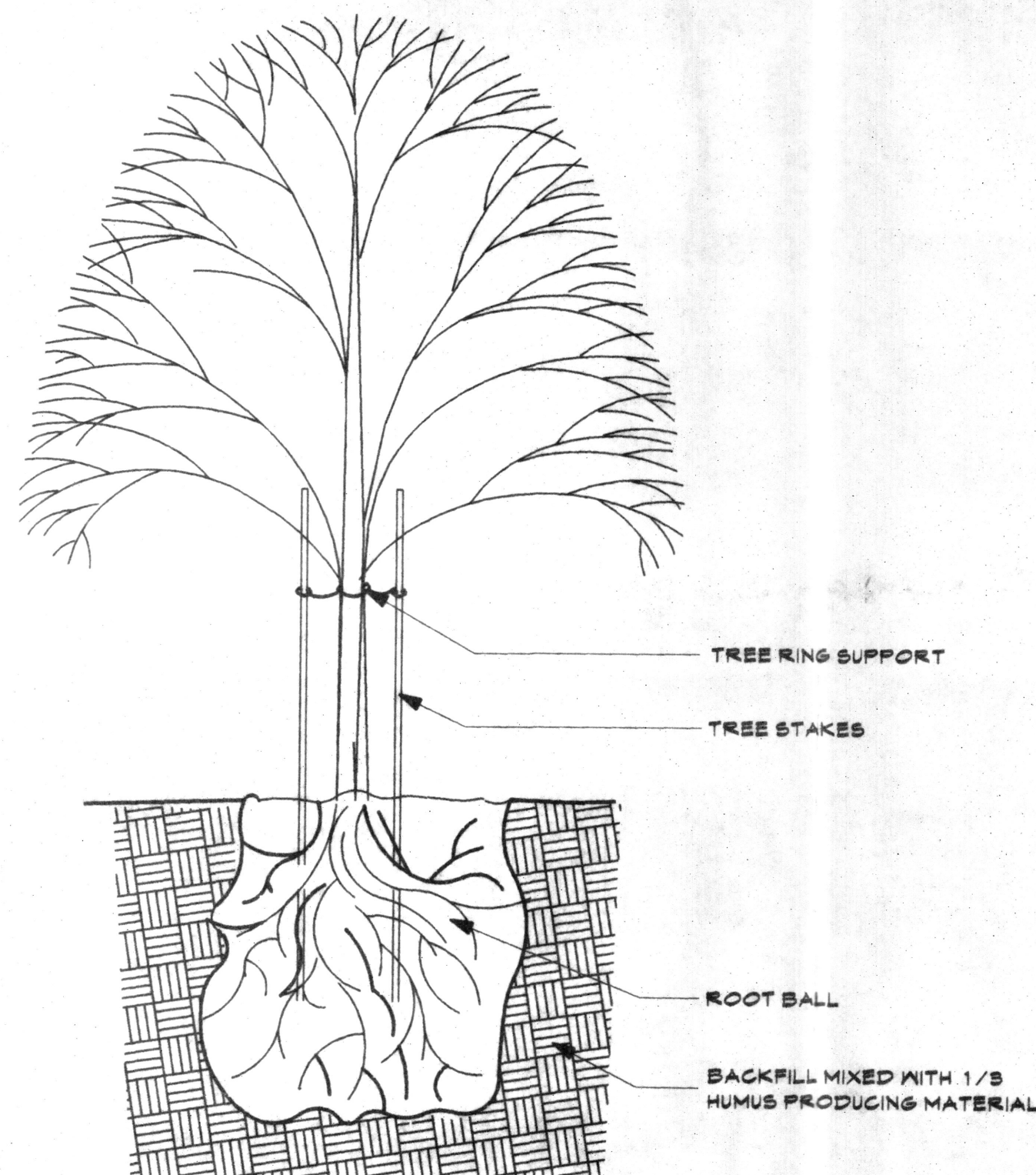
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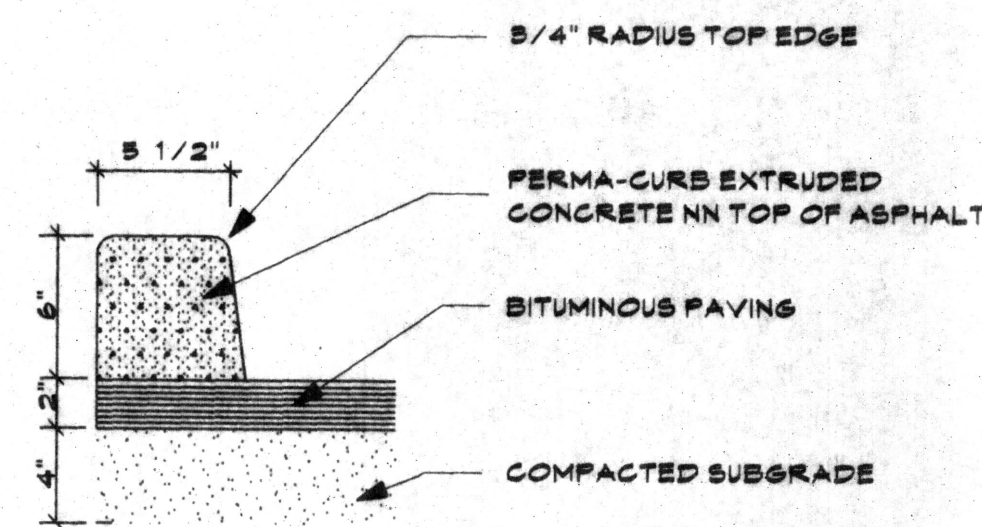
HANDICAPPED SIGN DETAIL



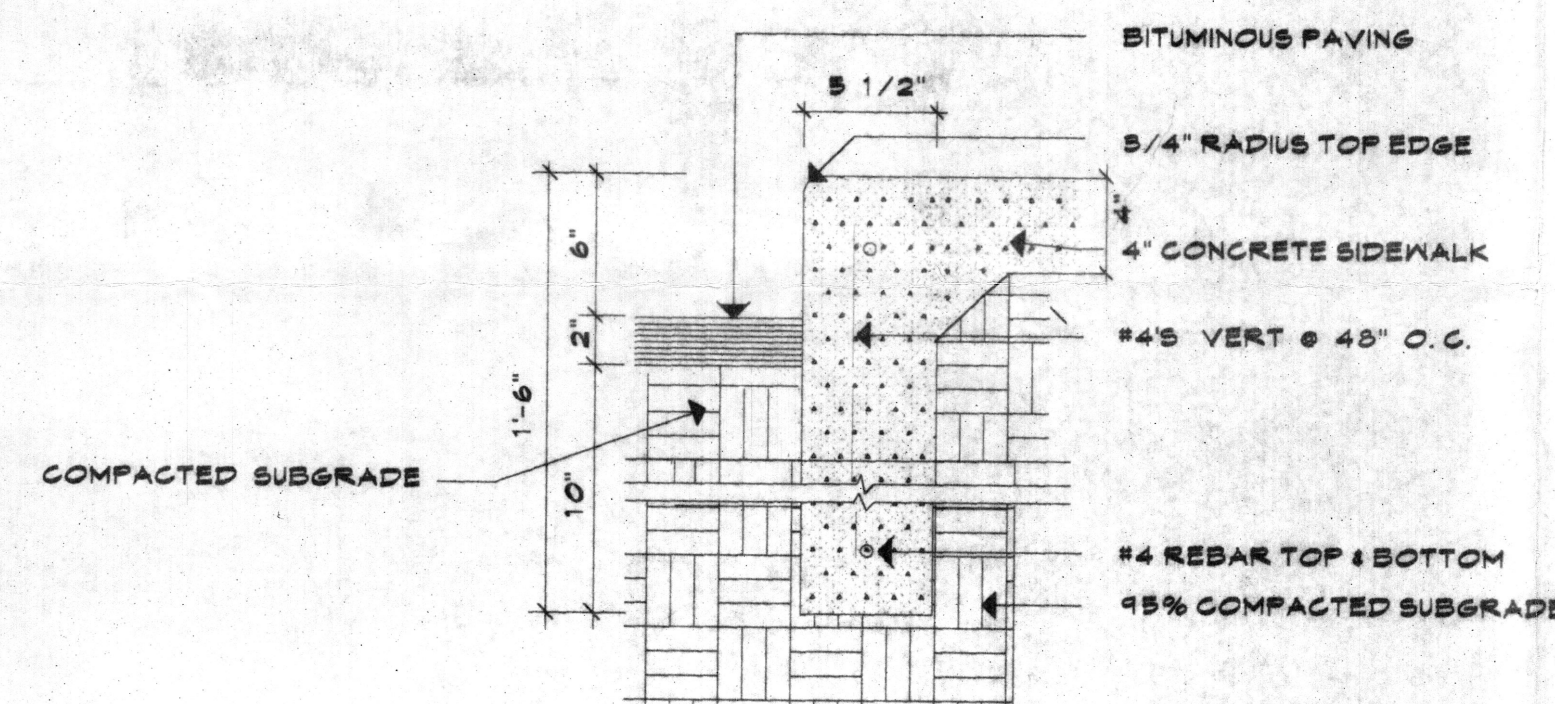
HANDICAPPED RAMP DETAIL



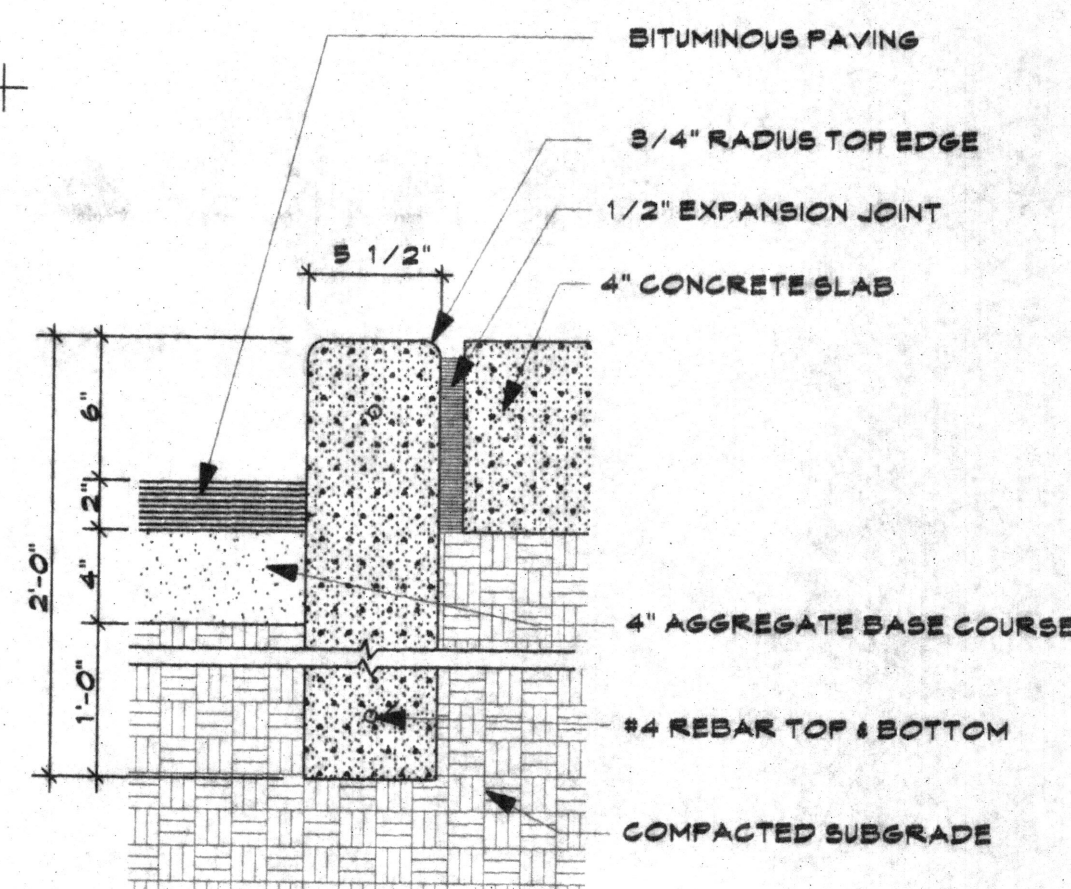
4 TREE PLANTING DETAIL
SCALE: 3/8" = 1'-0"



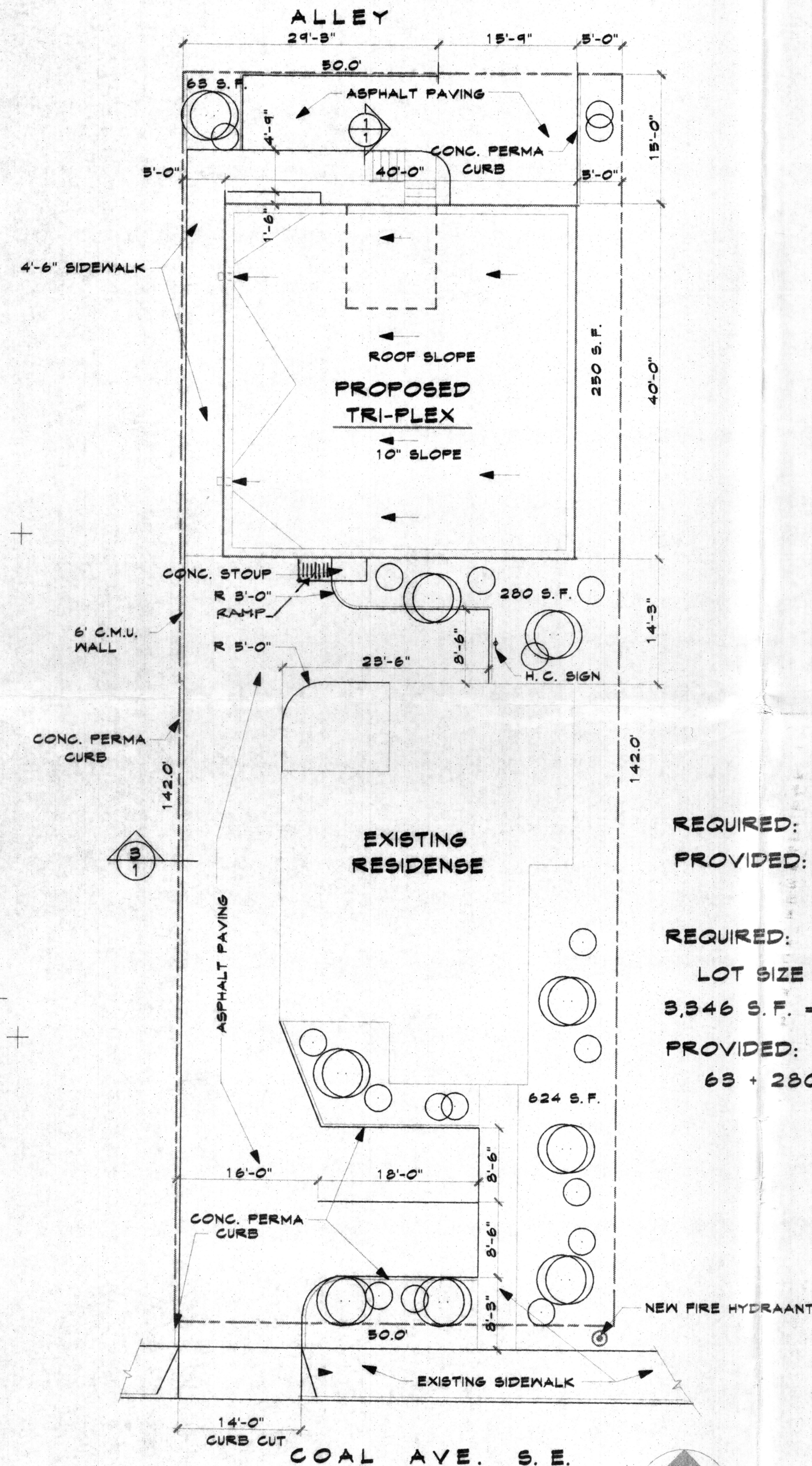
3 PERMA-CURB DETAIL
SCALE: 3/8" = 1'-0"



2 CONCRETE CURB
SCALE: 1 1/2" = 1'-0"



1 CONCRETE CURB
SCALE: 3/8" = 1'-0"



SITE PLAN 1" = 10'

ALL LANDSCAPING WILL BE IN CONFORMANCE W/CITY OF ALBUQ. ZONING CODE, STREET TREE ORD, POLLEN, WASTE WATER & WATER CONSERVATION LANDSCAPE ORDINANCES

VICINITY MAP

DESIGN DATA:

OCCUPANCY GROUP	R
CONSTRUCTION TYPE	VN
SEISMIC ZONE	2B
ROOF LIVE LOAD	20 PSF
WIND PRESSURE	75 MPH
SOIL BEARING	1,500 PSF
CONCRETE STRENGTH; FOUNDATION	3,000 PSI
FLAT WORK - EXT.	2,500 PSI

PARKING:

REQUIRED: 1 1/2 PER BATH = 4 X 1 1/2 = 6 SPACES
PROVIDED: 6 SPACES

LANDSCAPING:

REQUIRED:
LOT SIZE = 142' X 50' = 7,100 S.F. - BLD'G AREA = 3,346 S.F. = 3,754 S.F. X 15% = 563 S.F. REQUIRED
PROVIDED:
63 + 280 + 624 + 250 = 1,217 S.F. PROVIDED

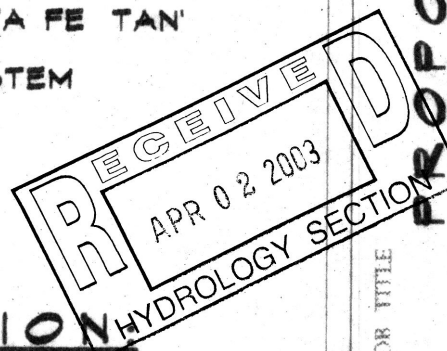
LANDSCAPING:

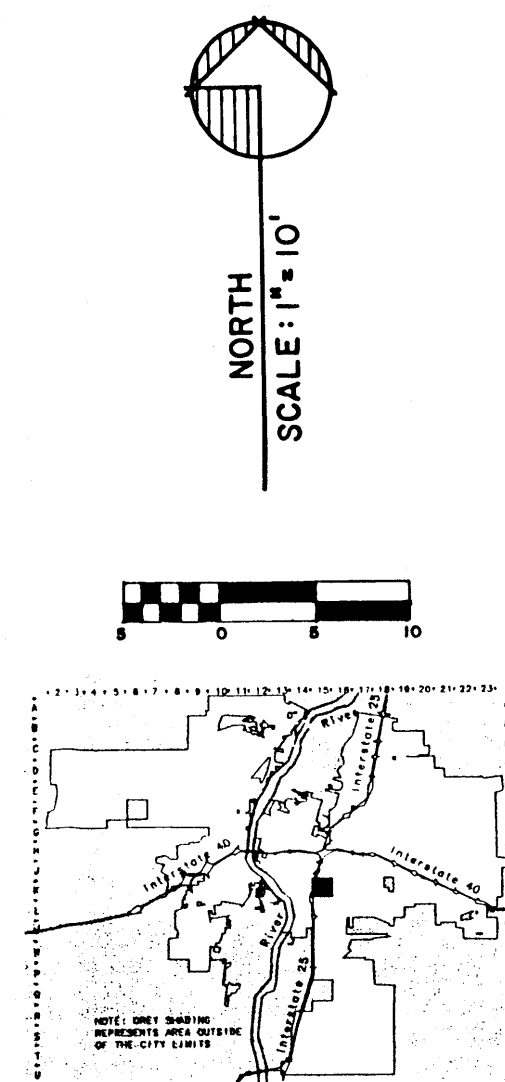
- MODESTO ASH - 2" CALIPHER
- CHAMISA - 5 GAL
- SPANISH BROOM - 5 GAL

GROUND COVER - 3/4" GRAVEL SANTA FE TAN
IRRIGATION BY DRIP IRRIGATION SYSTEM
MAINTENANCE BY OWNER

LEGAL DESCRIPTION

LOT #16, IN BLOCK #6, BUENA VISTA HEIGHTS SUBDIVISION, TO THE CITY OF ALBUQUERQUE, NEW MEXICO





A PROPOSED GRADING AND DRAINAGE PLAN
FOR
2117 COAL AVENUE S. E.
ALBUQUERQUE, NEW MEXICO
MARCH, 2002
(ENGINEER'S CERTIFICATION: MARCH, 2003)

