



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 11, 2002

Dave Thompson, PE
Thompson Engineering Consultants, Inc.
P.O. Box 15954
Rio Rancho, NM 87174

**Re: Cedar Street Townhomes Grading and Drainage Plan
Engineer's Stamp dated 8-14-02, (K15/D75)**

Dear Mr. Thompson,

Based on information contained in your submittal dated 8-19-02, the above referenced plan is approved for Preliminary Plat and Building Permit action by the DRB.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

PROJECT TITLE: CEDAR STREET TOWNHOMES

ZONE MAP/DRG. FILE #: K15/D75

DRB #: _____ EPC #: _____

WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS B-1, B-2, C-1, C-2, D-1, D-2, J-1, J-2, Country Club Addition

CITY ADDRESS: _____

ENGINEERING FIRM: Thompson Engineering Consultants, Inc.

ADDRESS: P.O. Box 15954

CITY, STATE: Rio Rancho, NM

CONTACT: David Thompson

PHONE: 896-7996

ZIP CODE: 87174

OWNER: SG Properties

ADDRESS: P.O.Box 1773

CITY, STATE: Santa Fe, NM

CONTACT: Sean Gilligan

PHONE: 440-5814

ZIP CODE: 87504

ARCHITECT: Tom Gifford

ADDRESS: P.O. Box 1773

CITY, STATE: Santa Fe, NM

CONTACT: Tom Gifford

PHONE: 690-5898

ZIP CODE: 87504

SURVEYOR: Precision Surveys

ADDRESS: 8414-D Jefferson St. NE

CITY, STATE: Albuquerque, NM

CONTACT: Larry Medrano

PHONE: 856-5700

ZIP CODE: 87113

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION(TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

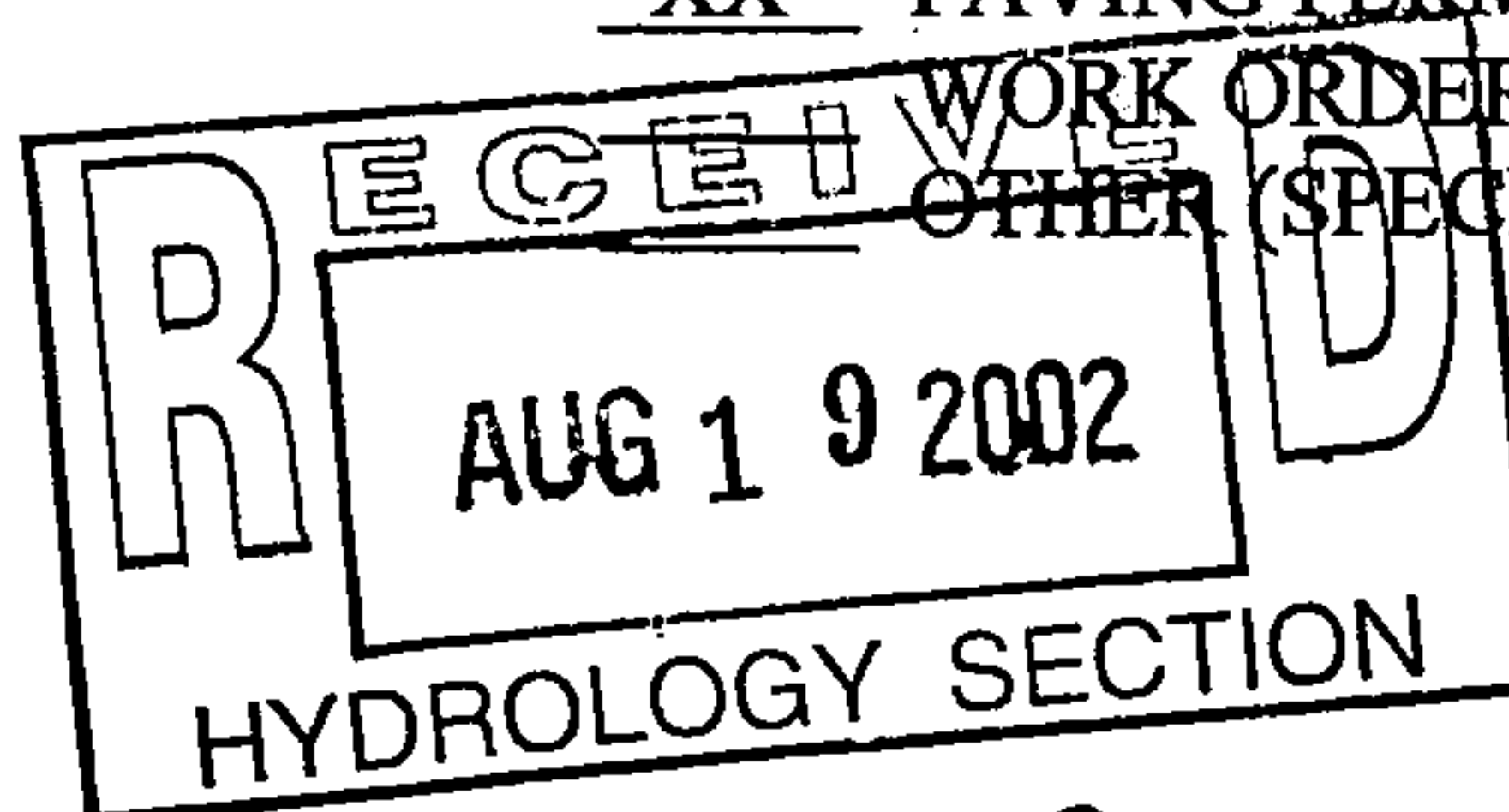
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☒ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☒ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

☐ YES

☒ NO

☐ COPY PROVIDED



DATE SUBMITTED: August 19, 2002

BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five acres
2. **Drainage Plans:** Required for building permits, grading permits, paving permits, and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or



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July 12, 2002

Dave Thompson, PE
Thompson Engineering Consultants, Inc.
P.O. Box 15954
Rio Rancho, NM 87174

Re: Cedar Street Townhomes Grading and Drainage Plan
Engineer's Stamp dated 6-28-02, (K15/D75)

Dear Mr. Thompson,

Based on information contained in your submittal dated 6-28-02, the above referenced plan cannot be approved for Preliminary Plat or Building Permit until the following comments are addressed.

- What size is the storm drain that picks up runoff from lot K? Where is the inlet? Who maintains these facilities? Please show on the plan where the pipe will be located.
- Per City policy, no "developed" (rooftop) runoff is allowed to drain to a backyard pond. Please revise your basins accordingly.
- What are the finished grades of the residences under construction on the south side of your project?
- The vicinity map highlights the wrong properties.
- Is the owner vacating the alley? If so, the drive pad may have to be closed.

If you have any questions about my comments, you can contact me at 924-3986.

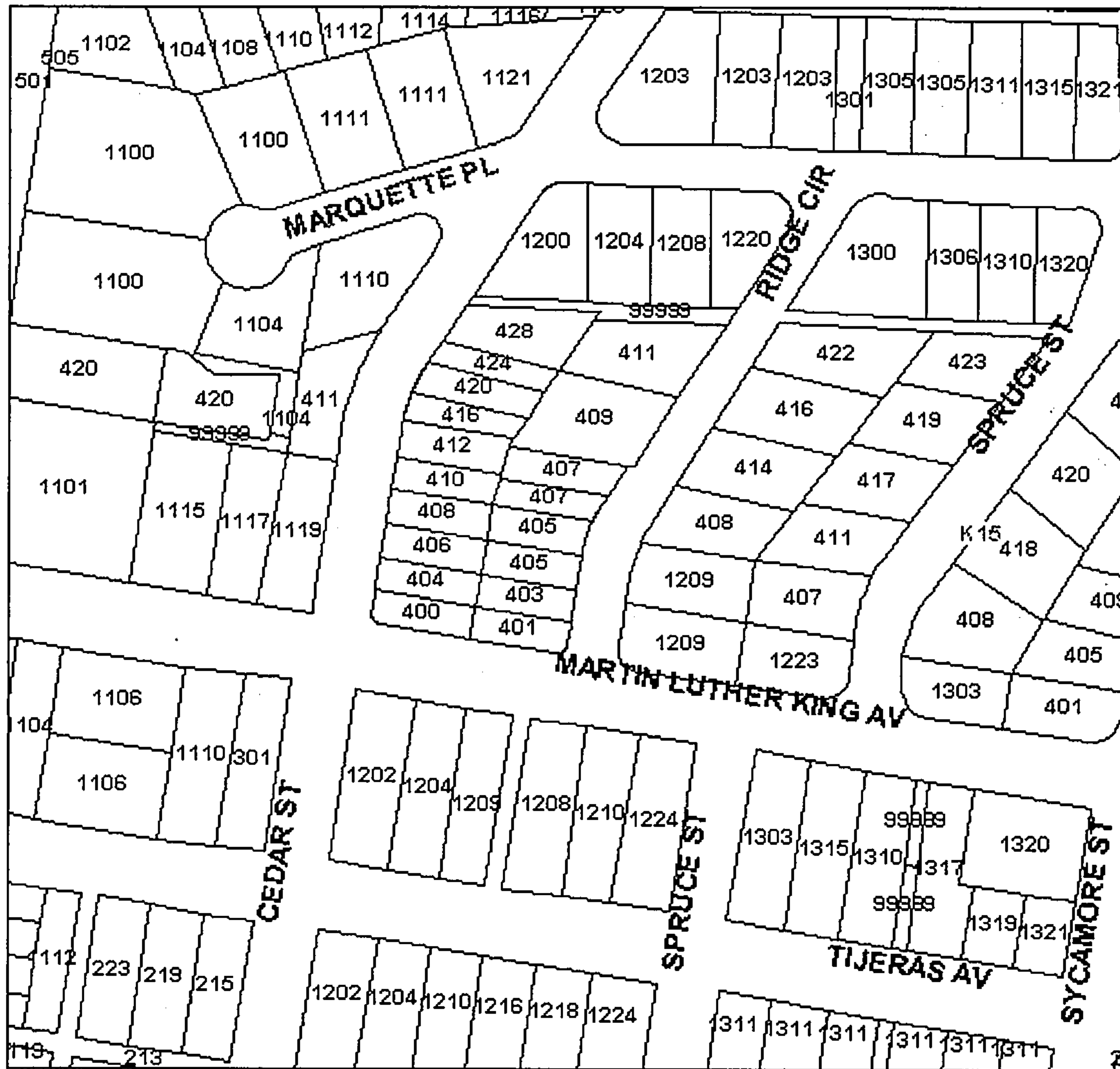
Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Development and Building Services

C: file

Activate By 'Clicking' on the Map

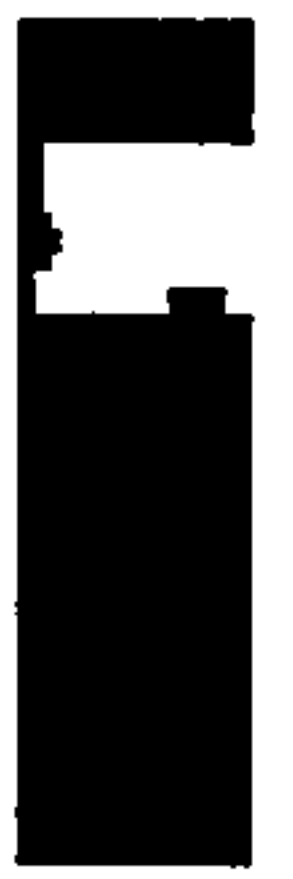
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 ☐ Zoom Out



ReDraw Screen

1999 AIR PHOTO (Metro Area Coverage)

CITY



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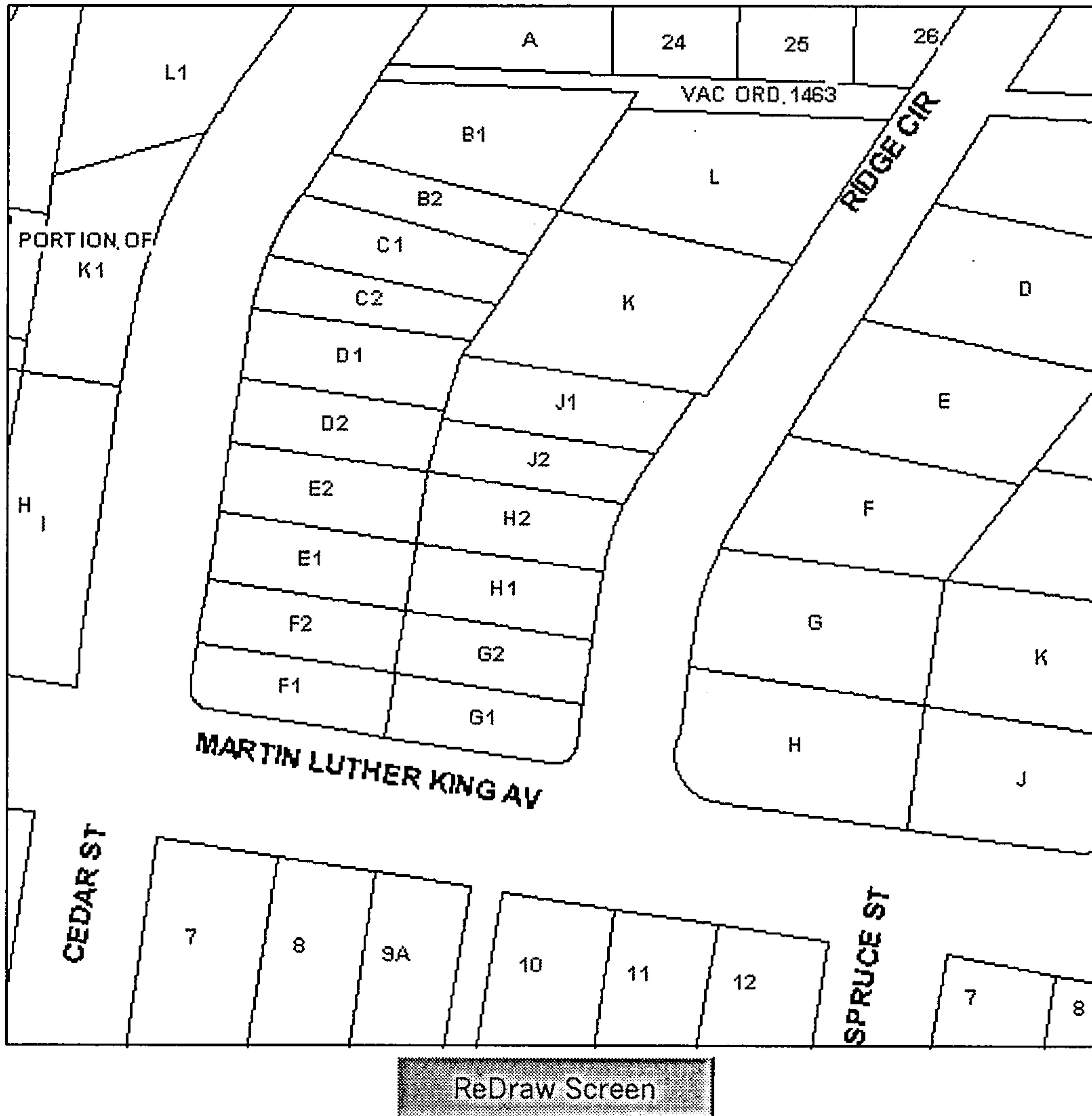
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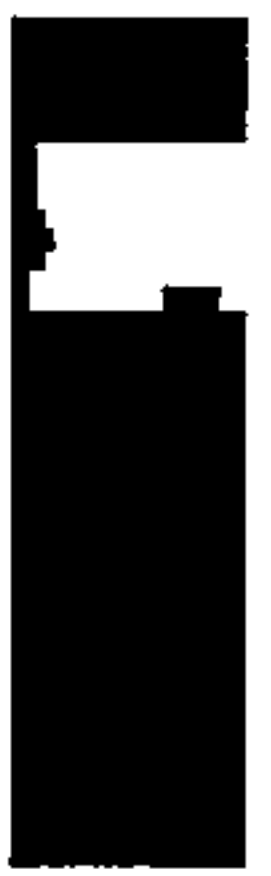
Activate By 'Clicking' on the Map

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1999 AIR PHOTO (Metro Area Coverage)

CITY



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