

Handwritten notes: "DR. MARTIN LUTHER KING AVE. N.E." and "TIJERAS AVE. N.E." with arrows pointing to the respective locations on the maps.

# DR. MARTIN LUTHER KING AVE. N.E.

## K-15-Z

**EROSION CONTROL MEASURES:**  
THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION. HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

### CONSTRUCTION NOTES:

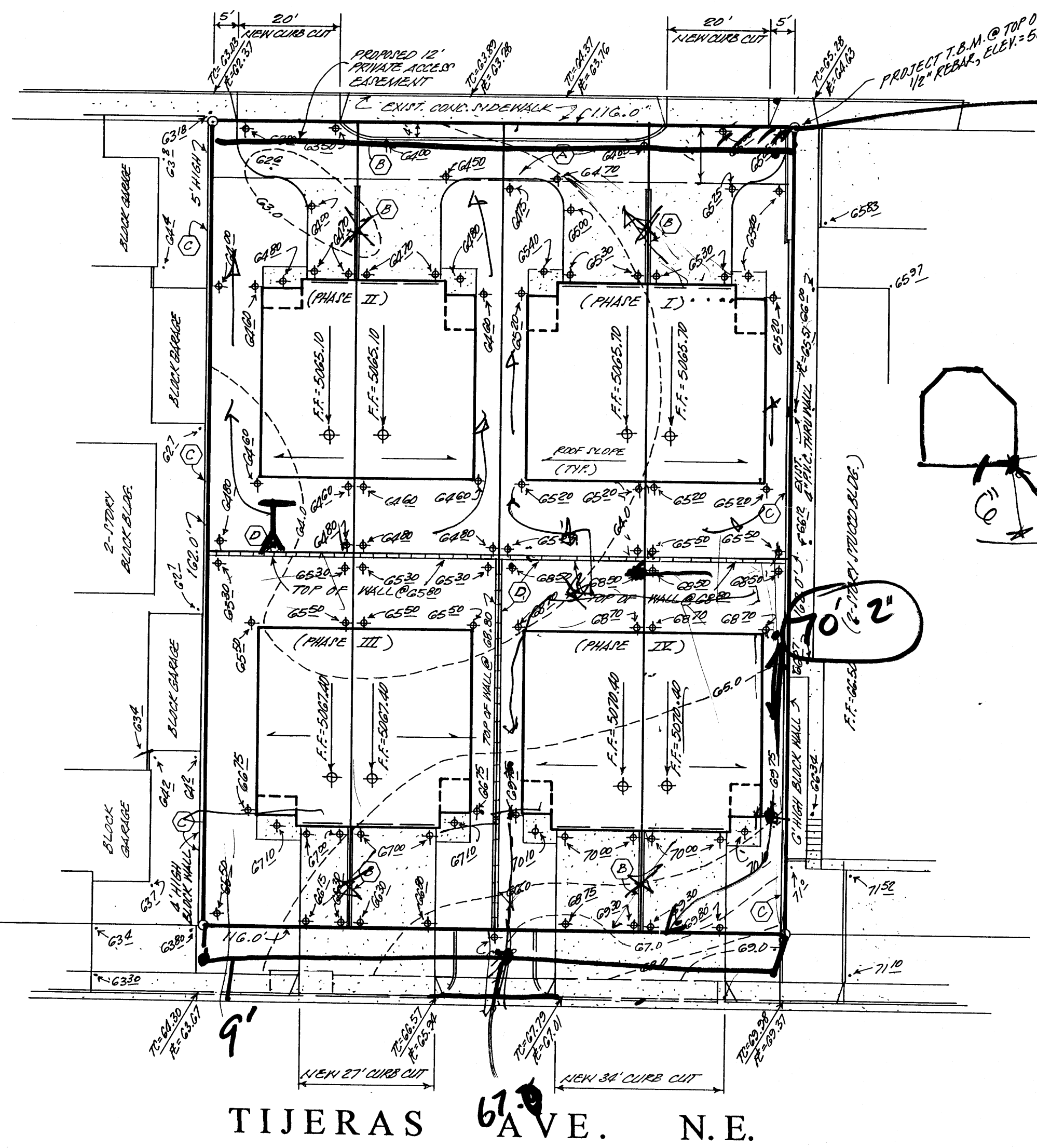
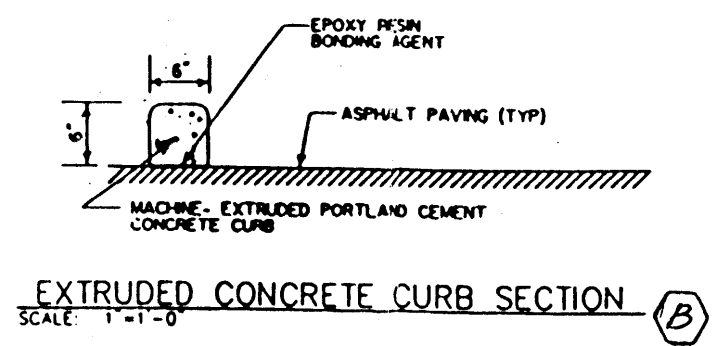
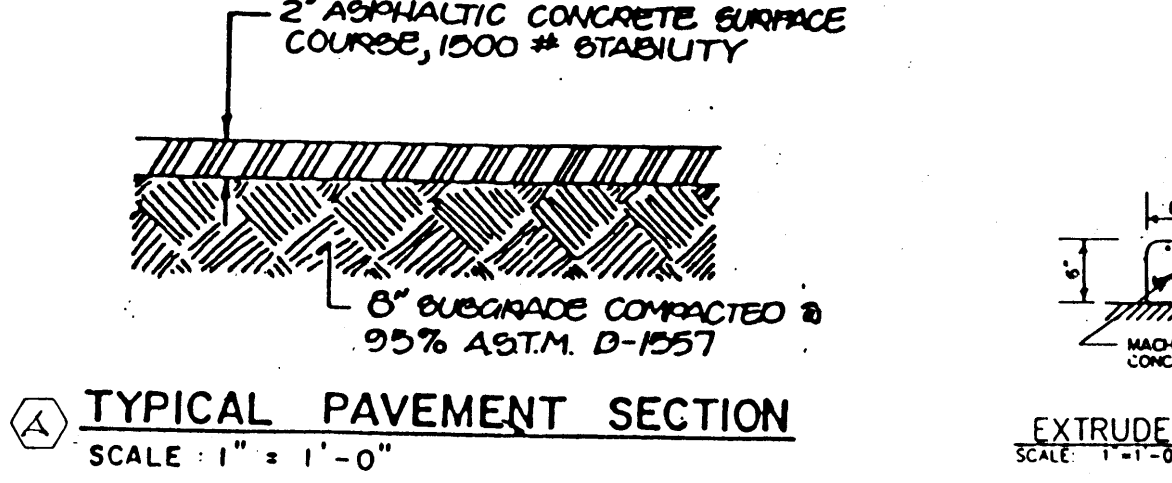
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

**LEGEND:**  
TOP OF CURB ELEVATION =  $TC = 63.03$   
CURB FLOWLINE ELEVATION =  $FL = 62.37$   
EXISTING SPOT ELEVATION =  $SE = 63.2$   
EXISTING CONTOUR ELEVATION =  $CE = 64.0$   
PROPOSED SPOT ELEVATION =  $PS = 64.0$   
PROPOSED CONTOUR ELEVATION =  $PC = 64.0$   
PROPOSED OR EXISTING CONCRETE SURFACE =  $CS = 64.0$   
EXISTING FENCE LINE =  $FL = 64.0$

- EXISTING C.M.U. BLOCK WALL
- PROPOSED RETAINING WALL TO BE DESIGNED BY PROJECT ARCHITECT

### GENERAL NOTES:

- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.



## TIJERAS AVE. N.E.

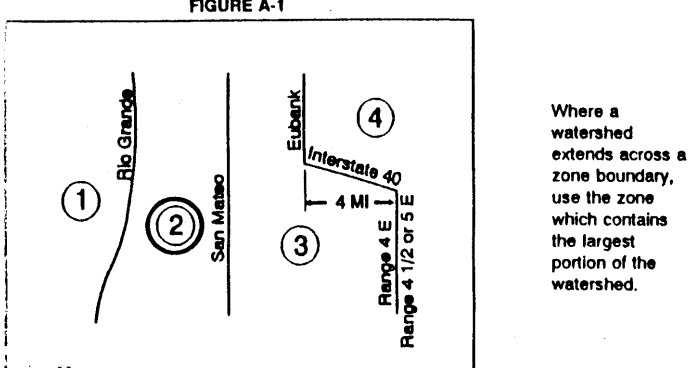
Zone	Treatment			
	A	B	C	D
1	1.29 [0.00, 0.24]	2.03 [0.00, 0.76]	2.87 [0.47, 1.49]	4.37 [1.09, 2.89]
2	1.68 [0.00, 0.38]	2.28 [0.00, 0.95]	3.14 [0.60, 1.71]	4.70 [1.86, 3.14]
3	1.87 [0.00, 0.38]	2.80 [0.21, 1.19]	3.45 [0.78, 2.00]	5.02 [2.04, 3.39]
4	2.30 [0.00, 0.87]	2.87 [0.38, 1.45]	3.73 [1.00, 2.28]	5.25 [2.17, 3.57]

Zone	Intensity	
	100-YR [2-YR, 10-YR]	100-YR [2-YR, 10-YR]
1	4.70 [1.84, 3.14]	4.70 [1.84, 3.14]
2	5.08 [2.04, 3.41]	5.08 [2.04, 3.41]
3	5.38 [2.21, 3.95]	5.38 [2.21, 3.95]
4	5.81 [2.34, 3.83]	5.81 [2.34, 3.83]

### A.1 PRECIPITATION ZONES

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40, and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40, and East of the East boundary of Range 4 East, South of Interstate 40



DPM SECTION 22.2 - HYDROLOGY  
January, 1993 Page A-4

TABLE A-4. LAND TREATMENTS	
Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundcover and infiltration capacity. Croplands. Unirrigated areas.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil compacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Must vacant lots. Gravel or rock on plastic (desert landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

### DRAINAGE COMMENTS:

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED ON THE SOUTH SIDE OF DR. MARTIN LUTHER KING, JR. AVENUE N.E., AND TWO (2) BLOCKS EAST OF INTERSTATE HIGHWAY NO. 25, IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, (CITY ZONE ATLAS MAP "K-15-Z").

THE SUBJECT SITE IS PRESENTLY A VACANT INFILL PROPERTY; THE PROPOSED PLAN AS SHOWN HEREON, IS TO CONSTRUCT EIGHT (8) TOWNHOME UNITS ON SAID PROPERTY TOGETHER WITH ASSOCIATED IMPROVEMENTS THEREON.

THE SUBJECT SITE, 1.) DOES NOT LIE WITHIN A DESIGNATED FLOODPLAIN, NOR DOES IT HAVE DOWNSTREAM FLOODING CONDITIONS (RE: F.E.M.A. PANEL 334 OF 825). 2.) DOES NOT ACCEPT VERY MINIMAL OFFSITE FLOWS THROUGH A 4" P.V.C. DRAINPIPE IN WALL THAT ALONG THE EAST PROPERTY LINE OF THIS PROPERTY (THESE OFFSITE FLOWS WILL CONTINUE TO BE ACCEPTED AND PASSED THROUGH THE SUBJECT PROPERTY). 3.) DOES NOT CONTRIBUTE TO THE OFFSITE FLOWS OF ADJACENT PROPERTIES. 4.) DOES NOT LIE ADJACENT TO A NATURAL OR ARTIFICIAL WATER COURSE. 5.) IS ALLOWED FREE DISCHARGE OF DEVELOPED FLOWS INTO THE ADJACENT STREET RIGHT-OF-WAYS. (THESE FLOWS DO NOT AND WILL NOT HAVE AN ADVERSE IMPACT TO DOWSTREAM PROPERTIES).

### CALCULATIONS:

PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2., DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

SITE AREA : 0.43 ACRE

PRECIPITATION ZONE : TWO (2)

PEAK INTENSITY : IN./HR. AT  $T_c$  = TWELVE (12) MINUTES, 100-YR. - 6 HR. = 5.05

LAND TREATMENT METHOD FOR THE CALCULATION OF "Qp", TABLES A-8 & A-9.

LAND TREATMENT FACTORS, TABLE A-4

### EXISTING CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.43	X	3.14 = 1.35
D	0.00	X	4.70 = 0.00

"Qp" = 1.35 CFS

### PROPOSED DEVELOPED CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.18	X	3.14 = 0.57
D	0.25	X	4.70 = 1.18

"Qp" = 1.75 CFS

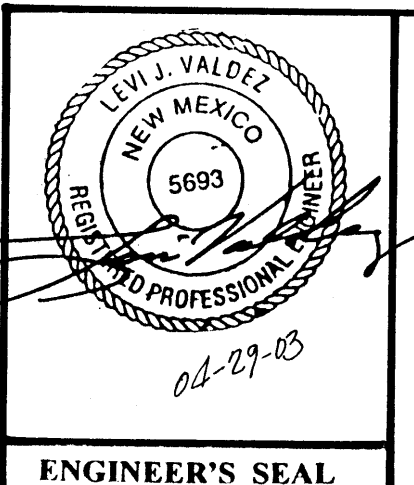
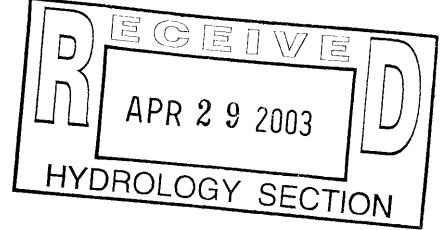
INCREASE = 0.40 CFS

### LEGAL DESCRIPTION:

PRESENTLY TRACT "A", BLOCK 28, BROWNELL & LAIL'S HIGHLAND ADDITION, ALBUQUERQUE, NEW MEXICO, ( TO BE REPLATTED INTO 8 TOWNHOUSE LOTS ).

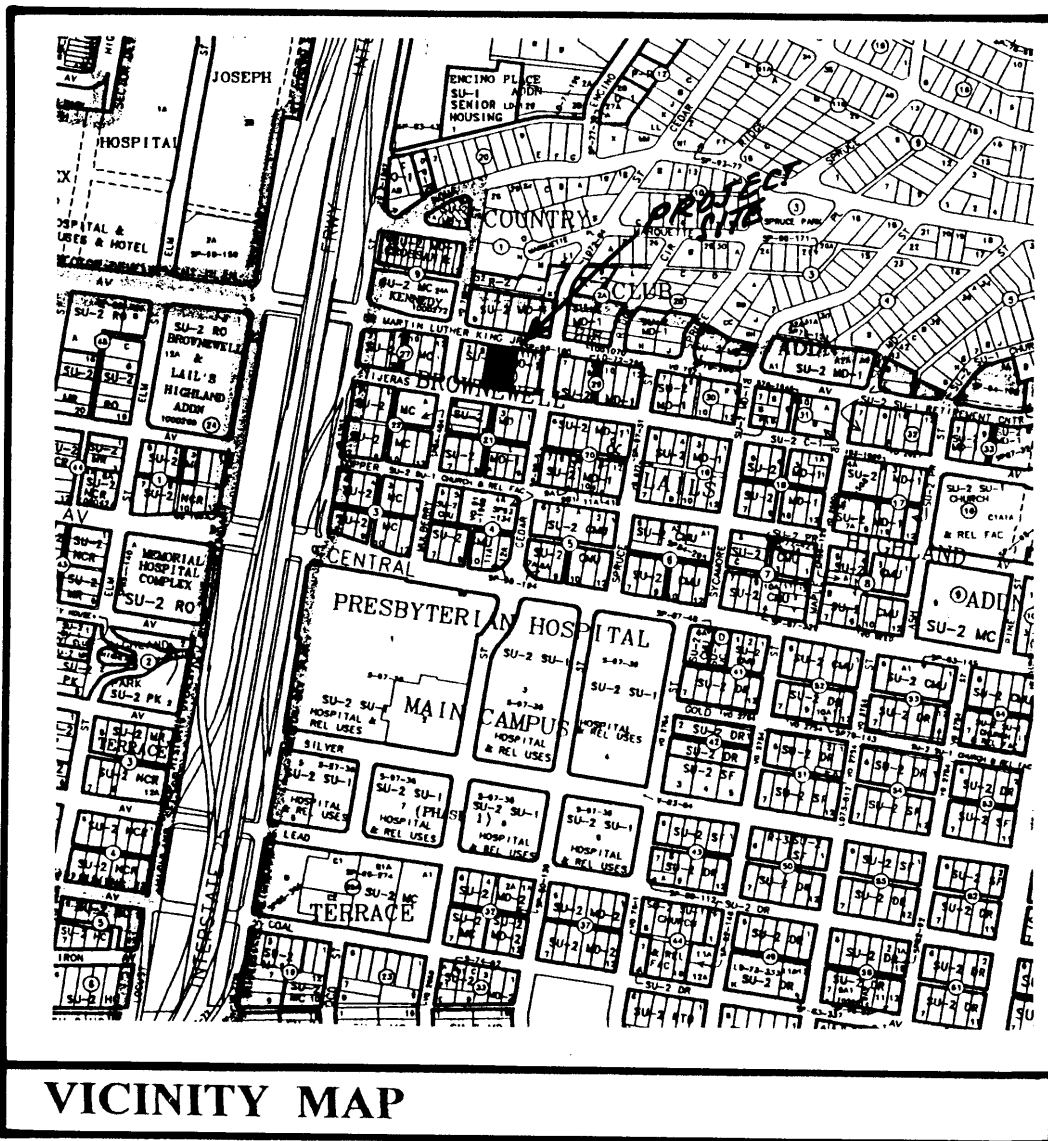
### BENCHMARK REFERENCE:

ACS STATION "4-K15" LOCATED AT THE INTERSECTION OF CENTRAL AVENUE AND OAK STREET N.E.; ELEVATION = 5045.07, (PROJECT T.B.M. AS SHOWN ON THE PLAN HEREON).

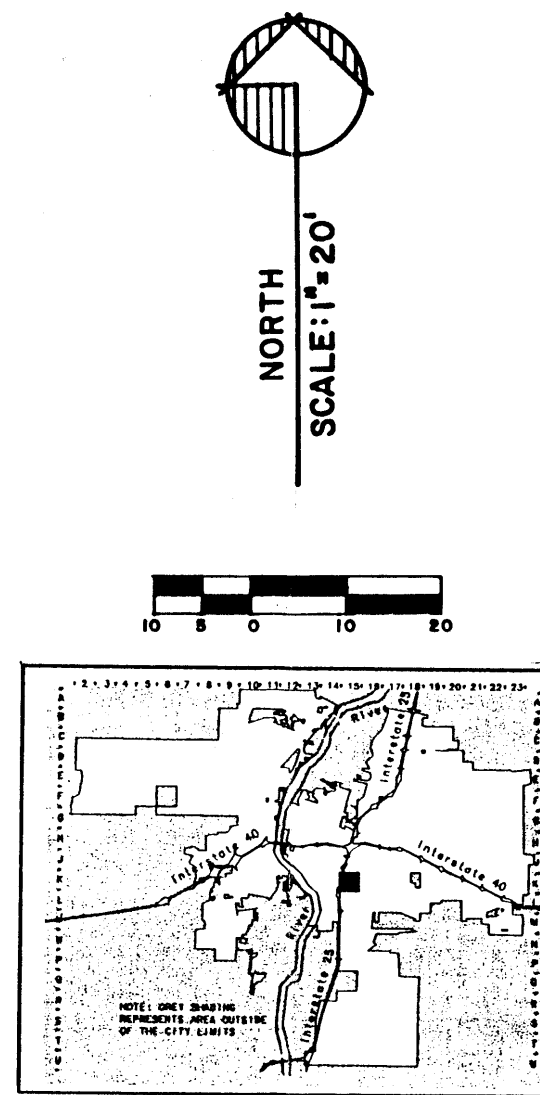
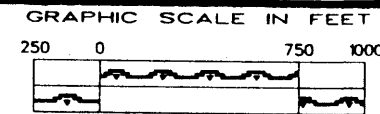


A PROPOSED GRADING & DRAINAGE PLAN  
FOR  
DMLK TOWNHOMES  
( FIRST CHOICE CUSTOM BUILDERS )  
ALBUQUERQUE, NEW MEXICO  
APRIL, 2003



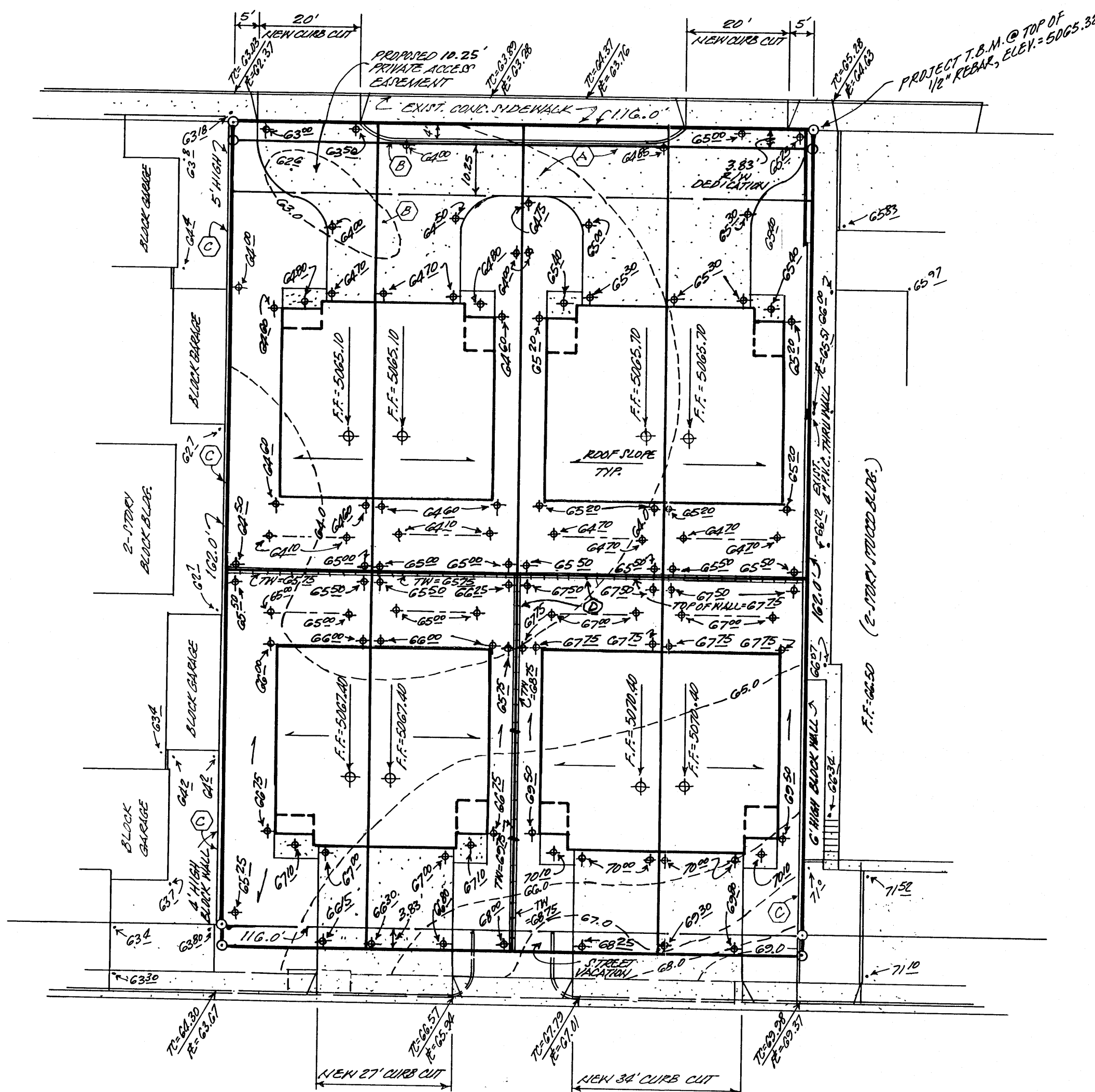


K-15-Z



AREA MAP

DR. MARTIN LUTHER KING AVE. N.E.



TIJERAS AVE. N.E.

#### EROSION CONTROL MEASURES:

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- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

#### CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
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#### LEGEND:

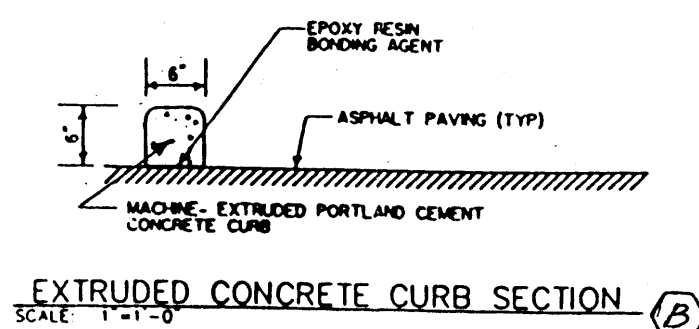
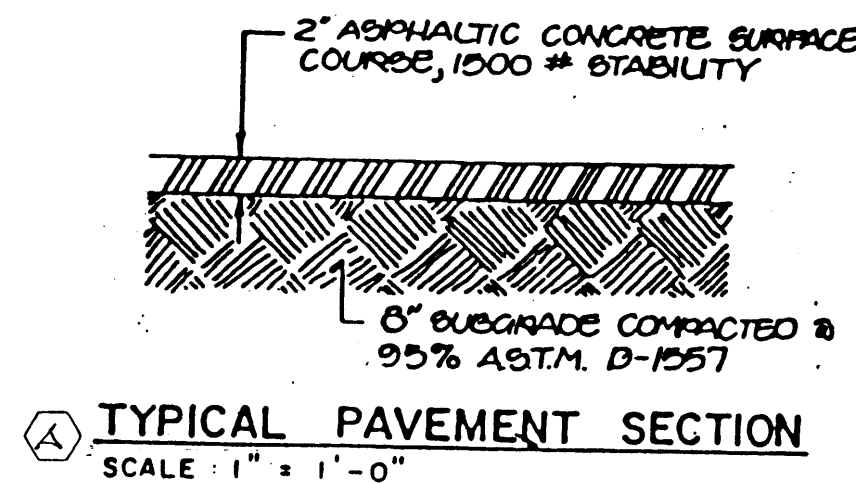
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PROPOSED OR EXISTING CONCRETE SURFACE = [Pattern]  
EXISTING FENCE LINE = [Pattern]

(C) - EXISTING C.M.U. BLOCK WALL

(D) - RETAINING WALL DESIGN BY PROJECT ARCHITECT

#### GENERAL NOTES:

- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.



NOTE: REMOVE REQUIRED CURB CUTS, SIDEWALKS, CURBS & GUTTER, AND REPLACE WITH NEW PROPOSED CURB CUTS, SIDEWALKS, CURBS & GUTTER PER C.O.A. STANDARDS.

\* ARCHITECT TO PROVIDE A ROOF GUTTER DESIGN TO DISCHARGE FLUID TO DRIVEWAY(D)

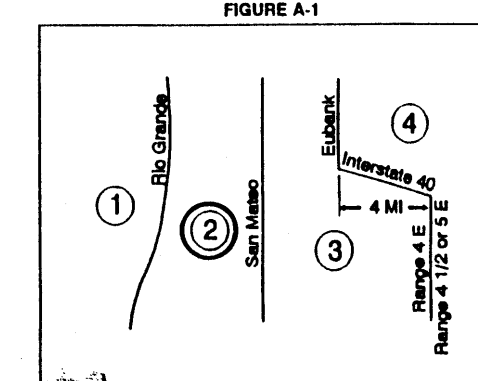
Zone	Treatment				100-YR
	A	B	C	D	[2-YR, 10-YR]
1	1.29 [0.00, 0.24]	2.03 [0.00, 0.78]	2.87 [0.47, 1.49]	4.37 [0.70, 2.89]	4.70 [0.96, 3.14]
2	1.08 [0.00, 0.38]	2.28 [0.00, 0.95]	3.14 [0.86, 1.71]	4.70 [0.96, 3.14]	4.70 [0.96, 3.14]
3	1.87 [0.00, 0.58]	2.80 [0.21, 1.19]	3.45 [0.76, 2.00]	5.02 [0.96, 3.14]	5.02 [0.96, 3.14]
4	2.30 [0.00, 0.87]	3.47 [0.38, 1.45]	3.73 [1.00, 2.28]	5.25 [0.96, 3.14]	5.25 [0.96, 3.14]

Zone	Intensity		100-YR
	Intensity	[2-YR, 10-YR]	Intensity
1	4.70 [1.84, 3.14]	4.70 [1.84, 3.14]	4.70 [1.84, 3.14]
2	4.70 [1.84, 3.14]	4.70 [1.84, 3.14]	4.70 [1.84, 3.14]
3	5.02 [0.96, 3.14]	5.02 [0.96, 3.14]	5.02 [0.96, 3.14]
4	5.25 [0.96, 3.14]	5.25 [0.96, 3.14]	5.25 [0.96, 3.14]

#### A-1 PRECIPITATION ZONES

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

Zone	Location
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4	East of Eubank, North of Interstate 40; and East of the East boundary of Range 4 East, South of Interstate 40



Where a watershed extends across a zone boundary, use the zone which contains the largest portion of the watershed.

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January, 1993  
Page A-4

TABLE A-4. LAND TREATMENTS	
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B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil compacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most weed-free. Gravel or rock or plastic (desert landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCSS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

Most watersheds contain a mix of land treatments. To determine proportional treatments, measure respective subareas. In lieu of specific measurement for treatment D, the areal percentages in TABLE A-5 may be employed.

#### DRAINAGE COMMENTS:

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LAND TREATMENT FACTORS, TABLE A-4

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"Op" = 1.35 CFS

#### PROPOSED DEVELOPED CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.18	X	3.14 = 0.57
D	0.25	X	4.70 = 1.18

"QP" = 1.75 CFS

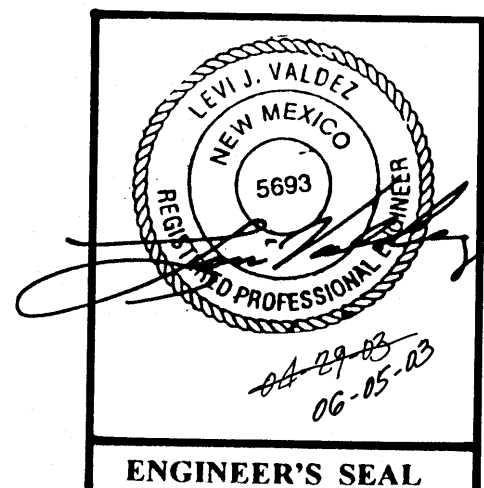
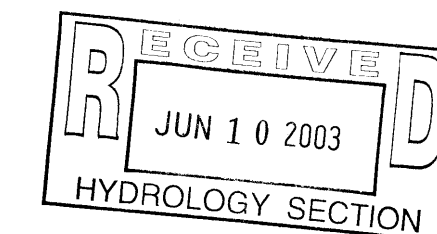
INCREASE = 0.40 CFS

#### LEGAL DESCRIPTION:

PRESENTLY TRACT "A", BLOCK 28, BROWNELL & LAIL'S HIGHLAND ADDITION, ALBUQUERQUE, NEW MEXICO, ( TO BE REPLATTED INTO 8 TOWNHOUSE LOTS ).

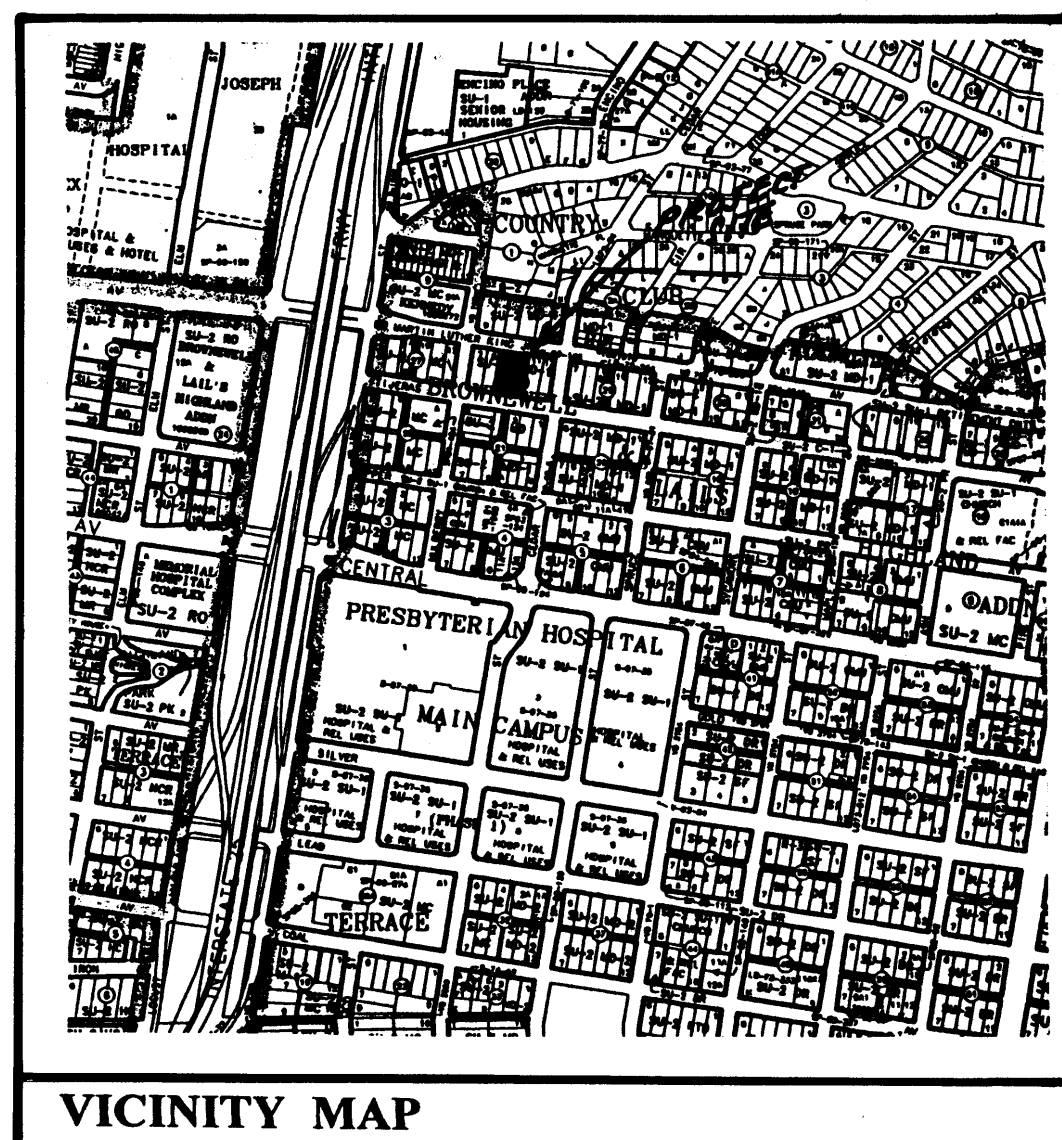
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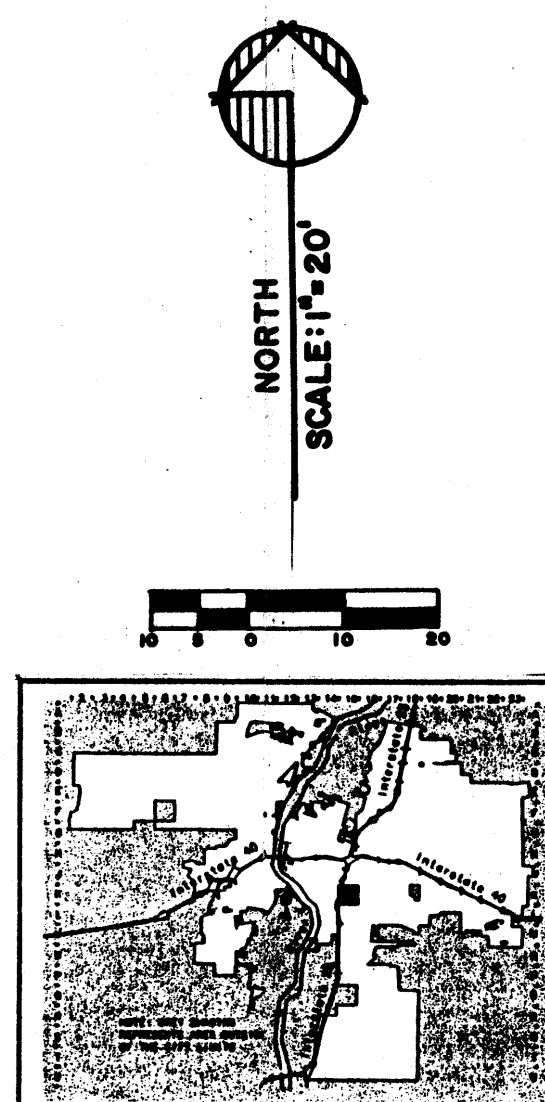


A PROPOSED GRADING & DRAINAGE PLAN  
FOR  
DMLK TOWNHOMES  
( FIRST CHOICE CUSTOM BUILDERS )  
ALBUQUERQUE, NEW MEXICO  
APRIL, 2003





K-15-Z



AREA MAP

DR. MARTIN LUTHER KING AVE. N.E.

#### EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

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- 2) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- 3) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

#### CONSTRUCTION NOTES:

- 1) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
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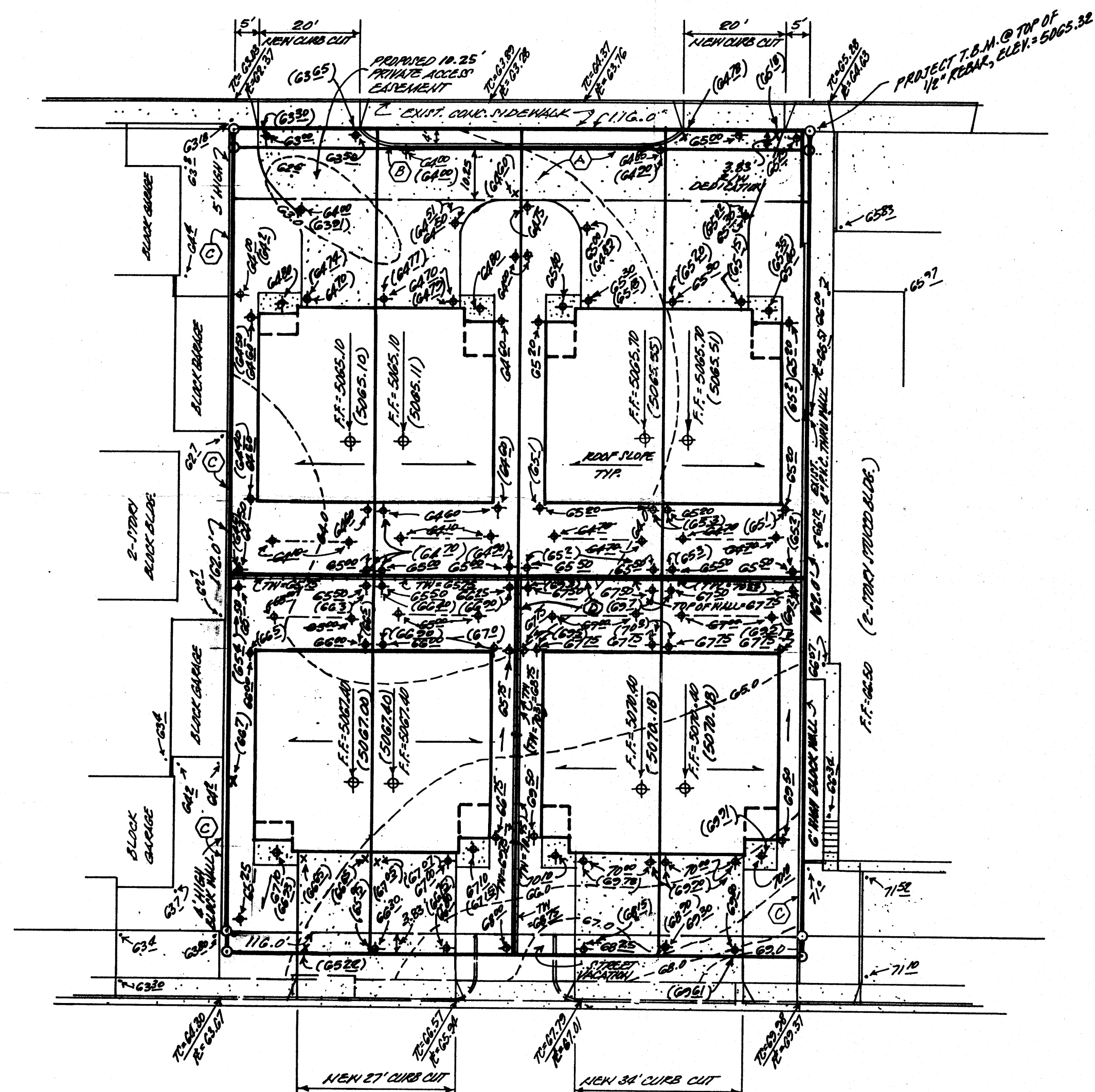
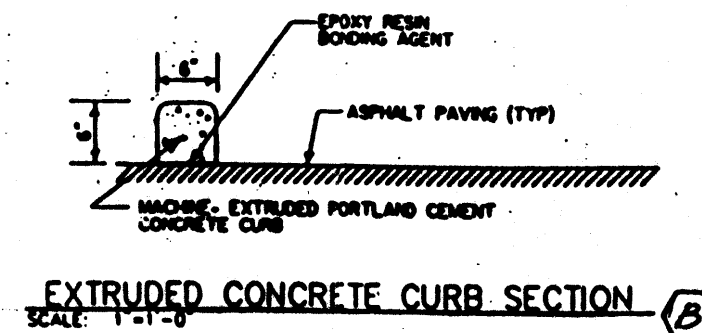
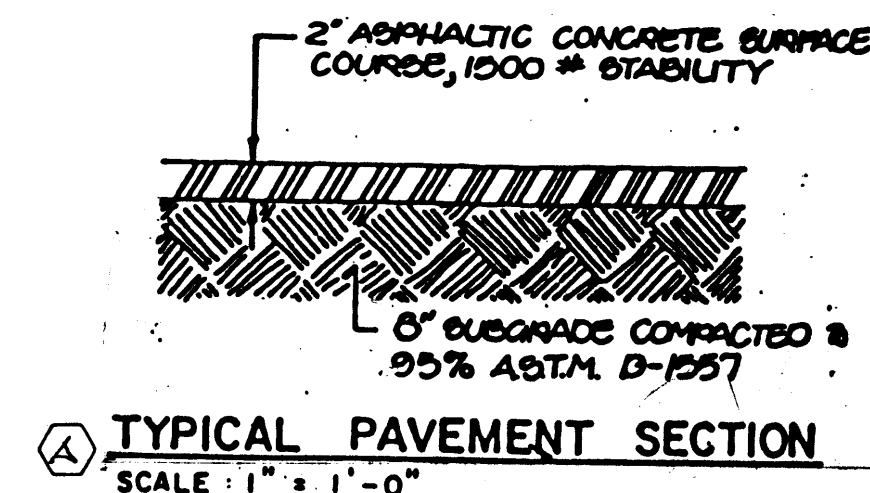
#### LEGEND:

TOP OF CURB ELEVATION = 72.63.02  
CURB FLOWLINE ELEVATION = 72.62.37  
EXISTING SPOT ELEVATION = 72.63.02  
EXISTING CONTOUR ELEVATION = 72.64.00  
PROPOSED SPOT ELEVATION = 72.64.02  
PROPOSED CONTOUR ELEVATION = 72.64.00  
PROPOSED OR EXISTING CONCRETE SURFACE =  
EXISTING FENCE LINE =

- ① EXISTING C.M.U. BLOCK WALL
- ② RETAINING WALL DESIGN BY PROJECT ARCHITECT

#### GENERAL NOTES:

- 1) NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- 2) NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.



TIJERAS AVE. N.E.

#### DRAINAGE CERTIFICATION:

I, LEVI J. VALDEZ, N.M.P.E. NO. 5693, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12-16-02. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR RELEASE OF FINANCIAL GUARANTEE.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSES.

LEVI J. VALDEZ, N.M.P.E. NO. 5693

12-16-02

DATE

NOTE: "AS-BUILT" ELEVATIONS SHOWN THUS (60.75).

NOTE: REMOVE REQUIRED CURB CUT, SIDEWALK, CURB & BUTTER, AND REPLACE WITH NEW PROPOSED CURB CUT, SIDEWALK, CURB & BUTTER PER C.A.A. STANDARDS.

ARCHITECT TO PROVIDE A ROOF CUTTER DESIGN TO DISCHARGE FLUIDS TO DRAINAGE(S)

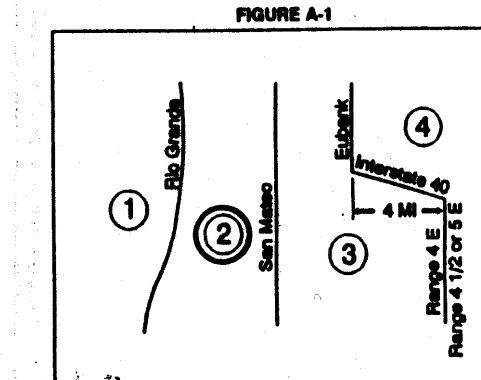
Zone	Treatment			
	A	B	C	D
1	1.00 (0.00, 2.04)	2.00 (0.00, 3.78)	2.57 (0.07, 1.48)	4.37 (1.88, 2.88)
2	1.00 (0.00, 2.04)	2.00 (0.00, 3.78)	3.14 (0.00, 1.71)	4.70 (1.86, 3.14)
3	1.00 (0.00, 2.04)	2.00 (0.00, 3.78)	2.46 (0.78, 2.00)	5.02 (2.04, 3.28)
4	2.00 (0.00, 3.97)	2.00 (0.00, 3.78)	3.75 (1.00, 2.38)	5.35 (2.17, 3.57)

Zone	Intensity (1-HR, 10-YR)
1	4.70 (1.84, 3.14)
2	5.00 (2.04, 3.41)
3	5.35 (2.21, 3.68)
4	5.81 (2.54, 3.83)

#### A-1 PRECIPITATION ZONES

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40; and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40; and East of the East boundary of Range 4 East, South of Interstate 40



OPM SECTION 22.2 - HYDROLOGY  
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Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundcover and infiltration capacity. Croplands. Unfertilized arroyos.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil compacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (asphalt) landscaping. Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

Most watersheds contain a mix of land treatments. To determine proportional treatments, measure respective subareas. In lieu of specific measurement for treatment D, the total percentages in TABLE A-3 may be employed.

#### DRAINAGE COMMENTS:

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED ON THE SOUTH SIDE OF DR. MARTIN LUTHER KING, JR. AVENUE N.E. AND TWO (2) BLOCKS EAST OF INTERSTATE HIGHWAY NO. 25, IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NE MEXICO, (CITY ZONE ATLAS MAP "K-15-Z").

THE SUBJECT SITE IS PRESENTLY A VACANT INFILL PROPERTY; THE PROPOSED PLAN AS SHOWN HEREON, IS TO CONSTRUCT EIGHT (8) TOWNHOME UNITS ON SAID PROPERTY TOGETHER WITH ASSOCIATED IMPROVEMENTS THEREON.

THE SUBJECT SITE, 1.) DOES NOT LIE WITHIN A DESIGNATED FLOODPLAIN, NOR DOES IT HAVE DOWNSTREAM FLOODING CONDITIONS (RE: F.E.M.A. PANEL 334 OF 825), 2.) DOES ACCEPT VERY MINIMAL OFFSITE FLOWS THROUGH A 4" P.V.C. DRAINPIPE IN WALL THAT ALONG THE EAST PROPERTY LINE OF THIS PROPERTY (THESE OFFSITE FLOWS WILL CONTINUE TO BE ACCEPTED AND PASSED THROUGH THE SUBJECT PROPERTY), 3.) DOES NOT CONTRIBUTE TO THE OFFSITE FLOWS OF ADJACENT PROPERTIES, 4.) DOES NOT LIE ADJACENT TO A NATURAL OR ARTIFICIAL WATER COURSE, 5.) IS ALLOWED FREE DISCHARGE OF DEVELOPED FLOWS INTO THE ADJACENT STREET RIGHT-OF-WAYS, (THESE FLOWS DO NOT AND WILL NOT HAVE AN ADVERSE IMPACT TO DOWSTREAM PROPERTIES).

#### CALCULATIONS:

PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

SITE AREA : 0.43 ACRE

PRECIPITATION ZONE : TWO (2)

PEAK INTENSITY : IN/HR. AT T<sub>0</sub> = TWELVE (12) MINUTES, 100-YR. - 6 HR. = 5.05

LAND TREATMENT METHOD FOR THE CALCULATION OF "Q<sub>p</sub>", TABLES A-8 & A-9.

LAND TREATMENT FACTORS, TABLE A-4

#### EXISTING CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.43	X	3.14 = 1.35
D	0.00	X	4.70 = 0.00

"Q<sub>p</sub>" = 1.35 CFS

#### PROPOSED DEVELOPED CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.18	X	3.14 = 0.57
D	0.25	X	4.70 = 1.18

"Q<sub>p</sub>" = 1.75 CFS

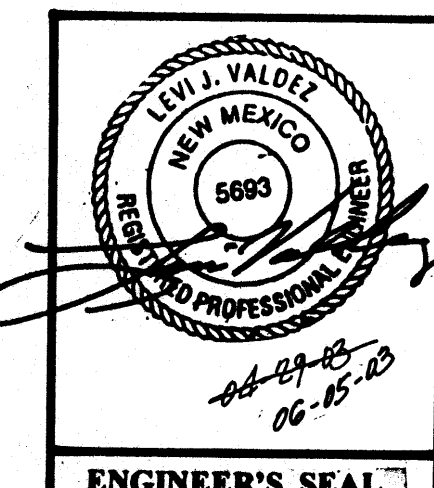
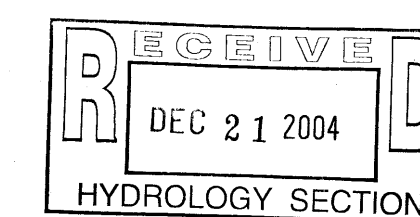
INCREASE = 0.40 CFS

#### LEGAL DESCRIPTION:

PRESENTLY TRACT "A", BLOCK 28, BROWNELL & LAIL'S HIGHLAND ADDITION, ALBUQUERQUE, NEW MEXICO, ( TO BE REPLATTED INTO 8 TOWNHOUSE LOTS).

#### BENCHMARK REFERENCE:

ACS STATION "4-K15" LOCATED AT THE INTERSECTION OF CENTRAL AVENUE AND OAK STREET N.E.; ELEVATION = 5045.07, (PROJECT T.B.M. AS SHOWN ON THE PLAN HEREON).



A PROPOSED GRADING & DRAINAGE PLAN  
FOR  
DMLK TOWNHOMES  
( FIRST CHOICE CUSTOM BUILDERS )  
ALBUQUERQUE, NEW MEXICO  
APRIL, 2003