

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

October 28, 2022

James B Clark, RA
Masterworks Architects Inc.
1809 Illinois St. NE
Albuquerque, NM 87110

Re: Lupe's Cafe
1524 Central Ave. SE
Traffic Circulation Layout
Architect's Stamp 06-03-2022 (**K15-D102**)

Dear Mr. Clark,

The TCL submittal received 10-03-2022 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

NM 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: LUPE'S CAFE **Building Permit #:** BP-2022-25759 **Hydrology File #:** K15-D102

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: Lot 1 Block 52 Terrace Addn

City Address: 1524 Central Ave SE

Applicant: Masterworks Architects Inc **Contact:** Jim

Address: 1809 Illinois ST NE

Phone#: 505-242-1866 **Fax#:** _____ **E-mail:** MWArchitect@comcast.net

Other Contact: Lupe Fernandez **Contact:** _____

Address: 2311 Metzgar Rd SW

Phone#: 505-803-9807 **Fax#:** _____ **E-mail:** pvela17@outlook.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? X Yes _____ No

DEPARTMENT X TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE REPORT
- _____ DRAINAGE MASTER PLAN
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- X TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ STREET LIGHT LAYOUT
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- X BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: 3 October 2022 **By:** James B Clark, RA

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

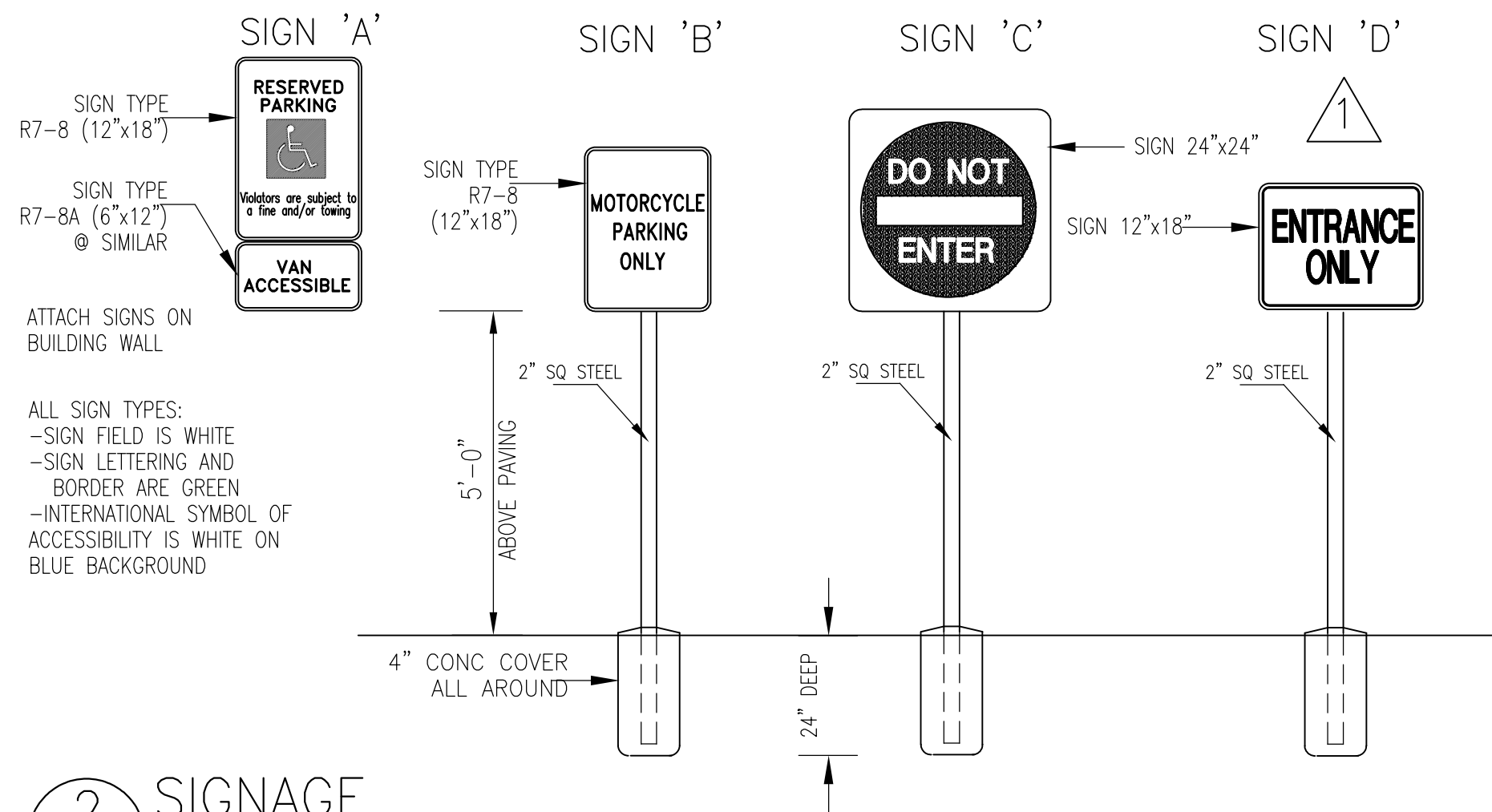


3
A2a

AERIAL SITE PLAN

PROJECT LOCATION
1524 CENTRAL AVE SE

SCALE: NO SCALE



2
A2a

SIGNAGE

NO SCALE

LEGAL DESCRIPTION

1524 CENTRAL AVE SE
LOT 1 BLOCK 52 TERRACE ADDN
ZONING: MW-M
ZONE MAP: K15
UPC: 101505730630310207

LANDSCAPING

EXISTING

PARKING I.D.O. PARKING AND LOADING

RESTAURANT - 5 SPACES / 1,000 SF (Table 5-5-1)
(UC-MS-PT)
(1,294 / 1,000) x 5 = 6.4 SPACES
NUMBER REQUIRED 6 SPACES
BUS SERVICE REDUCTION 10% x 6 = -0.6
TOTAL SPACES REQUIRED 5 SPACES
EXISTING SPACES PROVIDED 9 SPACES
MOTORCYCLES 2 SPACES (Table 5-5-4)
BICYCLES 3 SPACES (Table 5-5-5)
ACCESSIBLE PARKING (NMAC 14.7.2.19-F, Table 1106.1)
1-25 SPACES REQUIRES 1 ACCESSIBLE DUAL USE SPACE

SCOPE OF WORK

LEVEL 3 ALTERATION - REMODEL OF EXISTING BUILDING
CHANGE IN USE FROM B OFFICE TO A-2 RESTAURANT
MINOR DEMOLITION OF INTERIOR SPACES
INSTALLATION OF KITCHEN EQUIPMENT AND APPLIANCES
INSTALLATION OF TYPE I HOOD AND VENTILATION EQUIPMENT
NEW PLUMBING FOR KITCHEN, DRINKING FOUNTAINS
AND NEW ACCESSIBLE TOILET ROOM
NEW AND RELOCATED ELECTRICAL CONNECTIONS FOR
KITCHEN EQUIPMENT AND HOOD VENTILATION
CONSTRUCTION OF NEW DUMPSTER ENCLOSURE

TRAFFIC CIRCULATION
LAYOUT APPROVED

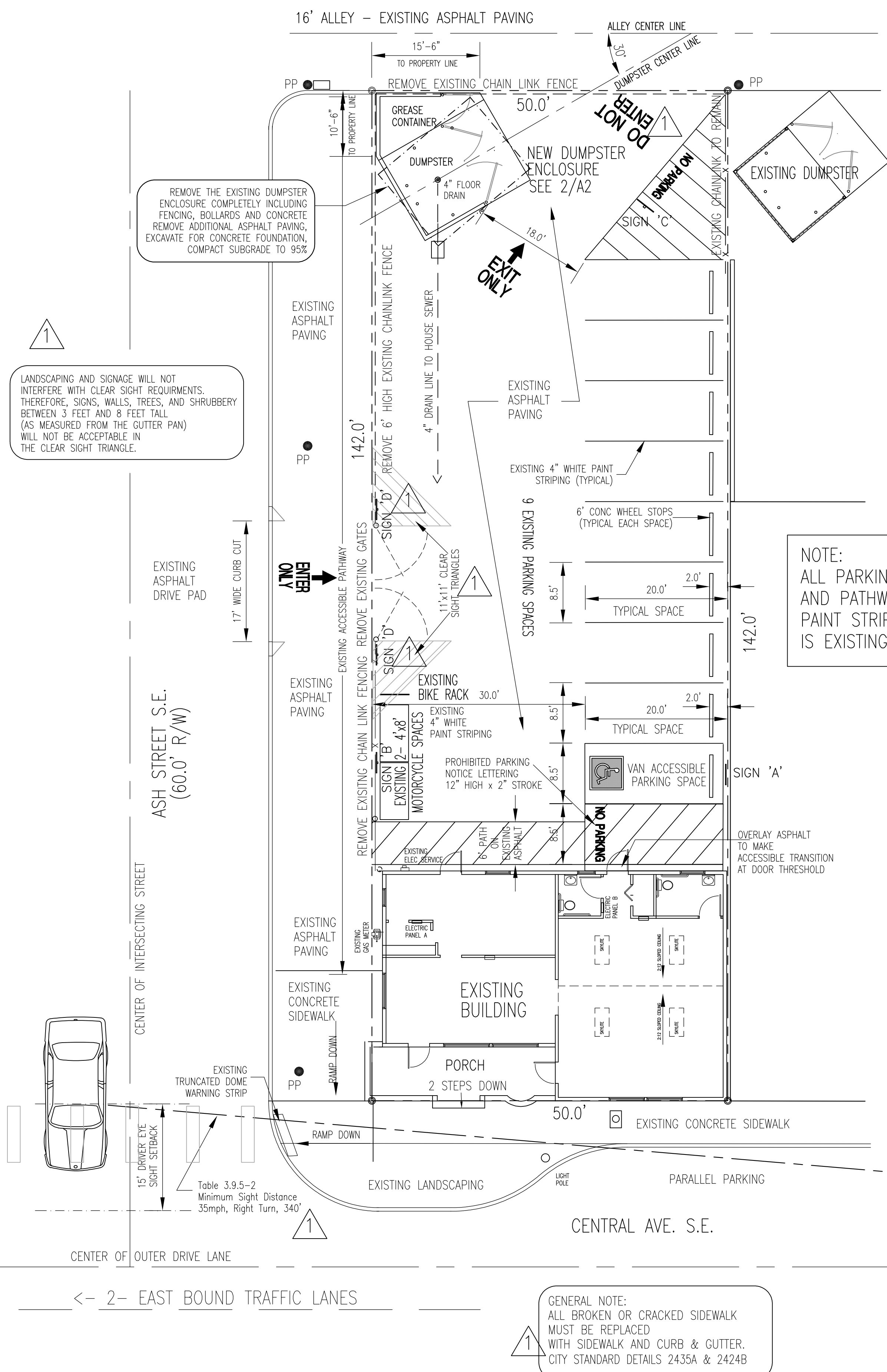
Ernest Amigo 10/28/2022
Signed Date

2- WEST BOUND TRAFFIC LANES ->

1
A2a

TRAFFIC CIRCULATION PLAN

SCALE: 1" = 10'-0"



CYCLE 1 REVIEW COMMENTS

James B. Clark
30 SEP 2022
STATE OF NEW MEXICO
JAMES BENJAMIN CLARK III
1047
REGISTERED ARCHITECT

MASTERWORKS
ARCHITECTS, INC
516 ELEVENTH ST NW 242-1866
ALBUQUERQUE, NEW MEXICO 87102

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FILE # 1737CARCH
3 JUN 2022

James B. Clark
30 JUN 2022
STATE OF NEW MEXICO
JAMES BENJAMIN CLARK III
1047
REGISTERED ARCHITECT

REMODEL EXISTING BUILDING FOR
LUPE'S CAFE
1524 CENTRAL AVE. SE
ALBUQUERQUE, NM 87105

TRAFFIC CIRCULATION PLAN
CODE ANALYSIS
LOCATION MAP

SHEET
TCL