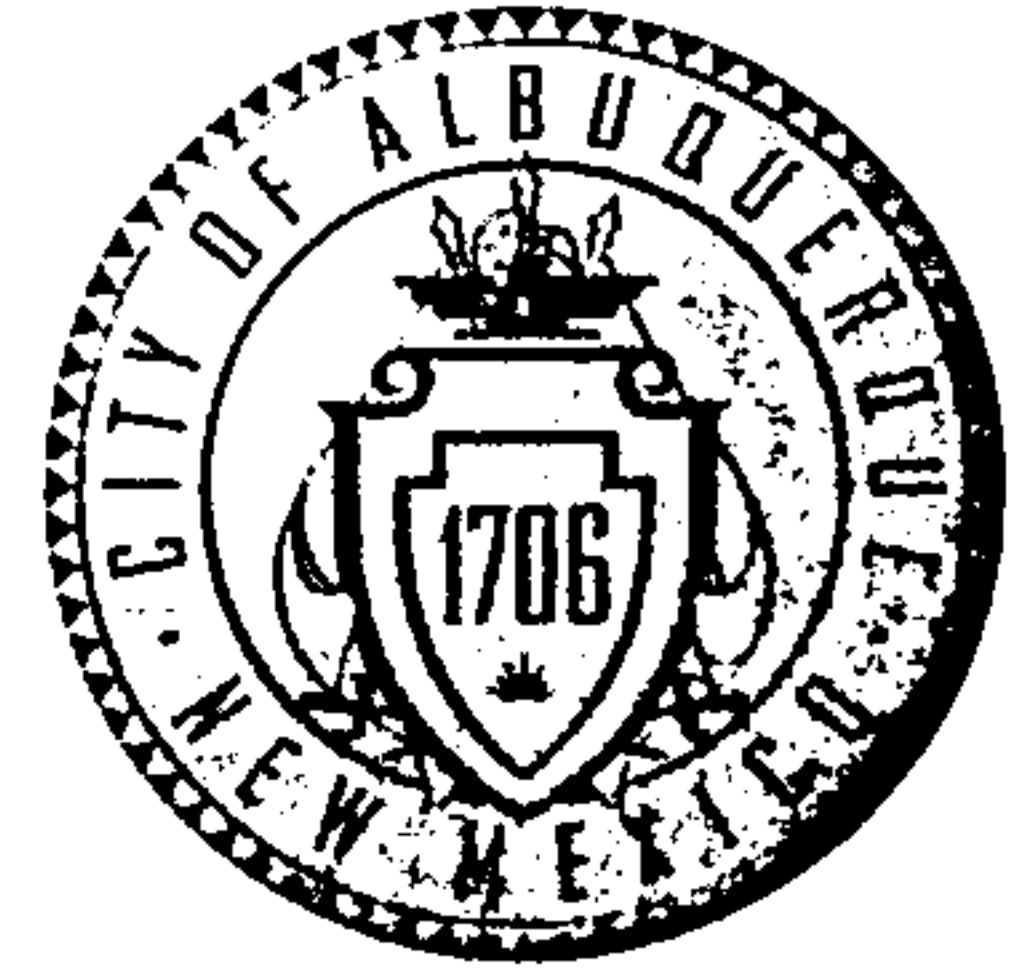


CITY OF ALBUQUERQUE



May 8, 2009

Knight Seavey, R.A.
Insite Works
57 Rock Point Pl. NE
Albuquerque, NM 87122

Re: Coal Street Townhomes, 1607 Coal Street SE, Traffic Circulation Layout
Architect's Stamp dated 05-01-09 (K15-D092)

Dear Mr. Seavey,

The TCL submittal received 05-04-09 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Albuquerque

NM 87103

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: 1607 COAL ZONE MAP: K-152
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 9-AZ BLK 56 TERRACE ADDN
CITY ADDRESS: 1607 COAL AVE. SE

ENGINEERING FIRM: THE DESIGN GROUP CONTACT: DAVE AUBE
ADDRESS: 202 CENTRAL SE PHONE: 242-6880
CITY, STATE: ASQ., NM ZIP CODE: 87102

OWNER: SEAVEY FAMILY LTD. PARTNERSHIP CONTACT: K. SEAVEY
ADDRESS: 57 ROCK POINT PL NE PHONE: 991-5000
CITY, STATE: ASQ., NM ZIP CODE: 87122

ARCHITECT: INSITE WORKS CONTACT: K. SEAVEY
ADDRESS: 57 ROCK POINT PL NE PHONE: 991-5000
CITY, STATE: ASQ., NM ZIP CODE: 87122

SURVEYOR: PRECISION SURVEY CONTACT: LARRY METERANO
ADDRESS: 8500-A JEFFERSON NE PHONE: 856-5700
CITY, STATE: ASQ., NM ZIP CODE: 87113

CONTRACTOR: M1 CONSTRUCTION / CONTACT: MARK GAN
ADDRESS: PO BOX 27746 PHONE: 243-6622
CITY, STATE: ASQ., NM ZIP CODE: 87125

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

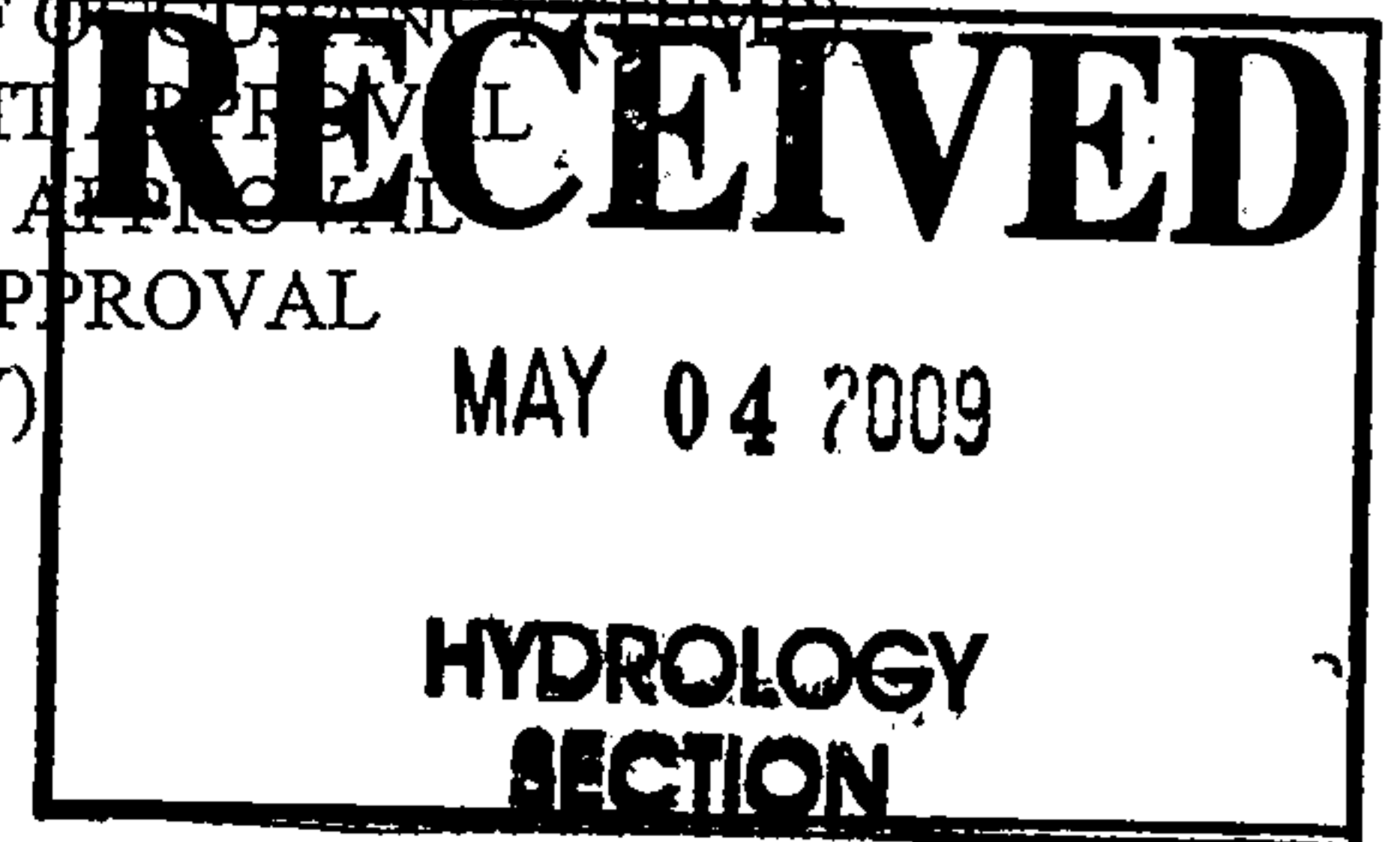
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 4/30/09 BY: KNIGHT SEAVEY

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





Lead Ave SE

Metro, Kristal D.

From: Dourte, Richard H.
Sent: Wednesday, October 20, 2010 9:35 AM
To: Metro, Kristal D.
Subject: FW: 1607 Coal - New Construction - Drivepad Integration

Kristal,

Please get with me on this.

Richard

Check alley
 -is it
 previously
 paved?

From: Garcia, Savina G [mailto:Savina.Garcia@wilsonco.com]
Sent: Wednesday, October 20, 2010 8:00 AM
To: 'Knight Seavey'
Cc: Sholtis, Diane; Dourte, Richard H.; 'patrick@aulinc.net'
Subject: RE: 1607 Coal - New Construction - Drivepad Integration

Good morning Knight,
 Sorry about the confusion with the plans and scaling. My intern printed them at a non-standard scale.
 The scalable plans are ready for you at our front desk.

Due to your timeline and need for access, if Richard Dourte and Kristal Metro are ok with your temporary asphalt proposal it seems reasonable to me. Our Lead & Coal project will construct the curb & gutter and sidewalk in place as per the design plans. You will design your driveway with this new scenario and we can review. We will leave landscaping out of this vicinity. You will come in and complete the construction of the remaining portion of the drivepad (as the sidewalk is part of that driveway).

Please give me a call or email if you have any questions or need any additional information.

Thank you,
 Savina

From: Knight Seavey [mailto:knight@insiteworks.com]
Sent: Tuesday, October 19, 2010 9:42 PM
To: Garcia, Savina G; patrick@aulinc.net
Cc: 'dsholtis@cabq.gov'; Dourte, Richard H.
Subject: RE: 1607 Coal - New Construction - Drivepad Integration

Savina

I picked up the reduction plan/profile info today. I also requested the landscape sheet, which looks great by the way. The drawings are not to scale and there are no known dimensions or sufficient reference, so integrating the design would only be guesswork on my part.

Unfortunately your solution, stated below, does not align with project completion and occupancy. The project will be done in early December with immediate occupancy to follow. We have a garage and 2 parking spaces off of Coal, so waiting until mid-February is not a viable or reasonable option. That, of course assumes the weather is cooperative this winter and everything runs smoothly.

I don't know how many new construction projects you are contending with on the Lead/Coal effort... but I'll guess that I have the only one with a new drive pad that is scheduled to go in just as the project starts! We were going to install the drive pad this week, but that would clearly be a fool's mission given the

10/20/2010

revelations of last week's neighborhood Lead/Coal presentation.

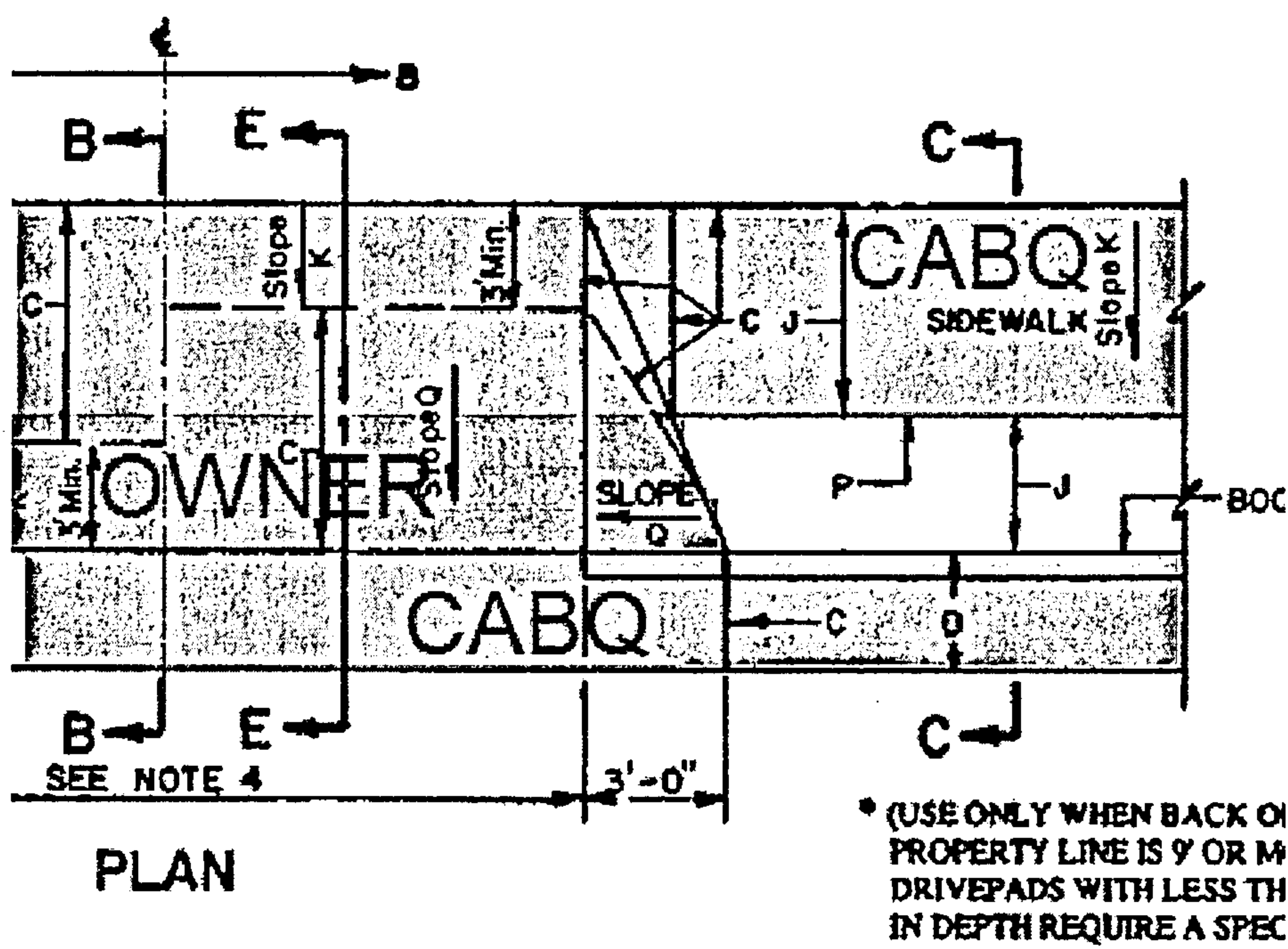
What I propose would not compromise the City's interests in any way, but rather integrate cleanly with the new infrastructure.

The following work by my team at my expense...

- [1] Demo curb and gutter immediately (it is pulverized at this point anyway)
- [2] Install temporary asphalt for **interim access** (4 months)

Followed by CABQ work to include...

- [3] Incorporate this drive pad in your CD's
- [4] Install of driveway profile in lieu of curb/gutter configuration and install sidewalk as currently designed
- [5] Make necessary landscape adjustments (actually a savings in plant material)
- [6] My team can then come back and complete the drive pad infill per COA 2425 between gutter and sidewalk. Naturally I would prefer CABQ just do the whole drive pad like the many others already in place, but you will note I have not requested that, and will do the infill after CABQ is out... or I can pay the Contractor directly for the 'extra' 1.75 cu yds required to complete the drive pad.



COA DETAIL 2425 [partial]

I'm simply requesting that the concrete you would be placing anyway be warped to meet the needs of the std detail driveway, at the grades that you are uniquely privy to. This solution brings the much needed coordination and will result in a better end product for all parties.

I realize this is a somewhat trivial matter given the scope of the whole project; but an essential and important detail in what has been a most challenging infill project. (I was delayed some 8 months to take an unplanned detour through City Council already!) As such your continued cooperation is sought and valued. I remain available to discuss anytime.

Knight Seavey AIA LEED ap
Insite|Works 991.5000 c

From: Garcia, Savina G [mailto:Savina.Garcia@wilsonco.com]
Sent: Tuesday, October 19, 2010 1:37 PM

10/20/2010

To: Knight Seavey
Cc: 'dsholtis@cabq.gov'
Subject: RE: 1607 Coal

Hello Knight,

I spoke with Kristal regarding your project. She confirmed approval of the location of the driveway. You should review the design of your driveway and the grading near the right of way line as compared to the proposed improvements of the Lead & Coal design. I have available at my office copies of the plan and profile sheet for your area along with cross sections. You can come by and pick them up at your convenience. You would need to integrate the new sidewalk into your design. The driveway would be per COA Standard Drawing 2425 in the case of the sidewalk being offset from the back of curb & gutter.

For construction, I would propose that you wait until our contractor has installed the curb & gutter, and the sidewalk. You can then come in and cut the curb and build your driveway. This would ensure we both have in place what was designed, and save us both from building anything twice. At this time, the contractor's schedule indicates that the curb would be placed in February 2011.

Please review this information and let me know if you have any questions or require any additional information. Talk to you soon.

Thank you,
 Savina

From: Knight Seavey [mailto:knight@insiteworks.com]
Sent: Monday, October 18, 2010 4:48 PM
To: Garcia, Savina G
Cc: 'pattiw@cooneywatson.com'; 'dsholtis@cabq.gov'
Subject: RE: 1607 Coal

Savina

This was approved in the course of securing my building permit. My permit # is **201091749**

We are about 50% complete with the construction and intend to complete everything by Dec 15th... one reason why I have wasted little time to get the info to you!

This was originally reviewed and approved in 2009 by Kristal Metro.
 Kristal's original approval letter is attached.

From: Garcia, Savina G [mailto:Savina.Garcia@wilsonco.com]
Sent: Monday, October 18, 2010 3:58 PM
To: Garcia, Savina G; Knight Seavey
Cc: 'pattiw@cooneywatson.com'; 'dsholtis@cabq.gov'
Subject: RE: 1607 Coal

Hello Knight,

The first step will be for you to get your driveway location and access point approved by the City over at the Planning Department. Once you have that we can determine the easiest way to construct what we need to build and what you need to build.

Please give me a call or email as soon as you have an approval. Talk to you soon!

Thank you,
 Savina

From: Garcia, Savina G
Sent: Sunday, October 17, 2010 12:30 PM

10/20/2010

To: 'Knight Seavey'
Cc: 'pattiw@cooneywatson.com'; 'dsholtis@cabq.gov';
Subject: RE: 1607 Coal

Hello Knight,

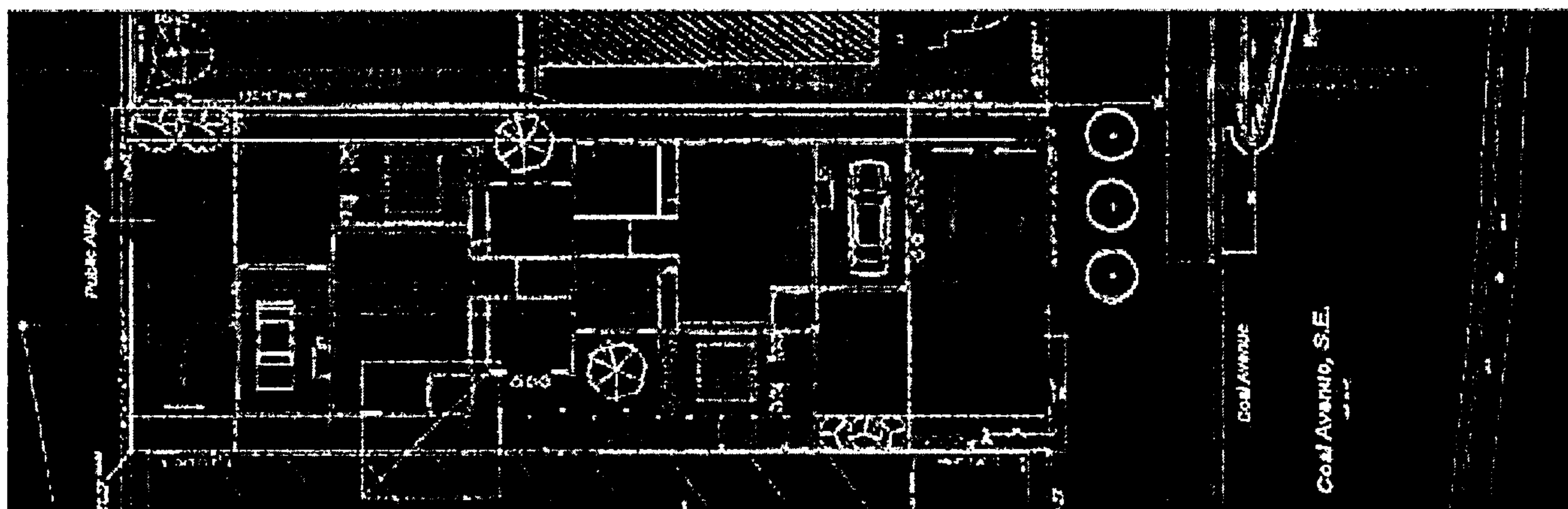
Thank you for attending and speaking with us at the Lead & Coal Public Information Meeting. I am in the process of reviewing your plans and information with the City and will be in contact very soon. We would like to coordinate with you and your proposed improvements as well.

Hope you have a great weekend and I'll talk to you soon.

Thank you,
 Savina

From: Knight Seavey [mailto:knight@insiteworks.com]
Sent: Wednesday, October 13, 2010 1:26 PM
To: Garcia, Savina G
Cc: pattiw@cooneywatson.com; dsholtis@cabq.gov
Subject: 1607 Coal

It was good to meet you today Savina. Looks like a nice opportunity to coordinate our construction w/ the COAL/LEAD cap improvement project prior to the start of the project this November.



I have attached a DWG file for my site plan at 1607 Coal. Just started framing this week. We will hold off drive pad construction so that we can coordinate. Since the plans showed for new sidewalk going through our frontage I am hopeful that you can have the CABQ modify and approve a drivable entry in lieu of curb/sidewalk at the west side of our site. We can pour the balance of the apron unless this can be fully integrated in the work that is about to happen.

Most important, is coordination and getting the grades right. I still have the ability to move grades on site a bit so whatever you suggest will work, I'm quite sure. Please note that the driveway is recycled concrete base and crusher fine finish.

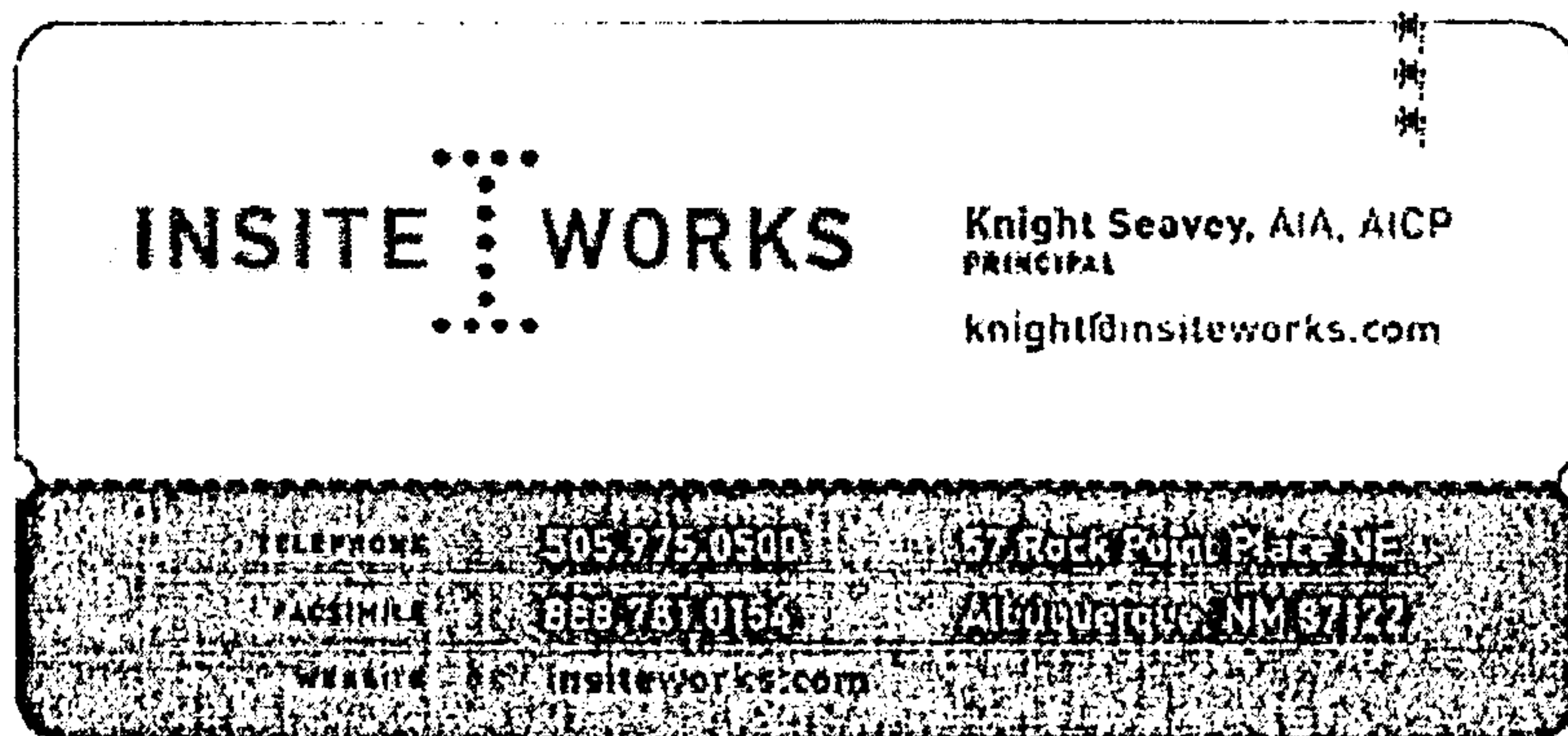
The landscape concept looks great! Once again, I'm concerned on the coordination... and as such I would greatly appreciate the # "49" and "50" construction drawing sheets that show that. DWG would be preferred so that I can drop that in my drawing. Thanks kindly.

And finally, a question...

Shall we hold off on placing a concrete collar around the newly set water meter @ the sidewalk?

My card below... and my cell phone is 991.5000

10/20/2010



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DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

11-15/10092

PROJECT TITLE: 1607 Coal Avenue

DRB #: _____

EPC#: _____

ZONE MAP/DRG. FILE #:K-14-Z

WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 9-A2 Block 56 Terrace Addn

CITY ADDRESS: 1607 Coal Avenue SE

ENGINEERING FIRM: Design Group

ADDRESS: 202 Central Avenue Suite 200

CITY, STATE: Albuquerque, NM

CONTACT: David Aube

PHONE: 242-6880 x 143

ZIP CODE: 87102

OWNER: Seavey Family Ltd. Partnership

ADDRESS: 57 Rock Point PI NE

CITY, STATE: Albuquerque, NM

CONTACT: K. Seavey

PHONE: 991-5000

ZIP CODE: 87122

ARCHITECT: Insite Works

ADDRESS: 57 Rock Point PI NE

CITY, STATE: Albuquerque, NM

CONTACT: K Seavey

PHONE: 991-5000

ZIP CODE: 87122

SURVEYOR: Precision Surveys

ADDRESS: 8500- A Jefferson NE

CITY, STATE: Albuquerque, NM

CONTACT: Larry Medrano

PHONE: 856-5700

ZIP CODE: 87113

CONTRACTOR: MI Construction

ADDRESS: P O Box 27746

CITY, STATE: Albuquerque, NM

CONTACT: Mark Gay

PHONE: 243-6622

ZIP CODE: 87125

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

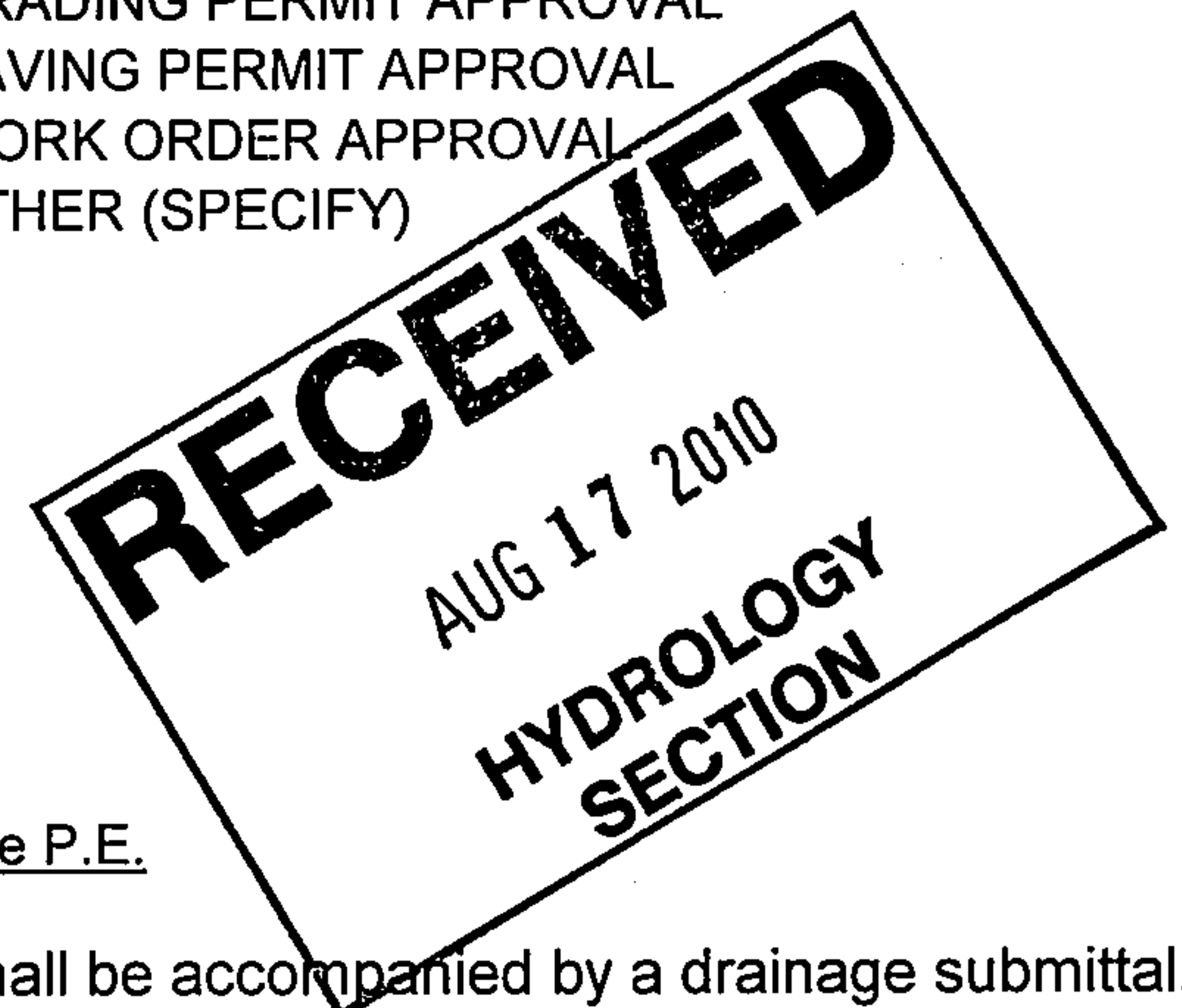
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 8/17/10

BY: David Aube P.E.



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



September 15, 2010

David A. Aube, P.E.
The Design Group
202 Central Ave SE, Suite 200
Albuquerque, NM 87102

Re: 1607 Coal Ave SE Grading and Drainage Plan
Engineer's Stamp dated 9-7-10 (K15/D092)

Dear Mr. Aube,

Based upon the information provided in your submittal received 9-8-10, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

PO Box 1293

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

If you have any questions, you can contact me at 924-3695.

NM 87103

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

www.cabq.gov

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: 1607 Coal Avenue

DRB #: _____

EPC#: _____

ZONE MAP/DRG. FILE #: K-15/D092

WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 9-A2 Block 56 Terrace Addn

CITY ADDRESS: 1607 Coal Avenue SE

ENGINEERING FIRM: Design Group

ADDRESS: 202 Central Avenue Suite 200

CITY, STATE: Albuquerque, NM

CONTACT: David Aube

PHONE: 242-6880

ZIP CODE: 87102

OWNER: Seavey Family Ltd. Partnership

ADDRESS: 57 Rock Point PI NE

CITY, STATE: Albuquerque, NM

CONTACT: K. Seavey

PHONE: 991-5000

ZIP CODE: 87122

ARCHITECT: Insite Works

ADDRESS: 57 Rock Point PI NE

CITY, STATE: Albuquerque, NM

CONTACT: K Seavey

PHONE: 991-5000

ZIP CODE: 87122

SURVEYOR: Precision Surveys

ADDRESS: 8500- A Jefferson NE

CITY, STATE: Albuquerque, NM

CONTACT: Larry Medrano

PHONE: 856-5700

ZIP CODE: 87113

CONTRACTOR: MI Construction

ADDRESS: P O Box 27746

CITY, STATE: Albuquerque, NM

CONTACT: Mark Gay

PHONE: 243-6622

ZIP CODE: 87125

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- ☐ DRAINAGE REPORT
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- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

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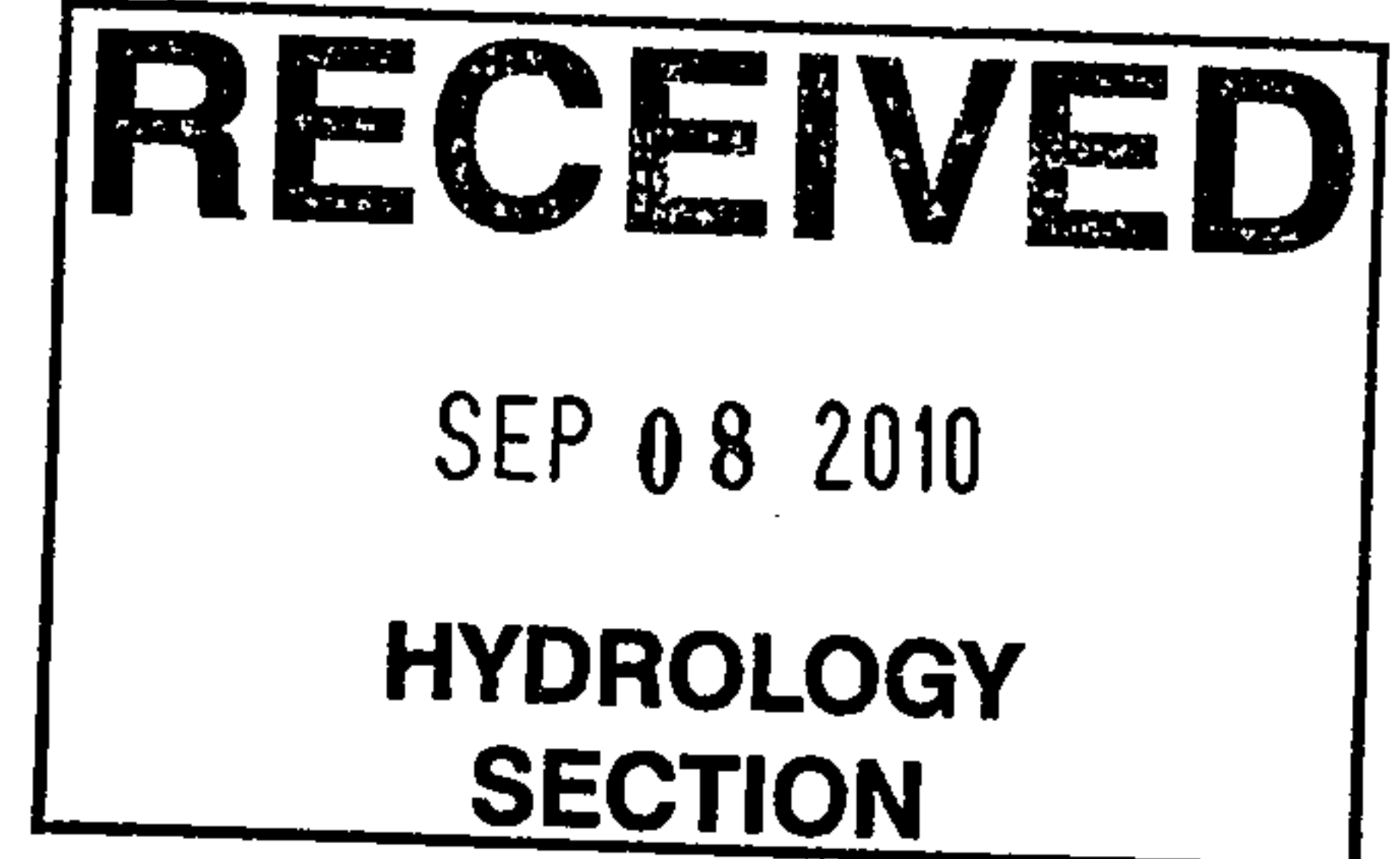
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

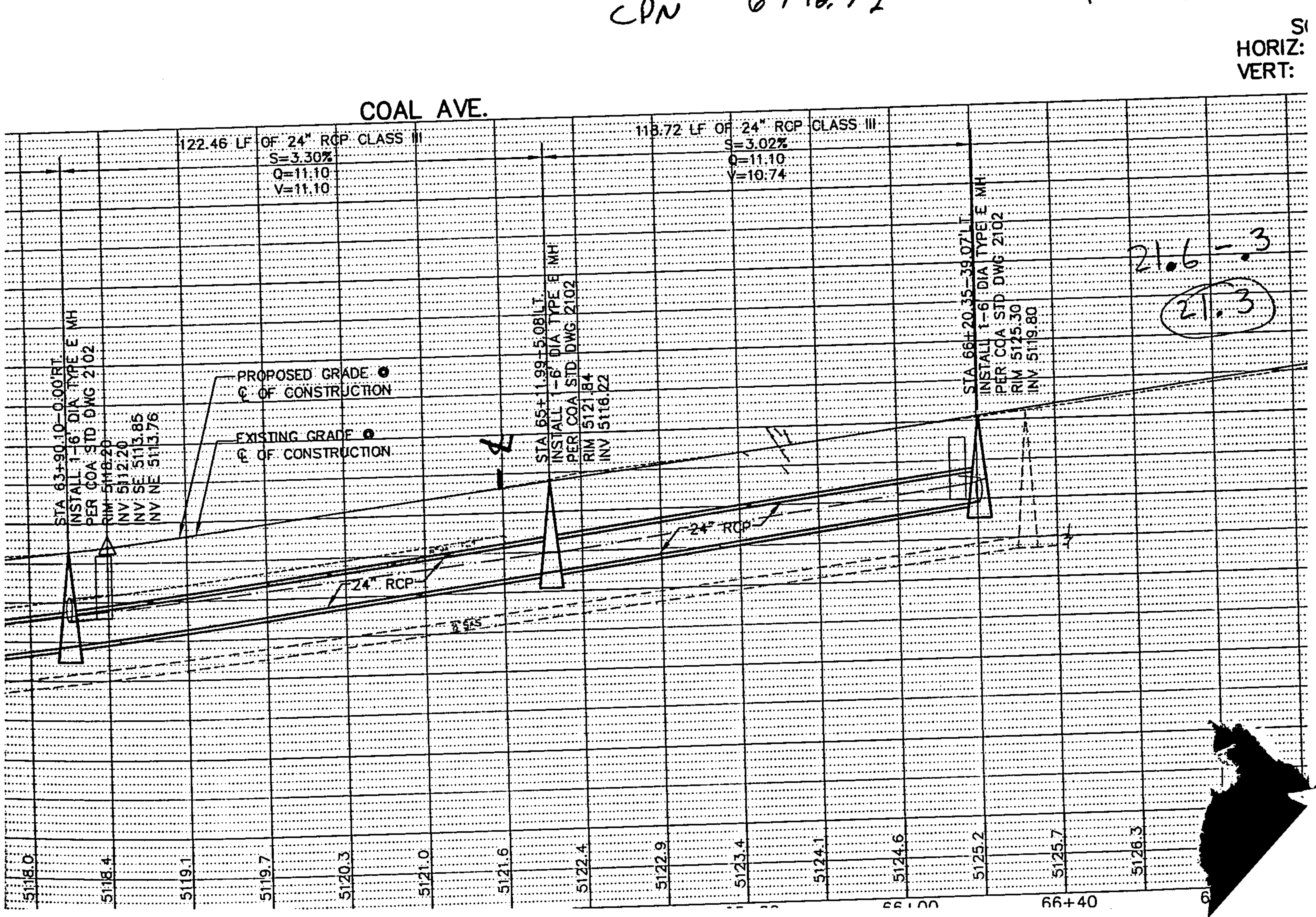
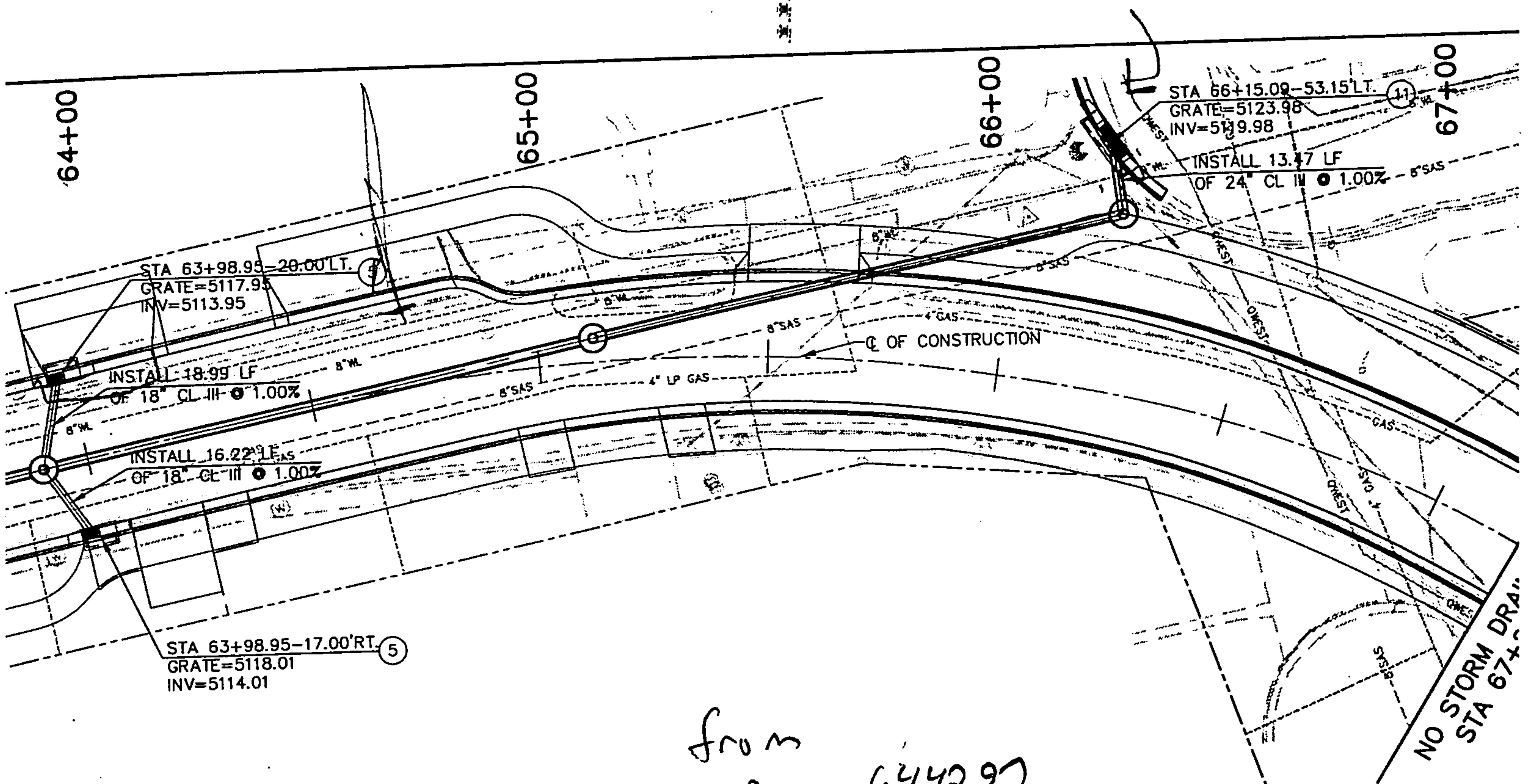
DATE SUBMITTED: 9/8/10

BY: David Aube P.E.



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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



August 25, 2010

David A. Aube, P.E.
The Design Group
202 Central Ave SE, Suite 200
Albuquerque, NM 87102

Re: 1607 Coal Ave SE Grading and Drainage Plan
Engineer's Stamp dated 8-9-10 (K15/D092)

Dear Mr. Aube,

Based upon the information provided in your submittal received 8-17-10, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

NM 87103

- A more substantial water block is required along Coal Ave. The grade at the property line should be at least as high as the existing back of sidewalk grade and the north end of the drive pad should be at least 6 inches above the flow line in Coal Ave.
- Provide the direction of roof flows.
- For your information, CPN 6442.92 by Wilson & Company, has proposed moving the curb about 3 feet north in the vicinity of this project.

If you have any questions, you can contact me at 924-3695.

www.cabq.gov

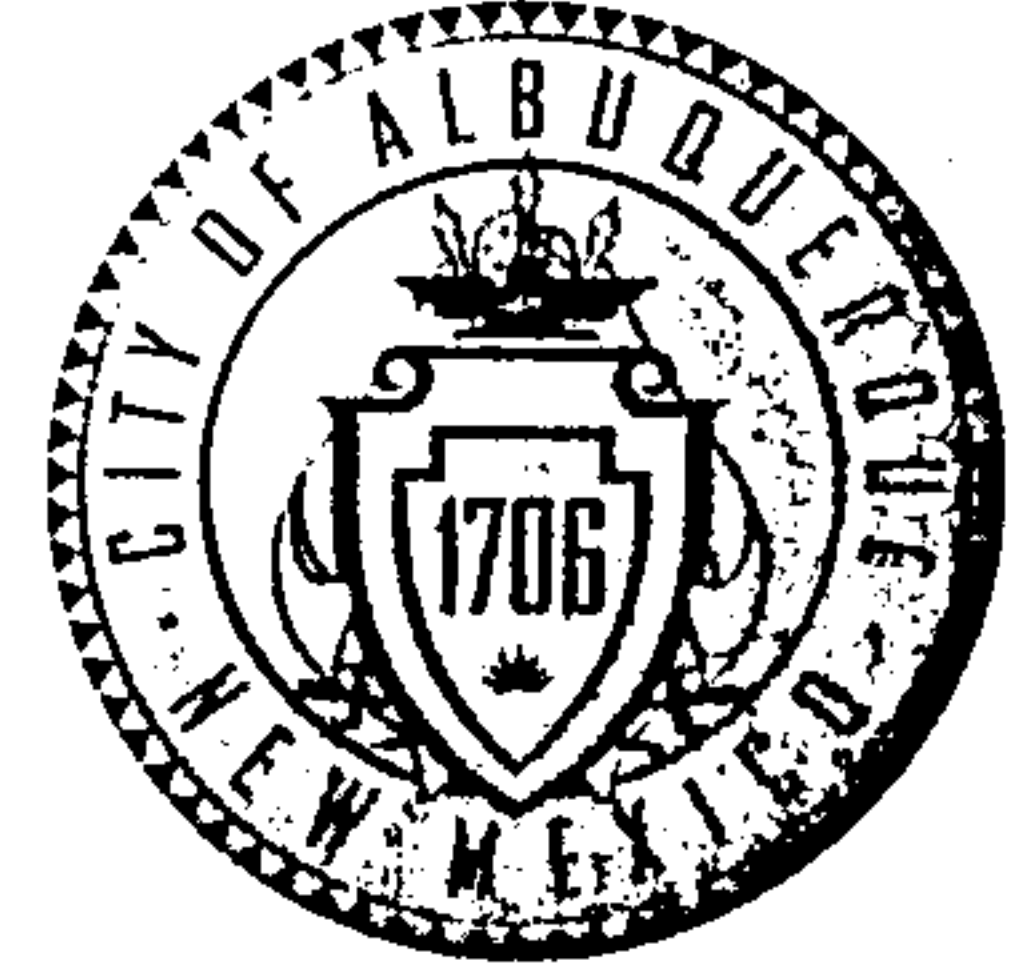
Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

CITY OF ALBUQUERQUE

ALBUQUERQUE



May 12, 2009

David A. Aube, P.E.
The Design Group
202 Central Ave SE, Suite 200
Albuquerque, NM 87102

Re: Coal Avenue Townhomes Grading and Drainage Plan
Engineer's Stamp dated 4-30-09 (K15/D092)

Dear Mr. Aube,

Based upon the information provided in your submittal received 4-30-09, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: 1607 Coal Avenue
DRB #: _____

EPC#: _____

ZONE MAP/DRG. FILE # K-147
WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 9-A2 Block 56 Terrace Addn
CITY ADDRESS: 1607 Coal Avenue SE

ENGINEERING FIRM: Design Group
ADDRESS: 202 Central Avenue Suite 200
CITY, STATE: Albuquerque, NM

OWNER: Seavey Family Ltd. Partnership
ADDRESS: 57 Rock Point PI NE
CITY, STATE: Albuquerque, NM

ARCHITECT: Insite Works
ADDRESS: 57 Rock Point PI NE
CITY, STATE: Albuquerque, NM

SURVEYOR: Precision Surveys
ADDRESS: 8500- A Jefferson NE
CITY, STATE: Albuquerque, NM

CONTRACTOR: MI Construction
ADDRESS: P O Box 27746
CITY, STATE: Albuquerque, NM

CONTACT: David Aube
PHONE: 242-6880
ZIP CODE: 87102

CONTACT: K. Seavey
PHONE: 991-5000
ZIP CODE: 87122

CONTACT: K Seavey
PHONE: 991-5000
ZIP CODE: 87122

CONTACT: Larry Medrano
PHONE: 856-5700
ZIP CODE: 87113

CONTACT: Mark Gay
PHONE: 243-6622
ZIP CODE: 87125

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

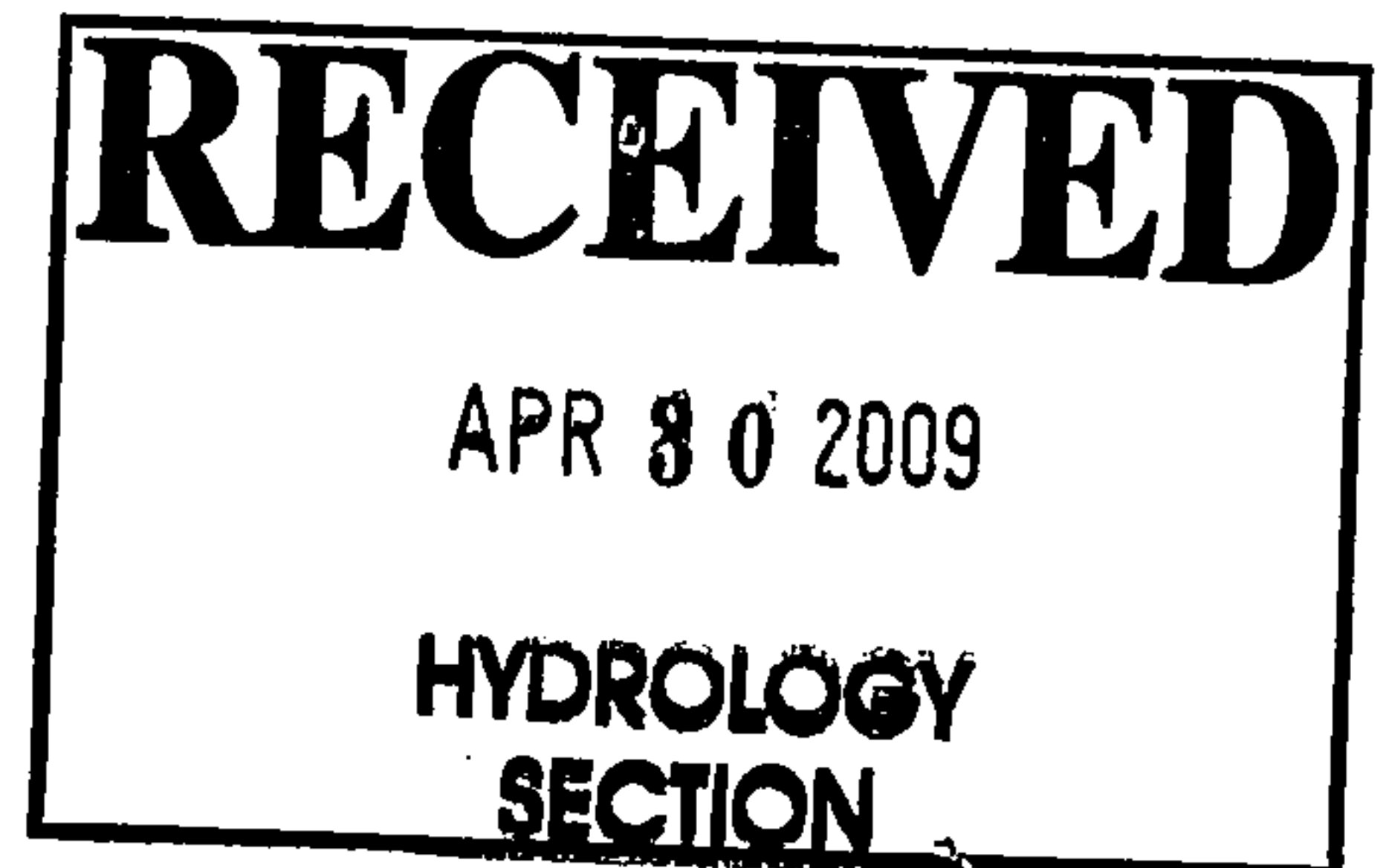
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 4-30-09

BY: David Aube P.E.



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

The map shows a grid of streets and lots. The streets are labeled as follows:

- ASH**: Runs vertically on the left side.
- PINE**: Runs vertically in the middle-left.
- UNIVERSITY**: Runs vertically in the center.
- MESA**: Runs vertically on the right side.
- GOLD**: Runs horizontally at the top right.
- SILVER**: Runs horizontally below GOLD.
- LEAD**: Runs horizontally below SILVER.
- COAL**: Runs horizontally at the bottom right.
- TERRACE**: Runs vertically on the far right.

Lot numbers are scattered throughout the map, often grouped in rectangular blocks. A specific lot, located between Ash and Pine streets, between University and MESA streets, and between Silver and Lead streets, is highlighted with a thick black border. This lot is numbered 1607.

Other notable features include a large triangular area at the bottom left labeled 'HAZELDINE' and a large rectangular area at the bottom right labeled 'BUENA VISTA'.



