

CITY OF ALBUQUERQUE



June 3, 2016

Tafazzul Hussain
AFRA Construction and Design
2501 Yale Blvd., SE
Albuquerque, NM

Re: M&M Smoke Shop
1800 Central SE
Traffic Circulation Layout
Engineer's/Architect's Stamp **5-26-16** (K15-D100)

Dear Mr. Hussain,

Based upon the information provided in your submittal received 5-26-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks.
2. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
3. Please identify all existing buildings, doors, structures, sidewalks, curbs, drive pads, wall and anything that influences the parking and circulation on the site.
4. Please detail and dimension all existing curb cuts and ADA ramps.
5. Identify all existing access easements and rights of way width dimensions.
6. Identify the right of way width, medians, curb cuts, and street widths on Central Ave. and University Blvd.
7. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of HC signs. Please show this detail.
8. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
9. Show all drive aisle widths and radii.
10. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
11. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.

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12. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out detail and location of barrier curb.
13. Design delivery vehicle route needs to be shown.
14. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval. Trash trucks cannot impede parking spaces.
15. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3*). Please show detail from the exit/entrance off of the public alley.
16. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
17. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing. The curb cut on the south west side of building must be removed and replaced with COA standard curb and gutter.
18. It is not permissible for vehicles to back out onto University Blvd. from the parking stalls. Please provide and detail signs and pavement markings stating direction of exit.
19. All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
20. Please include two copies of the traffic circulation layout at the next submittal.

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Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

K15D100

Project Title: **M&M SMOKE SHOP ENCLOSED PATIO** Building Permit #: 201592350 Hydrology File #: ~~NA~~

DRB#: NA EPC#: NA Work Order#: NA

Legal Description: LOT 6 , BLOCK 65 , TERRACE ADDITION

City Address: 1800 CENTRAL AVE. SE , ALBUQUERQUE , 87106

Applicant: **MAHER HJAZI** Contact:

Address: 1800 CENTRAL AVE. SE

Phone#: (505) 315- 8422 Fax#: E-mail:

Other Contact: **AFRA CONSTRUCTION & DESIGN** Contact: **TAFAZZUL HUSSAIN**

Address: 2501 YALE BLVD SE

Phone#: (505) 242-1745 Fax#: (505) 242-1737 E-mail: thussain@afradesign.com

Check all that Apply:

DEPARTMENT:

- HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
 MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
 CONCEPTUAL G & D PLAN
 GRADING PLAN
 DRAINAGE MASTER PLAN
 DRAINAGE REPORT
 CLOMR/LOMR
 TRAFFIC CIRCULATION LAYOUT (TCL)
 TRAFFIC IMPACT STUDY (TIS)
 EROSION & SEDIMENT CONTROL PLAN (ESC)
 OTHER (SPECIFY)

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
 CERTIFICATE OF OCCUPANCY
 PRELIMINARY PLAT APPROVAL
 SITE PLAN FOR SUB'D APPROVAL
 SITE PLAN FOR BLDG. PERMIT APPROVAL
 FINAL PLAT APPROVAL
 SIA/ RELEASE OF FINANCIAL GUARANTEE
 FOUNDATION PERMIT APPROVAL
 GRADING PERMIT APPROVAL
 SO-19 APPROVAL
 PAVING PERMIT APPROVAL
 GRADING/ PAD CERTIFICATION
 WORK ORDER APPROVAL
 CLOMR/LOMR
 PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: Yes ☒ No

 OTHER (SPECIFY)

DATE SUBMITTED: 05-25-2016

By:

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED:

KEYED NOTES

1. RESTRIP PARKING SPACES AS SHOWN.
2. EXISTING GAS METER.
3. NEW 11" X 11" WIDE LANDING ZONE.
4. CUT AND REMOVE EXISTING CONCRETE RAMP, NEW 4'-0" LONG 12" CONCRETE RAMP, SEE PLAN LIST.
5. EXISTING LANDSCAPE AREA, SEE PLAN LIST.
6. EXISTING STEP.
7. PROPERTY LINE.
8. CONCRETE SIDEWALK.
9. EXISTING SIGN.
10. NEW ADA VAN PARKING SIGN, SEE 10SP-1.
11. NEW LADDER TO ROOF, SEE 10A-2.
12. EXISTING CITY BUS STOP.
13. EXISTING CITY BUS STOP.
14. RE STRIP WITH 4" WIDE BLUE PAINTED LINES.
15. RE STRIP WITH 4" WIDE YELLOW PAINTED LINES.
16. 12" A PART.
17. EXISTING BUILDING LINE.
18. NEW LANDSCAPE AREA, CUT ASPHALT.
19. 12" TOP SOIL MIX WITH EXISTING SOIL, ASP-1.
20. EXISTING 6'-0" WIDE CONCRETE SIDEWALK.

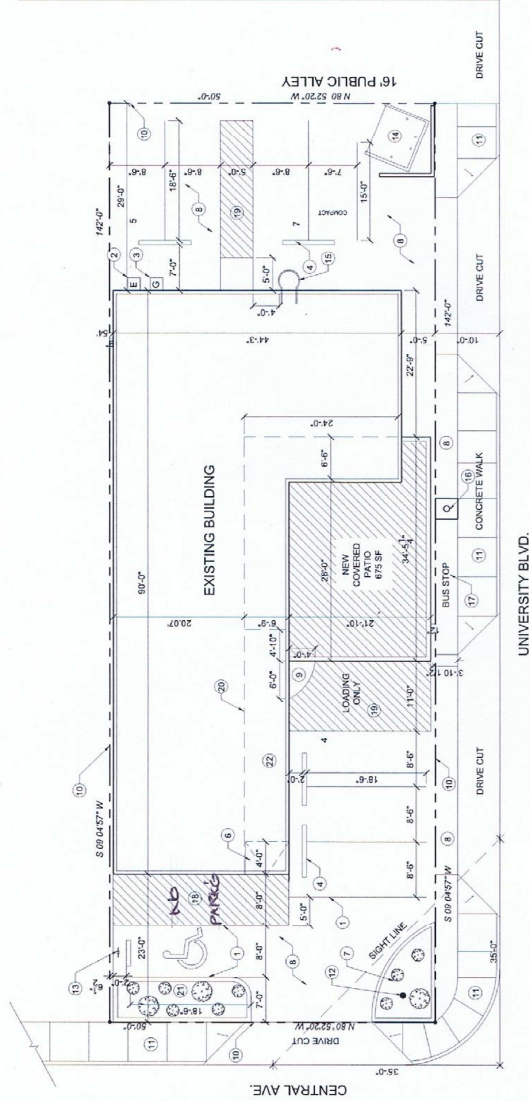
PLANT LIST

- ROSE MARY
- LAVENDER

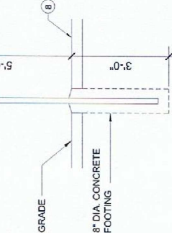
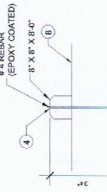
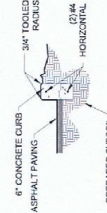
NOTES:
a. REQUIRED WATER ONCE A WEEK & BY OWNER.
b. ALL PLANTS 2'-0" APART.

M&M SMOKE SHOP - SITE PLAN

SP-1 SCALE 1" = 10'-0"



SITE PLAN



LANDSCAPE CURB DETAIL

SP-1 SCALE 1/2" = 1'-0"

ADA RAMP DETAIL

SP-1 SCALE 1/2" = 1'-0"

BUMPER DETAIL

SP-1 SCALE 1/2" = 1'-0"

ADA VAN SIGN DETAIL

SP-1 SCALE 1/2" = 1'-0"

REV	DATE	DESCRIPTION	BY
1	5/16/2016	NEW SITE PLAN	JUH
2	5/26/2016	NEW SITE PLAN	JUH
3			
4			

AFRA Construction & Design
2501 1st Blvd. SE, Suite 102
Albuquerque, New Mexico 87106
Tel: 505.243.1235
Fax: 505.243.1235

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1800 Central Blvd. NE
Albuquerque, NM 87106

REV	DATE	DESCRIPTION	BY
1	5/16/2016	NEW SITE PLAN	JUH
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