CITY OF ALBUQUERQUE



June 10, 2016

Tafazzul Hussain AFRA Construction and Design 2501 Yale Blvd., SE Albuquerque, NM

Re: M&M Smoke Shop

1800 Central SE

Traffic Circulation Layout

Engineer's/Architect's Stamp 6-10-16 (K15-D100)

Dear Mr. Hussain,

The TCL submittal received 6-10-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed <u>Drainage and Transportation Information Sheet</u> to front counter personnel for log in and evaluation by Transportation.

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Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

New Mexico 87103

Sincerely,

www.cabq.gov

Racquel M. Michel, P.E.

Traffic Engineer, Planning Dept. Development Review Services

\gs via: email C: CO Clerk, File



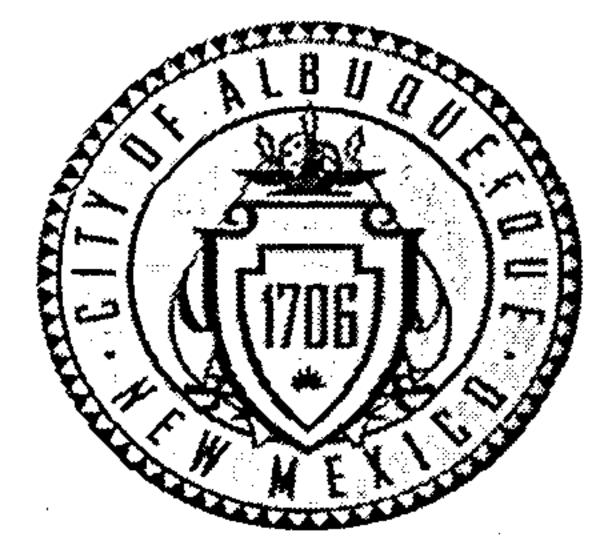
City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (RIEV 1/2016)

Project Title: Suilding Per DRB#: EPC#: EPC#: EPC#: City Address: 1800 CENTRAL A	
DRB#: EPC#:	
Legal Description: LOTO, BLOCK 105	* * * * * * * * * * * * * * * * * * *
	TERRACE ANDITION
City Address: 1800 CENTRAL A	N+ C+ 1212
	<u> </u>
Applicant: MAHER HUAZI	Contact:
Address: 1800 CENTEAL ANG	
Phone#: 315-8422 Fax#:	E-mail:
Other Contact: AFRA CONSTRUCTION	CTONILL Contact: 14455 DIN
Address: 2501 YALE BUXD =	=3-41TE 102-101-101-101-101-101-101-101-101-101-
Phone#: 242.1745 Fax#: 24	2-1727 E-mail: HUSSALM
	afradesia
Check all that Apply:	
DEPARTMENT:	TVDE OF ADDDOXLAR // CODDS / NASS CONSTRU
HYDROLOGY/ DRAINAGE	TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
XTRAFFIC/TRANSPORTATION	BUILDING PERMIT APPROVAL
MS4/ EROSION & SEDIMENT CONTROL	CERTIFICATE OF OCCUPANCY
TYPE OF SUBMITTAL:	GRADING/ESC PERMIT APPROVAL
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-	PRELIMINARY PLAT APPROVAL SITE DI ANI EOD SUDID ADDROMAT
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CLOMR/LOMR	SIA/ RELEASE OF FINANCIAL GUARANTEE
	FOUNDATION PERMIT APPROVAL
TRAFFIC CIRCULATION LAYOUT (TCL)	SO-19 APPROVAL
TRAFFIC IMPACT STUDY (TIS)	PAVING PERMIT APPROVAL
NEIGHBORHOOD IMPACT ASSESMENT (NIA)	GRADING/PAD CERTIFICATION [] [] [] [] [] [] [] [] [] [
	WORK ORDER APPROVAL
EROSION & SEDIMENT CONTROL PLAN (ESC)	CLOMR/LOMR 1 0 2016
OTHER (SPECIFY)	DDE DECICAL ACTION
	PRE-DESIGN MEETING? AND SEVELOPMENT SECTION
	OTHER (SPECIFY)
S THIS A RESUBMITTAL?: X Yes No	
69/0	
DATE SUBMITTED: 06-88 10 By:	FILL SAGENT



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

		K15D
Project Title: M&M SMOKE SH	IOP ENCLOSED PATIO Build	ling Permit #:201592350 Hydrology File #:
DRB#: NA	EPC#: NA	Work Order#: NA
Legal Description: LOT 6, BLC	OCK 65, TERRACE ADDITION	N
City Address: 1800 CENTRAL A	VE. SE, ALBUQUERQUÉ, 8	37106
Applicant: MAHER HIJAZI		Contact: ——
Address: 1800 CENTRAL AVE.	SE	
Phone#: (505) 315 - 8422	· · · · · · · · · · · · · · · · · · ·	E-mail:
Other Contact: AFRA CONSTRU	JCTION & DESIGN	Contact: TAFAZZUL HUSSAIN
Address: 2501 YALE BLVD SE_		
Phone#: (505) 242 - 1745	Fax#: (505) 242-1737_	E-mail: thussain@afradesign.com_
Check all that Apply: DEPARTMENT: HYDROLOGY/ DRAINAGE X TRAFFIC/ TRANSPORTATIO MS4/ EROSION & SEDIMENT TYPE OF SUBMITTAL: ENGINEER/ARCHITECT CER	T CONTROL SINGLE STATE OF THE S	PE OF APPROVAL/ACCEPTANCE SOUGHT: BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY PRELIMINARY PLAT APPROVAL SITE PLAN FOR SUB'D APPROVAL
CONCEPTUAL G & D PLAN GRADING PLAN DRAINAGE MASTER PLAN DRAINAGE REPORT CLOMR/LOMR TRAFFIC CIRCULATION LAY TRAFFIC IMPACT STUDY (T)	OUTER TET VIEW	SITE PLAN FOR BLDG. PERMIT APPROVALFINAL PLAT APPROVALSIA/ RELEASE OF FINANCIAL GUARANTEEFOUNDATION PERMIT APPROVALGRADING PERMIT APPROVALSO-19 APPROVALPAVING PERMIT APPROVALGRADING/ PAD CERTIFICATION
EROSION & SEDIMENT CON OTHER (SPECIFY)	TROL PLAN (ESC.) 3 2013 Result Resu	WORK ORDER APPROVAL CLOMR/LOMR ON PRE-DESIGN MEETING?
IS THIS A RESUBMITTAL?: Y DATE SUBMITTED: _05-25-2016_	B(:	OTHER (SPECIFY)
DA STAFF: ELECTRONIC SUBMITTAL	RECEIVED:	

CITY OF ALBUQUERQUE



June 3, 2016

Tafazzul Hussain AFRA Construction and Design 2501 Yale Blvd., SE Albuquerque, NM

Re:

M&M Smoke Shop 1800 Central SE

Traffic Circulation Layout

Engineer's/Architect's Stamp 5-26-16 (K15-D100)

Dear Mr. Hussain,

Based upon the information provided in your submittal received 5-26-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- 1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks.
- List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
- 3. Please identify all existing buildings, doors, structures, sidewalks, curbs, drive pads, wall and anything that influences the parking and circulation on the site.

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- 4. Please detail and dimension all existing curb cuts and ADA ramps.
- 5. Identify all existing access easements and rights of way width dimensions.
- New Mexico 87103
- 6. Identify the right of way width, medians, curb cuts, and street widths on Central Ave. and University Blvd.
- 7. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." Please call out detail and location of HC signs. Please show this detail.

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- 8. The ADA access aisles shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
- 9. Show all drive aisle widths and radii.
- 10. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
- 11. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.

CITY OF ALBUQUERQUE



- 12. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out detail and location of barrier curb.
- 13. Design delivery vehicle route needs to be shown.
- 14. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval. Trash trucks cannot impede parking spaces.
- 15. Please provide a sight distance exhibit (see the *Development Process Manual*, *Chapter 23, Section 3*). Please show detail from the exit/entrance off of the public alley.
- 16. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
- 17. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing. The curb cut on the south west side of building must be removed and replaced with COA standard curb and gutter.
- 18. It is not permissible for vehicles to back out onto University Blvd. from the parking stalls. Please provide and detail signs and pavement markings stating direction of exit.
- 19. All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
- 20. Please include two copies of the traffic circulation layout at the next submittal.

New Mexico 87103 Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

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PO Box 1293

Albuquerque

Racquel M. Michel, P.E.

Sincerely,

Traffic Engineer, Planning Dept. Development Review Services

\gs via: email C: CO Clerk, File



COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: ____

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

		K/5D100
Project Title: M&M SMOKE SHOP ENCI	LOSED PATIO Bu	ilding Permit #:201592350 Hydrology File #: 🗯
DRB#: NA	•	
Legal Description: LOT 6, BLOCK 65, T		
City Address: 1800 CENTRAL AVE. SE,	ALBUQUERQUE	, 87106
Applicant: MAHER HUAZI		Contact:
Address: 1800 CENTRAL AVE. SE		
Phone#: (505) 315 - 8422	Fax#:	E-mail:
•		
Other Contact: AFRA CONSTRUCTION &	DESIGN	Contact: TAFAZZUL HUSSAIN_
Address: 2501 YALE BLVD SE		
Phone#: (505) 242 - 1745	_ Fax#: (505) 242-1737	7 E-mail: thussain@afradesign.com_
Check all that Apply:		
DEPARTMENT: HYDROLOGY/ DRAINAGE X TRAFFIC/ TRANSPORTATION MS4/ EROSION & SEDIMENT CONTRO		TYPE OF APPROVAL/ACCEPTANCE SOUGHT: X BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY
TYPE OF SUBMITTAL:	_	PRELIMINARY PLAT APPROVAL
ENGINEER/ARCHITECT CERTIFICATIO	·N	SITE PLAN FOR SUB'D APPROVAL
	6 2016	SITE PLAN FOR BLDG. PERMIT APPROVAL FINAL PLAT APPROVAL SIA/ RELEASE OF FINANCIAL GUARANTEE FOUNDATION PERMIT APPROVAL
CLOMR/LOMR	PMENT SECTION _	GRADING PERMIT APPROVAL
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TRAFFIC CIRCULATION LAYOUT (TCL	ر۔	PAVING PERMIT APPROVAL
TRAFFIC IMPACT STUDY (TIS)	-	GRADING/PAD CERTIFICATION
EROSION & SEDIMENT CONTROL PLA	N (ESC)	WORK ORDER APPROVAL
OTHER (SPECIFY)	_	CLOMR/LOMR
		PRE-DESIGN MEETING?
IS THIS A RESUBMITTAL?: Yes X_N	10	OTHER (SPECIFY)
DATE SUBMITTED: 05-25-2016	B(:	These.

2009 N. M. ACCESSIBLE PARKING CHECKLIST

Prepared by: Governor's Commission on Disability (GCD) 491 Old Santa Fe Trail, Santa Fe N.M. 87501 (505) 476-0412 Toll free (877) 696-1470

1. This checklist is based on NMBC 2009, IBC 2009, ANSI 2003, State Statutes (NMSA 1978), 2010 ADA Standards, with best practices shown in italics.

2. The 2010 ADA Standards became effective on March 15, 2012.

Prepared: 12-01-10

Revised: 7-10-13

Do	numbers comply with NMBC Table 1106.1 below?	YES	
•	Total number of parking spaces	7	
•	Total number of car accessible spaces		
•	Total number of van accessible spaces	1	

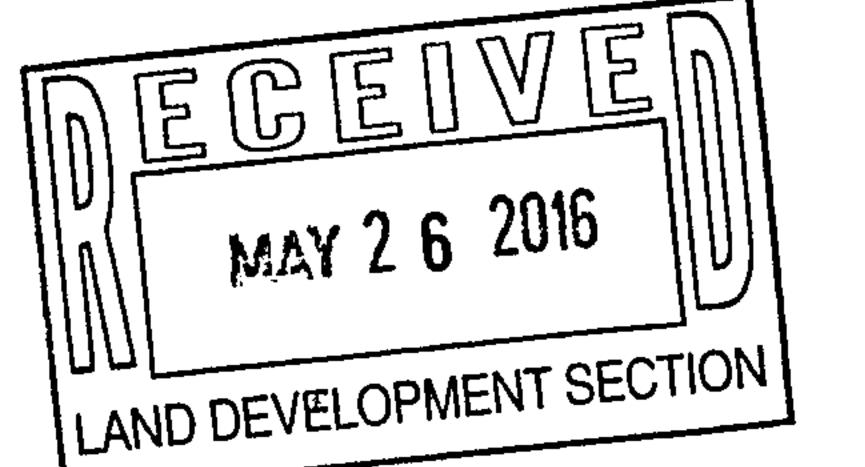
This section does not apply to parking spaces used exclusively for buses, trucks, other delivery vehicles, law enforcement vehicles or vehicular impound and motor pools where lots accessed by the public are provided with an accessible passenger loading zone. (IBC 1106.1)

	MBC TABLE 1106.1 - NUMBER OF ACC NMBC Table 1106 is based on 66-7 ides more accessible parking in smaller lots to	-352.4 NMSA 1978 and	
TOTAL PARKING SPACES	TOTAL REQUIRED ACCESSIBLE PARKING SPACES	NUMBER REQUIRED TO BE VAN ACCESSIBLE (IBC 1106.5 Van Parking)	NOTES
1-25	1	1	
26-35	2		·
36-50	3	1	
51-100	4	1	
101-300	8	2	
301-500	12	2	
501-800	16	3	
801-1,000	20	4	
Over 1,000	20 spaces plus 1 space for every 100 spaces, or fraction thereof, over 1,000	1 of every 6 accessible parking spaces, or fraction thereof	·

SPECIAL OCCUPANCIES (See IBC sections 1106.2 to 1106.4)	NUMBER REQUIRED TO BE ACCESSIBLE	NUMBER REQUIRED TO BE VAN ACCESSIBLE (See IBC 1106.5)	NOTES
Group R-2 NONTRANSIENT (Apartments, dormitorics, vacation timeshare) and Group R-3	For resident parking, provide 2%, but not less than one accessible parking space(s)	1 of every 6 accessible parking spaces, or fraction thereof	
(Adult or child care facilities)	For guest parking, comply with Table 1106.1 above		
Hospital outpatient clinics, for patient and visitor parking	10% accessible spaces, but not less than one	l of every 6 accessible parking spaces, or fraction thereof	•
Rehabilitation facilities and outpatient physical therapy facilities, for patient and visitor parking	20% accessible spaces, but not less than one	l of every 6 accessible parking spaces, or fraction thereof	

CTC	CIDI E DADIZINIC I OCATIONI. ZIDO 1107 ()
CE3	SIBLE PARKING LOCATION (IBC 1106.6)
•	Closest spaces to the accessible entrance / accessible route ACCESSIBLE FOUTE
•	Dispersed among the various types of parking facilities (parking lots, parking garages, and similar)
•	In parking facilities that do not serve a particular building, accessible spaces shall be on the shortest accessible route to accessible
	entrance(s) A
•	Where buildings have multiple accessible entrances with adjacent parking, disperse accessible parking spaces close to entrances
	Exception 1: In multilevel parking structures, van-accessible parking spaces may be on one level A
	Exception 2: Accessible parking shall be permitted to be in different parking facilities if substantially equivalent or
	greater accessibility is provided.
•	There is a significant safety hazard for mobility-impaired persons crossing through parking lots and this hazard is greatly reduced when parking
	is provided adjacent to a building entrance. (66-7-352.2 NMSA Legislative Intent)

REVISED 7/10/13



2009 New Mexico Accessible Parking Checklist Prepared by NM Governor's Commission on Disability

Page 1 of 6

VEHIC	LE SPACE & ACCESS AISLE SIZE (ANSI 502)
	Measure to the middle of the painted stripe. (ANSI 502.2 and 505.3) See drawing on page 3 of this checklist.
	Exception: End of row spaces shall be permitted to include the full width of painted striping.
•	OPTION 1 – Accessible Car Parking space is 8' wide min access aisle is 5' wide min
•	- Accessible Van Parking space is 8' wide min. YES access aisle is 8' wide min. YES
•	OPTION 2 – Universal Car Parking space is 8' wide min. 8'-6' access aisle is 5' wide min
	- Universal Van Parking space is 11' wide min. access aisle is 5' wide min.
	GCD recommends accessible spaces and access aisles be 18' long minimum 18' - 6'
ACCES	SS AISLE LOCATION (ANSI 502.4)
•	Adjoin an accessible route (curb ramp, sidewalk, parking surface) PARKING SURFACE
•	May be shared by two parking spaces
	Does not overlap the vehicular way
•	May be on either side of a car or van parking space.
	GCD recommends van access aisle be on the passenger side _ = = = = = = = = = = = = = = = = = =
•	Angled van parking shall have the access aisle on the passenger side (ADA 2010 Standards 502.3.4)
•	Access aisle extends the full length of the parking space
•	Design parking and access aisles so parked vehicles do not obstruct adjacent accessible routes (ANSI 502.8)
•	GCD recommends accessible spaces and access aisles be 18' long minimum 185' - (011 Lo LO)
SURFA	CES OF PARKING & ACCESS AISLE (ANSI 502)
•	Surface slopes not to exceed 1:48 (1" rise in 48" run or 2%)
•	Built-up curb ramps may not extend into access aisle or parking space. See drawing on page 3 of this checklist.
•	Parking and access aisles are at the same level \(\begin{align*}
	Surface is stable, firm, slip resistant, free of cracks, holes, and other obstructions (ANSI 302)
•	Surface is clear of rocks, dirt, puddles, drainage inlets, and similar obstacles \(\tag{\varphi} \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\
VERTI	CAL CLEARANCES (ANSI 502.6)
•	Provide 8'-2" (98") vertical clearance in parking garages to accessible parking, beneath roof overhang, beneath trees branches, and
	similar — (50) to the control of parking garages to accession parking, ochean foot overhang, ochean acces branches, and
•	GCD recommends 114" vertical clearance because some popular models of personal vans can he 98" high when stationary. When vans bounce
	at the top and bottom of parking garage ramps, or when people open their tailgate, they need more vertical clearance.
SIGNA	GE (NMBC 1110.1 and ANSI 502.7)
•	A vertical sign is centered at the head of each parking space & EE
•	Characters and their background shall have a non-glare finish. Characters shall contrast with their background, with either light characters on a
	dark background, or dark characters on a light background.
	Sign displays the International Symbol of Accessibility (Note: The International Symbol of Accessibility provides white symbols and letters on a
	blue background, however, ANSI and 2010 Standards do not specify colors for signage.) おしいと おんく いんがい サイモ とほって
	GCD recommends signs to be white hackground with a green border and legend (MUTCD sign # R7-8 and R7-8A). ELLIFERS
	Sign must include the language "Violators are subject to a fine and/or towing" (66-7-352.4C NMSA 1978, Effective 7-01-2010). See sign
_	sample on page 3 of this parking checklist
-	Van accessible signs are provided below the other sign (see sign sample on page 3 of this parking checklist)
	The van space signage is needed to alert van users to the presence of the wider aisle, but the space is not intended to be restricted only to vans. (2010 Standards 502.5)
	In parking lots the bottom of the sign is 60" minimum above the ground or parking surface. (ANSI 502.7)
•	Along the public rights-of-way MUTCD requires the bottom of the MUTCD R7-8 sign to be 84" above the ground.
	Where the total number of parking spaces provided is 4 or less, no accessible signage is required. (NMBC 1110.1)
PAVEM	IENT MARKINGS (NMBC 1110.3)
•	Parking space has a clearly visible, blue, International Symbol of Accessibility painted on the pavement at rear of the space (66-1-4.1.E NMSA
	1978) or MUTCD recommends a white symbol on a blue background.
•	GCD recommends the parking space lines be painted blue
•	Access aisle has blue, diagonal striping. (66-1-4.1.B NMSA 1978).
,	Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide placed at the rear of the parking space so as to be close to where an ediscent webicle's seen time would be placed. (CC 1.4.1.D. NO.4.)
	wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed. (66-1-4.1.B NMSA 1978)
-	
	Where the total number of parking spaces provided is 4 or less, no International Symbol of Accessibility pavement marking is required (NMBC 1110.3)
CURB R	RAMP LOCATION
	The curb ramp does not protrude into the access aisle or parking (ANSI 502.5)
•	The curb ramp is located so people with disabilities do not have to cross behind parked vehicles (66-7-352.2 NMSA 1978)

ON-STREET PARKING > 1 A Prepared with NMDOT ADA Compliance Committee on October 11, 2006

• 5	R AND LOCATION Where on-street parking is provided for the convenience of the general public, accessible on-street parking is also required. [See ADA Title II section 35.130 General prohibitions against discrimination]
• T	On-street parking should be provided as a priority at public entities, such as: government offices, post offices, courthouses, schools, parks, and similar. [See ADA Title II section 35.150(d)] Within a block, or typical block length, provide one accessible parking space on each side of the street. It should be the first space in the block and be convenient to curb ramps constructed in compliance with NMDOT Pedestrian Access Details. Provide van accessible parking spaces wherever possible.
	E SPACE & ACCESS AISLE Comply as shown on page 2 of this checklist. EXCEPTION: On-street, parallel spaces shall be 25' minimum length which is standard for all parallel parking.
= (AISLE LOCATION Comply as shown on page 2 of this checklist 7 ES NEXT TO BUILDING EXCEPTION: On-street, parallel parking access aisles shall be 25' minimum length
• (ES OF PARKING & ACCESS AISLE Comply as shown on page 2 of this checklist EXCEPTION: On-street surfaces may follow the street profile and cross-sections, however, the flattest and most conveniently located spaces should be the accessible spaces.
	AL CLEARANCES Comply as shown on page 2 of this checklist.
I	Comply as shown on page 2 of this checklist. 50 TO BO TOH OF FLOTH EXCEPTION: The sign will typically be located in the sidewalk and the bottom of the sign must be 78" above the ground to avoid pedestrian nead injuries, it must be clearly visible to drivers coming down the street and remain visible to street traffic when the space is occupied.
• (NT MARKINGS Comply as shown on page 3 of this checklist. YEG EXCEPTION: Access aisles in parking lots are required by state law to provide blue striping, however, on-street parking will typically use the sidewalk as the access aisle. We believe it is unnecessary to paint blue striping on access aisles that overlap the sidewalk
	√ Sign
	sidewalk sidewalk
sidewalk	ON-STREET VAN ACCESSIBLE PARKING - locate at first space near corner DECED MAY 2 6 2016
{	LAND DEVELOPMENT SECTIO