

EXISTING CONDITIONS - ENTIRE SITE  
FOR REFERENCE ONLY

#### PAVING NOTES:

1) SPECS: Paving shall be per COA specs (City of Albuquerque Standard Specifications for Public Works Construction, 1986 Edition, through latest update, Update #6), and as noted below and on the plans.

2) GRADING: The Contractor is responsible for getting the paving constructed to the grades and slopes shown on the plans. The main purpose of this project is to get a parking area that drains well, and the job will not be accepted unless the paving is so constructed. After construction, the Owner, at the Owner's expense, will obtain any as-built survey as needed for the design engineer (Per Se Engineering) to decide whether the project has been completed substantially as designed.

Typical slopes on the project are roughly 1.1% longitudinal and roughly 1.4% to 4% transverse.

3) TESTING & INSPECTION: The Owner will obtain the services of a Soils/Paving Testing Service to perform the testing and inspection, and make the pavement judgment decisions required by COA specs. The Testing Service will determine how many tests of subgrade and asphalt paving are required to ensure proper construction. The Testing Service will also decide whether a prime coat of asphalt will be required on top of the subgrade. The Owner will pay all costs associated with the Testing Service's work - including decisions, testing, inspection, and reporting - EXCEPT THAT the Contractor shall be responsible for all costs associated with failed tests, including retesting and re-reporting costs.

All backfill and compaction, including subgrade preparation, shall be tested and approved before the asphalt paving is laid down. The asphalt paving shall be tested and approved before the job is accepted. The Contractor shall coordinate with the Testing Service at least 2 working days in advance of placing the asphalt, and shall arrange his work schedule so that the Testing Service can observe and test the asphalt placement during normal working hours, unless the Contractor makes other arrangements specifically acceptable to the Testing Service. The Contractor shall promptly provide the Testing Service with copies of all relevant documents, such as job mix designs, loading tickets, etc.

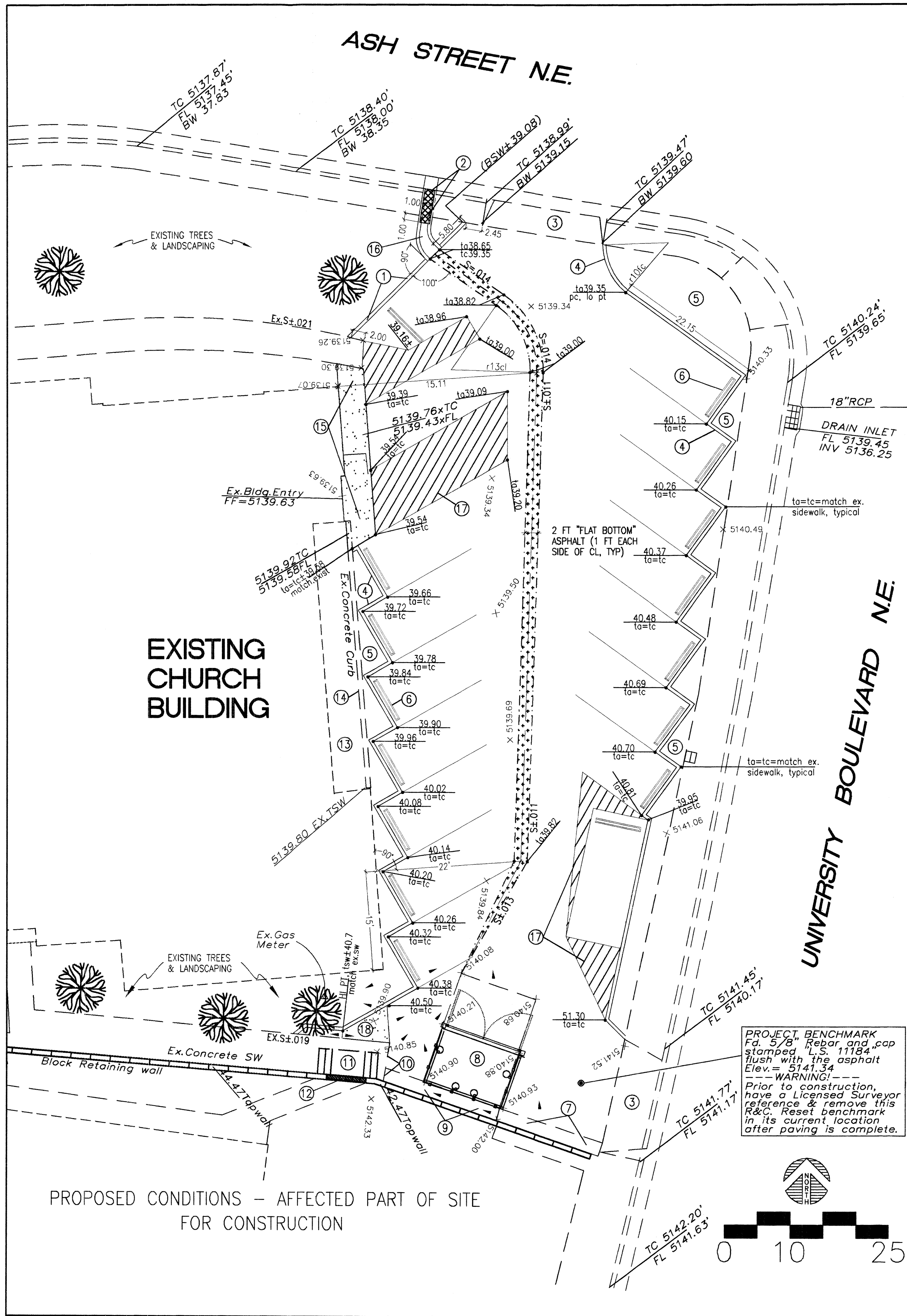
4) PAVEMENT SECTION: The asphalt paving shall be per COA Drawing 2405 for Residential Streets, EXCEPT THAT (1) all asphalt will be of the same type, and (2) the entire 3 inches may be placed in a single course. [COA Drawing 2405 basically calls for 12" of compacted subgrade, then a 1-1/2" course of Type A asphalt concrete, topped by a 1-1/2" course of Type B asphalt concrete.] The asphalt paving shall be Type B (3/4" nominal max aggregate size) UNLESS the Owner and the Contractor agree in writing to use Type C (1/2" nominal max aggregate size).

5) NO PAVING JOINT will be permitted along the swale near the center of the paving in the main part of the site, or within 3 ft either side of the center of the swale. After the swale bends toward the northwest, it is OK for a paving joint to cross the swale, but the joint should be as nearly perpendicular to the swale as practical and in no case shall the joint be more than 30 degrees from perpendicular. The Contractor shall adjust his operations as needed.

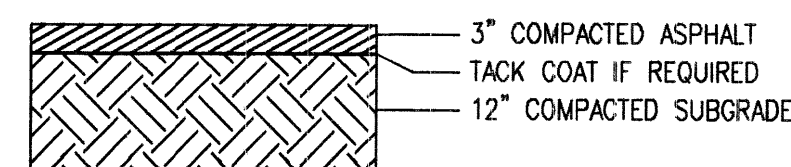
6) CLEANUP: In addition to any requirements in the COA specs, the Contractor shall promptly clean up any spilled or overspread asphalt or any misplaced paving, especially on the sidewalks near the church building. Contractor shall remove all waste and clean up materials from the site and dispose of them properly. All such cleanup is incidental to the work and will not have any separate payment.

#### KEYED NOTES:

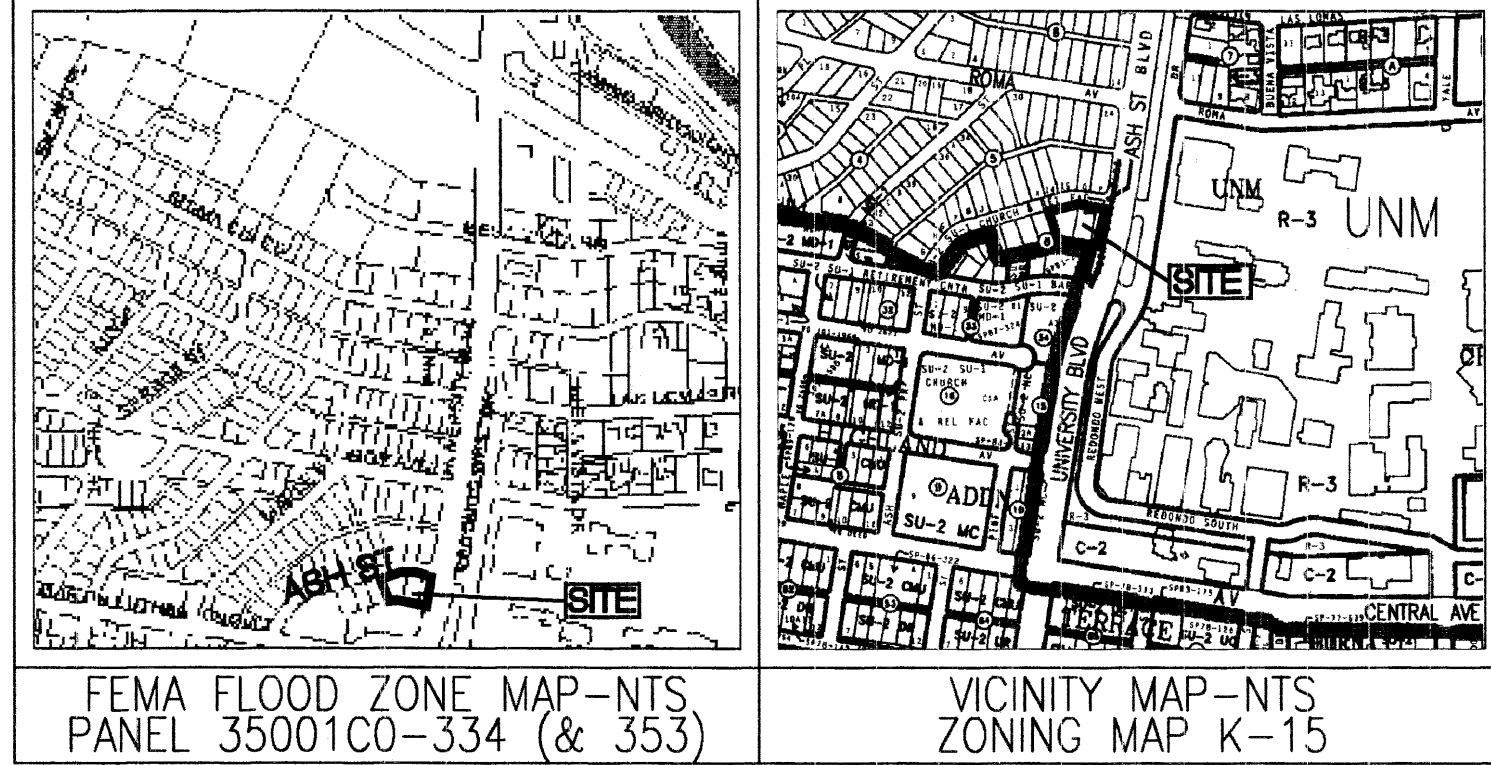
- 1) HEADER CURB PER COA DWG 2245 TO BE 6" ABOVE TOP OF ASPHALT THIS LOCATION ONLY. PROVIDE 12" TRANSITION TO EXISTING SIDEWALK AT ENDS.
- 2) SIDEWALK CULVERT W/ 12" OPENING. PER COA DWG 2236, EXCEPT MODIFIED TO EXTEND 12" (1 FT) BEHIND BACK OF SIDEWALK.
- 3) EXISTING DRIVEPAD
- 4) HEADER CURB PER COA DWG 2245 (6"x18"), FLUSH W/ PAVING. TYP EXCEPT AS SHOWN OTHERWISE.
- 5) NEW LANDSCAPING. (TYPICAL BEHIND PARKING SPACES)
- 6) CONCRETE PARKING BUMPER. FIELD SET AS DIRECTED BY ARCHITECT.
- 7) EXISTING CONCRETE "BENCH" TO REMAIN
- 8) EXISTING DUMPSTER PAD & APRON TO REMAIN. (REBUILD ENCLOSURE PER ARCH'L PLANS)
- 9) FILL EXISTING LOW CONCRETE AREA BEHIND DUMPSTER THEN PAVE SURFACE W/ ASPHALT. SLOPE TO DRAIN WEST THEN NORTH. FILL MAY BE COMPACTED ASPHALT OR COMPACTED EARTH, EXCEPT THAT MIN. COMPACTED EARTH THICKNESS TO BE 2'.
- 10) MATCH TOP OF EXISTING CONCRETE AT BASE OF EXISTING STEEL STAIRS.
- 11) EXISTING STEEL STAIRS.
- 12) INSTALL ALUMINUM DOOR SILL AS WATERSTOP, ±1/2" HIGH. LEAVE 1/4" CLEAR EACH END FOR EXPANSION. AFFIX AND SEAL ALL AROUND W/ URETHANE SEALANT OR AS DIRECTED BY ARCHITECT.
- 13) EXISTING COVERED PORCH.
- 14) EXISTING CONC CURB AT PORCH TO REMAIN EXCEPT WHERE CUT OUT FOR NEW ENTRANCE AT NORTH END.
- 15) REBUILD AND EXTEND CONC. SIDEWALK PER ARCH'L.
- 16) NEW PLAIN CONCRETE "CHANNEL", 24" WIDE AT UPSTREAM END & 12" WIDE AT ENTRANCE TO SIDEWALK CULVERT. DEPTH = 6". INNER RADIUS SHOWN AS 3', OUTER RADIUS 4'.
- 17) STRIPING PER ARCHITECTURAL PLANS
- 18) EXTEND EXISTING CONC. SIDEWALK PER ARCHITECTURAL PLANS



PROPOSED CONDITIONS - AFFECTED PART OF SITE  
FOR CONSTRUCTION



PAVEMENT SECTION



#### GENERAL CIVIL & DRAINAGE NOTES - FOR CONTRACTOR & REVIEWERS:

- 1) ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THE CONTRACT SHALL, EXCEPT AS OTHERWISE STATED AND PROVIDED HEREON, BE CONSTRUCTED IN ACCORD WITH "CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986", LATEST REVISION & UPDATE.
- 2) UTILITY LOCATIONS: THE PLANS SHOW THE LOCATIONS OF SOME EXISTING UTILITIES AND OBSTACLES BUT MAY NOT SHOW ALL THAT EXIST (ESPECIALLY UNDERGROUND LINES) AND THE ONES THAT ARE SHOWN MAY NOT BE ACCURATE.
- 3) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE-CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING LINES.
- 4) THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH THE PLANS AND SITE FEATURES. PRIOR TO CONSTRUCTION, THE CONTRACTOR WILL EXCAVATE, VERIFY, AND RECORD THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTION. SHOULD A CONFLICT EXIST, THE CONTRACTOR WILL NOTIFY THE ARCHITECT SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 5) SPECIAL NOTE: AT ANY TIME THAT A CONFLICT OR APPARENT ODDITY EXISTS THE CONTRACTOR MUST NOTIFY THE ARCHITECT AND OBTAIN A RESOLUTION PRIOR TO PROCEEDING WITH THE WORK OR FINAL LAYOUT. THE ARCHITECT MAY DISCUSS THE SITUATION WITH THE ENGINEER OR THE CITY BEFORE MAKING A DECISION.
- 6) AN EXCAVATION/BARRICADE PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY, COUNTY, OR VILLAGE RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THESE PERMITS.
- 7) WORK IN UNIVERSITY RIGHT OF WAY, IF ANY, REQUIRES 24-HOUR CONSTRUCTION, UNLESS OTHERWISE PREVIOUSLY APPROVED IN WRITING BY THE CITY OF ALBUQUERQUE.
- 8) BACKFILL, COMPACTION, AND PAVEMENT REPAIR/REPLACEMENT IN CITY RIGHT OF WAY SHALL BE ACCORDING TO APPROPRIATE STREET STANDARDS, RESIDENTIAL IN ASH ST. AND ARTERIAL IN UNIVERSITY BLVD. (COMPACTION A MINIMUM OF 95% OF MAXIMUM COMPACTION PER ASTM D1557).
- 9) ALL COMPACTION ON-SITE (NOT IN R.O.W.) TO BE A MINIMUM OF 95% OF MAXIMUM COMPACTION PER ASTM D1557, UNLESS OTHERWISE SPECIFIED ON THE PLANS OR DIRECTED BY THE SOILS ENGINEER.
- 10) DRAINAGE FACILITIES IN CITY R.O.W. [SIDEWALK CULVERT]: (a) MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED. (b) THE CITY INSPECTOR MUST APPROVE THE CONSTRUCTION OF THESE FACILITIES AND SIGN IN THE APPROVAL BLOCK ON THIS PLAN.
- 11) CONSTRUCT ALL BURIED ITEMS BEFORE CONSTRUCTING SURFACE ITEMS.
- 12) SEE ARCH'L PLANS FOR CURB, SIDEWALK, & WALL DETAILS AND DIMENSIONS, INCLUDING RADII.
- 13) CONTRACTOR MAY CONTACT PER SE ENGINEERING (232-9394) FOR AN ENLARGED DRAWING OF THE "ACTIVE" PART OF THE SITE.

#### DRAINAGE DISCUSSION - FOR REVIEWERS:

- 1) CITY NOTES FOR WORK IN THE R.O.W. ARE INCORPORATED IN THE GENERAL NOTES ABOVE. "THEY'RE IN THERE!" IF YOU LOOK CLOSELY.
- 2) THIS PROJECT CONSISTS PRIMARILY OF RE-DOING THE PARKING LOT TO MAKE IT DRAIN BETTER. THE MAIN REASON A DRAINAGE PLAN IS REQUIRED AT ALL IS THAT THE POINT OF DISCHARGE IS CHANGING FROM THE DRIVEWAY ON ASH ST. TO A NEW SIDEWALK CULVERT A FEW FEET AWAY ON ASH. THIS IS THE SAME GENERAL POINT OF DISCHARGE.
- 3) ALTHOUGH THE PAVING, SIDEWALK, AND LANDSCAPE BOUNDARIES ARE CHANGING SLIGHTLY, THE OVERALL IMPERVIOUS AREA IS ABOUT THE SAME OR SLIGHTLY LESS, AT APX 5950 SF. PER "SMALL AREA" HYDROLOGY METHODS IN THE CITY'S DEVELOPMENT PROCESS MANUAL, FOR RAIN ZONE 2, THIS RESULTS IN A 100-YEAR 6-HOUR PEAK RUNOFF RATE OF 0.64 CFS. THE CORRESPONDING VOLUME IS 1051 CF.
- 4) THE EXISTING STORM DRAIN IN UNIVERSITY BLVD. NEAR THE SITE PRIMARILY CARRIES AN UNKNOWN AMOUNT OF RUNOFF FROM THE UNIVERSITY OF NEW MEXICO (ACROSS UNIVERSITY FROM THE SITE) SOUTH 2 BLOCKS THEN WEST.
- 5) THE SITE IS NOT IN A 100-YR FLOOD ZONE, NOR DOES IT CONTRIBUTE DIRECTLY TO ONE.

#### LEGEND & ABBREVIATIONS

EXISTING FEATURES	TYPICALLY SHOWN	DASHED
E, EX	EXISTING: ELECTRICITY	75
N	NEW, NATURAL	(75.4)
FF	FINISHED FLOOR	
FG	FINISHED GRADE	
FL	FLOW LINE	4975.5
G	GAS, GRADE	
INV	INVERT	
PP, UP	POWER POLE, UTILITY POLE	
SAS	SANITARY SEWER	
SD	STORM DRAIN	
SW	SIDEWALK	
T	TELEPHONE	
TOP	TOP OF	
TA	TOP OF ASPHALT	35.86
TW	TOP OF WALL	35.36
TP	TOP OF CURB, CONCRETE	4975.07
TSW	TOP OF SIDEWALK	

S.O. 19 APPROVALS FOR WORK IN CITY R.O.W.

APPROVAL	NAME	DATE
INSPECTOR		
INSPECTOR		
INSPECTOR		
PERMIT NO.	MAP NO.	K-15

BENCHMARK: ACS MON NM 9-K15, SLD 1929  
ELEV 5148.83

TBM: NAIL FLUSH W/ ASPHALT NEAR SE  
PROPERTY CORNER ELEV 5141.34

JAN 13 2003

HYDROLOGY SECTION

TUCKER H. GREEN  
10731  
JAN 11, 2003

ST. THOMAS OF CANTERBURY EPISCOPAL CHURCH  
LOTS E.F. & PART OF G, BLOCK 6, COUNTRY CLUB ADD'N  
425 UNIVERSITY BLVD. NE ALBUQUERQUE NM

PARKING IMPROVEMENTS  
GRADING & DRAINAGE

PER SE ENGINEERING  
*Drainage, Utilities, and Site Design*  
809 Valencia NE Albuquerque NM 87108  
(505) 232-9394

SHEET  
DR1 of 1