

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

January 10, 2023

James Benjamin Clark, R.A.  
Masterworks Architects, Inc  
1809 Illinois St. NE  
Albuquerque, NM 87110

**Re: Lupe's Cafe**  
**1524 Central Ave. SE**  
**30-Day Temporary Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Architect's Stamp dated 09-30-22 (K15-D102)  
Certification dated 12-28-22

Dear Mr. Clark,

Based upon the information provided in your submittal received 01-03-23, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.
- The pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space.

Once these corrections are complete, email pictures to [malnajira@cabq.gov](mailto:malnajira@cabq.gov) for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

ma via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** LUPE'S CAFE **Building Permit #:** BP-2022-25759 **Hydrology File #:** K15-D102

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** Lot 1 Block 52 Terrace Addn

**City Address:** 1524 Central Ave SE

**Applicant:** Masterworks Architects Inc **Contact:** Jim

**Address:** 1809 Illinois ST NE

**Phone#:** 505-242-1866 **Fax#:** \_\_\_\_\_ **E-mail:** MWArchitect@comcast.net

**Other Contact:** Lupe Fernandez **Contact:** \_\_\_\_\_

**Address:** 2311 Metzgar Rd SW

**Phone#:** 505-803-9807 **Fax#:** \_\_\_\_\_ **E-mail:** pvela17@outlook.com

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL? X Yes \_\_\_\_\_ No

**DEPARTMENT** X TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- X TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ STREET LIGHT LAYOUT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- X CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 28 December 2022 **By:** James B Clark, RA

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

City of Albuquerque  
Transportation & Hydrology  
Development and Building Services Division  
600 Second St. NW  
Albuquerque, NM 87102

28 December 2022  
MW Project #1737

Re: Lupe's Café  
1524 Central Ave SE  
Traffic Circulation Layout Certification K15-D102 BP-2022-25759

Architects Stamp 30 September 2022

I, James B. Clark, NMRA #1047, of the firm Masterworks Architects, Inc. certify that this project is in substantial compliance with and in accordance with the design intent of the approved TCL dated 10/28/2022. The record information edited onto the original design document has been obtained by James B. Clark of the firm Masterworks Architects Inc. I further certify that I have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

No deviations from the work shown on the Approved TCL were observed.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any purpose.

Respectfully submitted,

*James B Clark*

\_\_\_\_\_  
Signature of Architect

\_\_\_\_ 28 December 2022 \_\_\_\_\_  
Date

Encl: Copy of Approved TCL dated 10/28/2022  
PDF file of same sent to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov)



**MASTERWORKS ARCHITECTS, INC**

1809 Illinois St NE, Albuquerque, NM 87110  
505-242-1866 • MWArchitect@comcast.net

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

October 28, 2022

James B Clark, RA  
Masterworks Architects Inc.  
1809 Illinois St. NE  
Albuquerque, NM 87110

**Re: Lupe's Cafe**  
**1524 Central Ave. SE**  
**Traffic Circulation Layout**  
Architect's Stamp 06-03-2022 (**K15-D102**)

Dear Mr. Clark,

The TCL submittal received 10-03-2022 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

NM 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** LUPE'S CAFE **Building Permit #:** BP-2022-25759 **Hydrology File #:** K15-D102  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** Lot 1 Block 52 Terrace Addn  
**City Address:** 1524 Central Ave SE

**Applicant:** Masterworks Architects Inc **Contact:** Jim  
**Address:** 1809 Illinois ST NE  
**Phone#:** 505-242-1866 **Fax#:** \_\_\_\_\_ **E-mail:** MWArchitect@comcast.net  
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**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes \_\_\_\_\_ No

**DEPARTMENT** ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

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- ☐ PAD CERTIFICATION
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- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 3 October 2022 **By:** James B Clark, RA

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

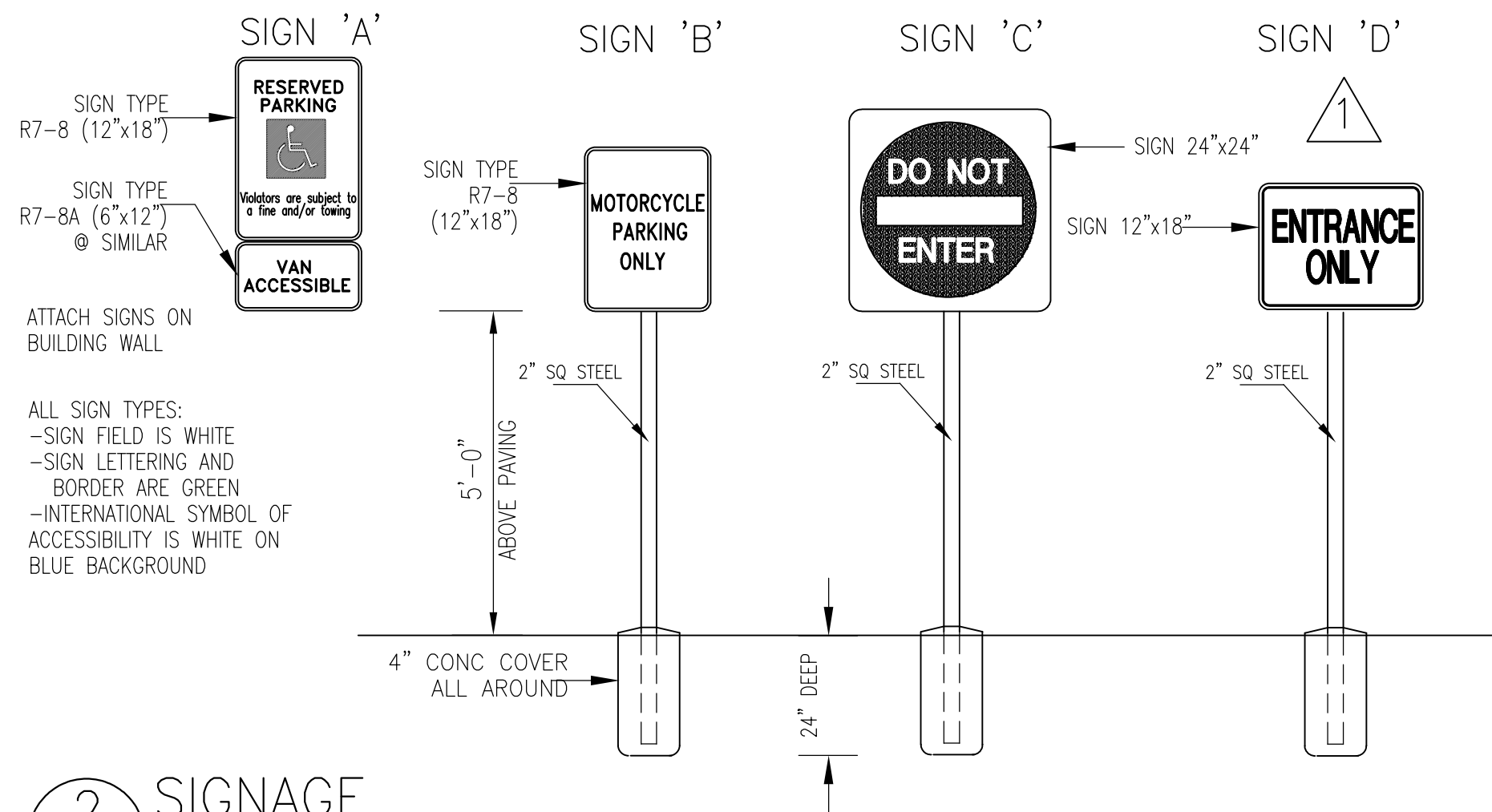




PROJECT LOCATION  
1524 CENTRAL AVE SE

3  
A2a  
AERIAL SITE PLAN

SCALE: NO SCALE



2  
A2a  
SIGNAGE

NO SCALE

### LEGAL DESCRIPTION

1524 CENTRAL AVE SE  
LOT 1 BLOCK 52 TERRACE ADDN  
ZONING: MW-M  
ZONE MAP: K15  
UPC: 101505730630310207

### LANDSCAPING

EXISTING

### PARKING I.D.O. PARKING AND LOADING

RESTAURANT - 5 SPACES / 1,000 SF (Table 5-5-1)  
(UC-MS-PT)  
( 1,294 / 1,000 ) x 5 = 6.4 SPACES  
NUMBER REQUIRED 6 SPACES  
BUS SERVICE REDUCTION 10% x 6 = -0.6  
TOTAL SPACES REQUIRED 5 SPACES  
EXISTING SPACES PROVIDED 9 SPACES  
MOTORCYCLES 2 SPACES (Table 5-5-4)  
BICYCLES 3 SPACES (Table 5-5-5)  
ACCESSIBLE PARKING (NMAC 14.7.2.19-F, Table 1106.1)  
1-25 SPACES REQUIRES 1 ACCESSIBLE DUAL USE SPACE

### SCOPE OF WORK

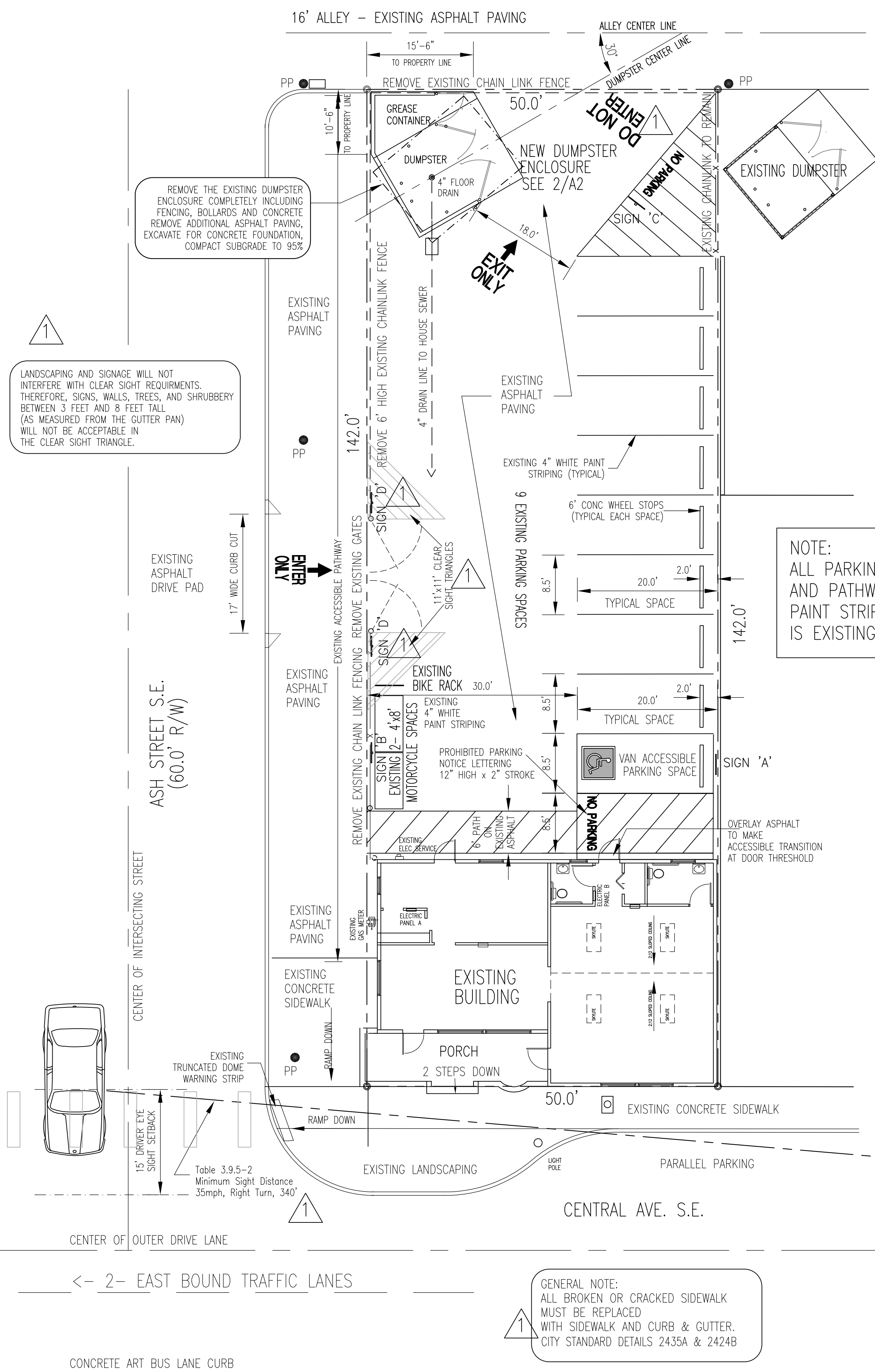
LEVEL 3 ALTERATION - REMODEL OF EXISTING BUILDING  
CHANGE IN USE FROM B OFFICE TO A-2 RESTAURANT  
MINOR DEMOLITION OF INTERIOR SPACES  
INSTALLATION OF KITCHEN EQUIPMENT AND APPLIANCES  
INSTALLATION OF TYPE I HOOD AND VENTILATION EQUIPMENT  
NEW PLUMBING FOR KITCHEN, DRINKING FOUNTAINS  
AND NEW ACCESSIBLE TOILET ROOM  
NEW AND RELOCATED ELECTRICAL CONNECTIONS FOR  
KITCHEN EQUIPMENT AND HOOD VENTILATION  
CONSTRUCTION OF NEW DUMPSTER ENCLOSURE

TRAFFIC CIRCULATION  
LAYOUT APPROVED  
Ernest Amigo 10/28/2022  
Signed Date

2- WEST BOUND TRAFFIC LANES ->

1  
A2a  
TRAFFIC CIRCULATION PLAN

SCALE: 1" = 10'-0"



CYCLE 1 REVIEW COMMENTS

MASTERWORKS  
ARCHITECTS, INC  
516 ELEVENTH ST NW 242-1866  
ALBUQUERQUE, NEW MEXICO 87102

FILE # 1737CARCH  
3 JUN 2022

JAMES BENJAMIN CLARK III  
1047  
REGISTERED ARCHITECT  
STATE OF NEW MEXICO

REMODEL EXISTING BUILDING FOR  
LUPE'S CAFE  
1524 CENTRAL AVE. SE  
ALBUQUERQUE, NM 87105

TRAFFIC CIRCULATION PLAN  
CODE ANALYSIS  
LOCATION MAP

SHEET  
TCL