

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 19, 2022

James B Clark, RA
Masterworks Architects Inc.
1809 Illinois St. NE
Albuquerque, NM 87110

Re: Lupe's Cafe
1524 Central Ave. SE
Traffic Circulation Layout
Architect's Stamp 06-03-22 (K15-D102)

Dear Mr. Clark,

Based upon the information provided in your submittal received 08-19-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
2. The pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space.
3. All one-way drives shall have "One Way" and "Do Not Enter" signage and pavement markings. Please show detail and location of posted signs and striping.
4. Please provide a sight distance exhibit
5. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
6. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
7. Please provide a letter of response for all comments given.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

Sincerely,

A handwritten signature in blue ink, appearing to read 'Marwa Al-najjar', is written over a horizontal line.

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

\ma via: email
C: CO Clerk, File

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City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: LUPE'S CAFE **Building Permit #:** BP-2022-25759 **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lot 1 Block 52 Terrace Addn
City Address: 1524 Central Ave SE
Applicant: Masterworks Architects Inc **Contact:** Jim
Address: 1809 Illinois ST NE
Phone#: 505-242-1866 **Fax#:** _____ **E-mail:** MWArchitect@comcast.net
Other Contact: Lupe Fernandez **Contact:** _____
Address: 2311 Metzgar Rd SW
Phone#: 505-803-9807 **Fax#:** _____ **E-mail:** pvela17@outlook.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ No

DEPARTMENT X TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

_____ ENGINEER/ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
_____ GRADING PLAN
_____ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
X TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

X BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

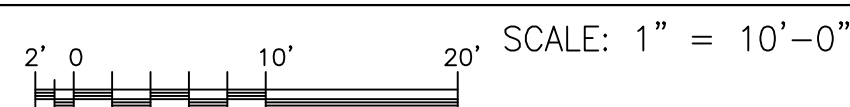
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

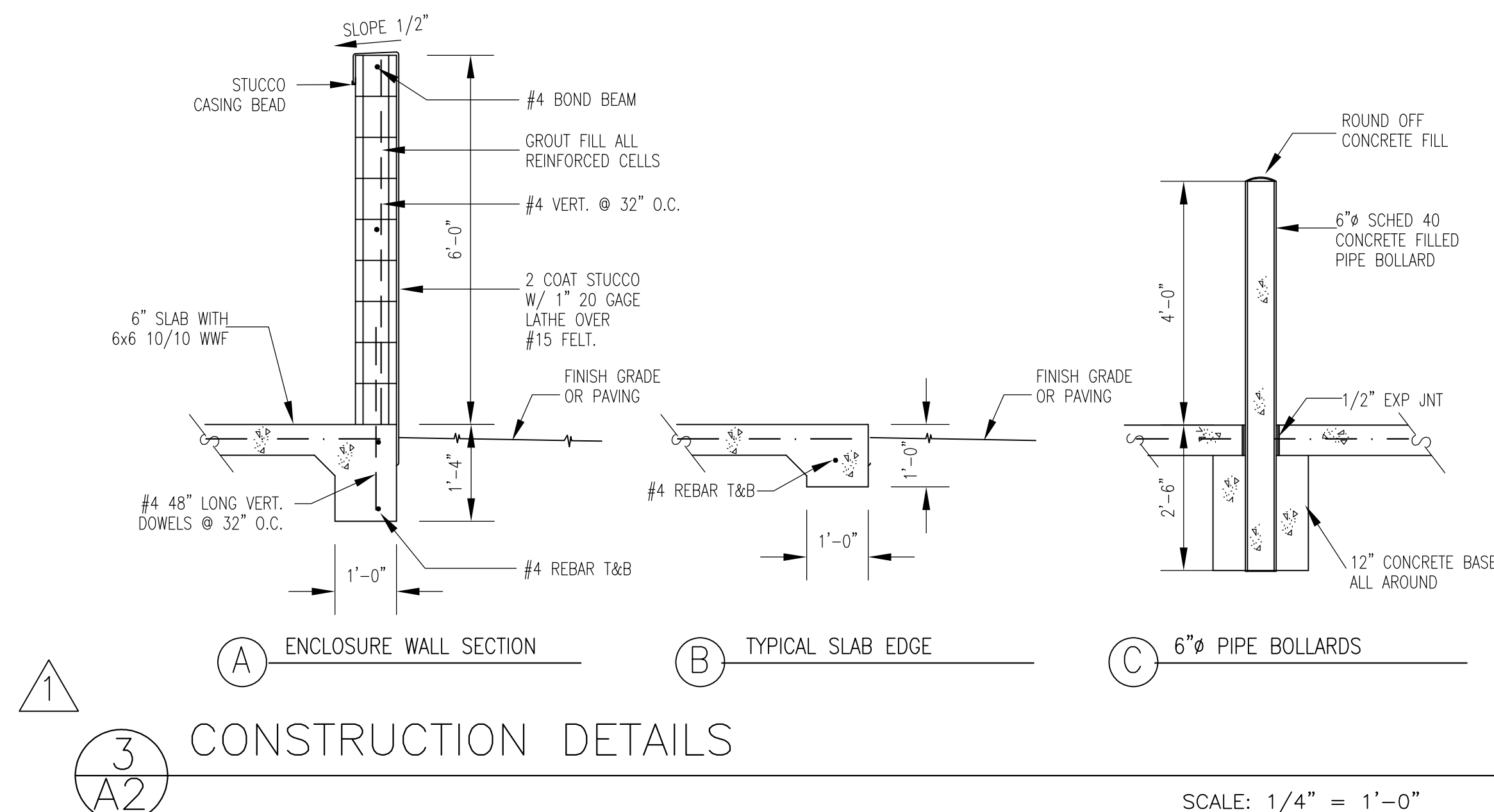
FEE PAID: _____

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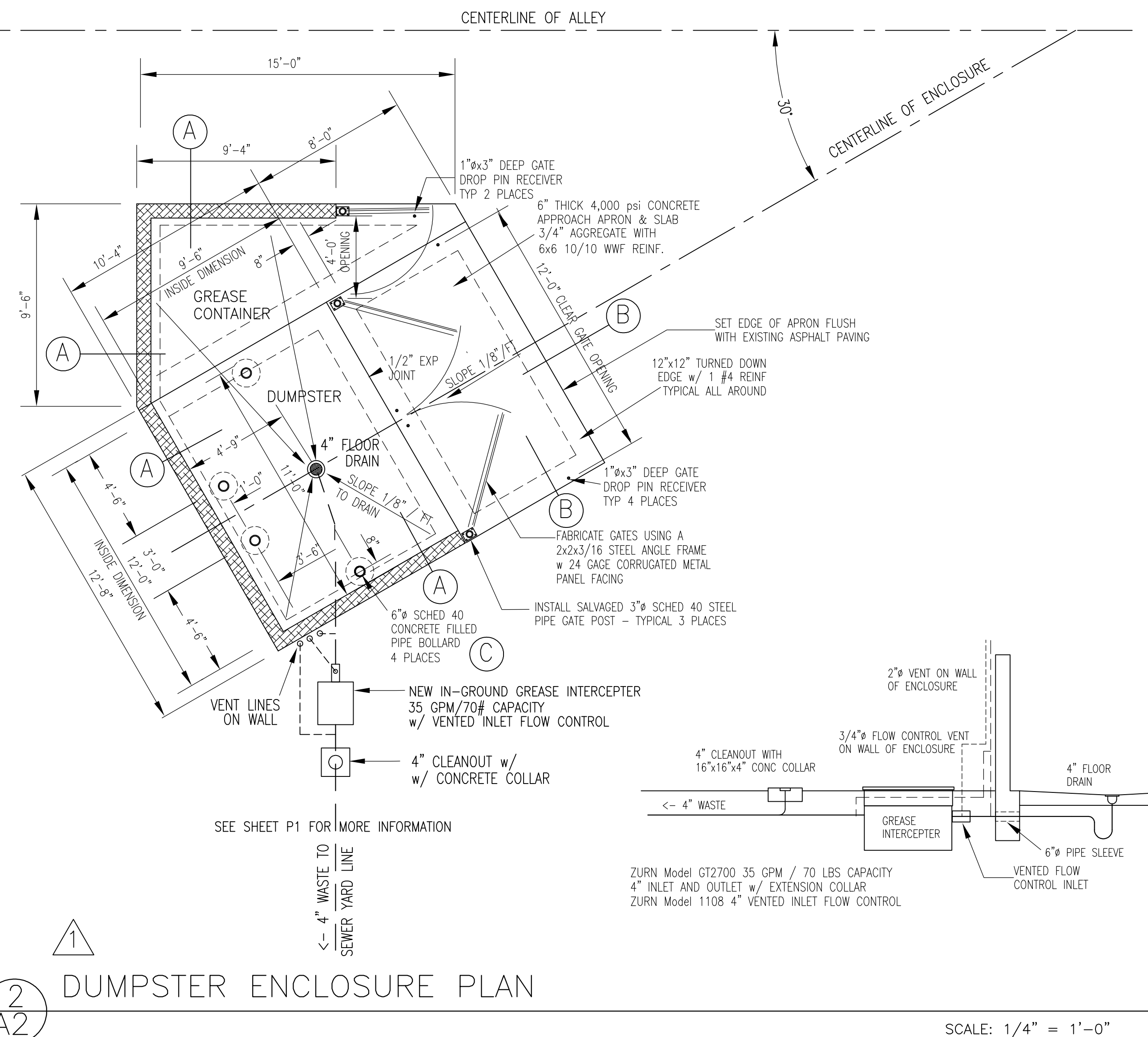
1 SITE IMPROVEMENTS



CONSTRUCTION DETAILS



DUMPSTER ENCLOSURE PLAN



NOTE: CONTACT SOLID WASTE DEPT. HERMAN GALLEGOS FOR CONSTRUCTION INSPECTIONS
REQUIRED FOR PRE-POUR, BOLLARDS, GREASE TRAP, PERIMETER WALL AND FINAL.

CYCLE		REVIEW COMMENTS
REMOVE AND REBUILD TRASH ENCLOSURE TO COMPLY WITH CURRENT CITY REQUIREMENTS		

**MASTERWORKS
ARCHITECTS, INC.**
516 ELEVENTH ST NW 242-1866
ALBUQUERQUE, NEW MEXICO 87102

FILE # 1737CARCH
3 JUN 2022

REMODEL EXISTING BUILDING FOR
LUPE'S CAFE
1524 CENTRAL AVE. SE
ALBUQUERQUE, NM 87105

SITE IMPROVEMENTS PLAN
TRASH ENCLOSURE
w/ GREASE TRAP

SHEET
A2

CYCLE $\triangle 1$ REVIEW COMMENTS

Project MW 1737
17 August 2022

City of Albuquerque
Planning Department
Development & Business Services Division
600 2nd St NW
Albuquerque, NM 87102

Subject: Traffic Circulation Plan Design Analysis

This project permit was originally issued 12 March 2018. The project work was delayed during the pandemic shutdown resulting in the expiration of the permit.

The scope of the project remains the same as the original submittal. This project is a Level 3 Alteration and Change in Use from a B Office to A-2 Restaurant.

No changes have been made to the original access points or the grading of the property. The original parking layout and number of spaces provided has been retained and is in compliance with the I.D.O.

Adequate pedestrian access to and from the building and to the public right of way has been provided.

Attached for Information Only are the:
Original approved TCL documents;
The Solid Waste Dept. approval of the current dumpster installation.

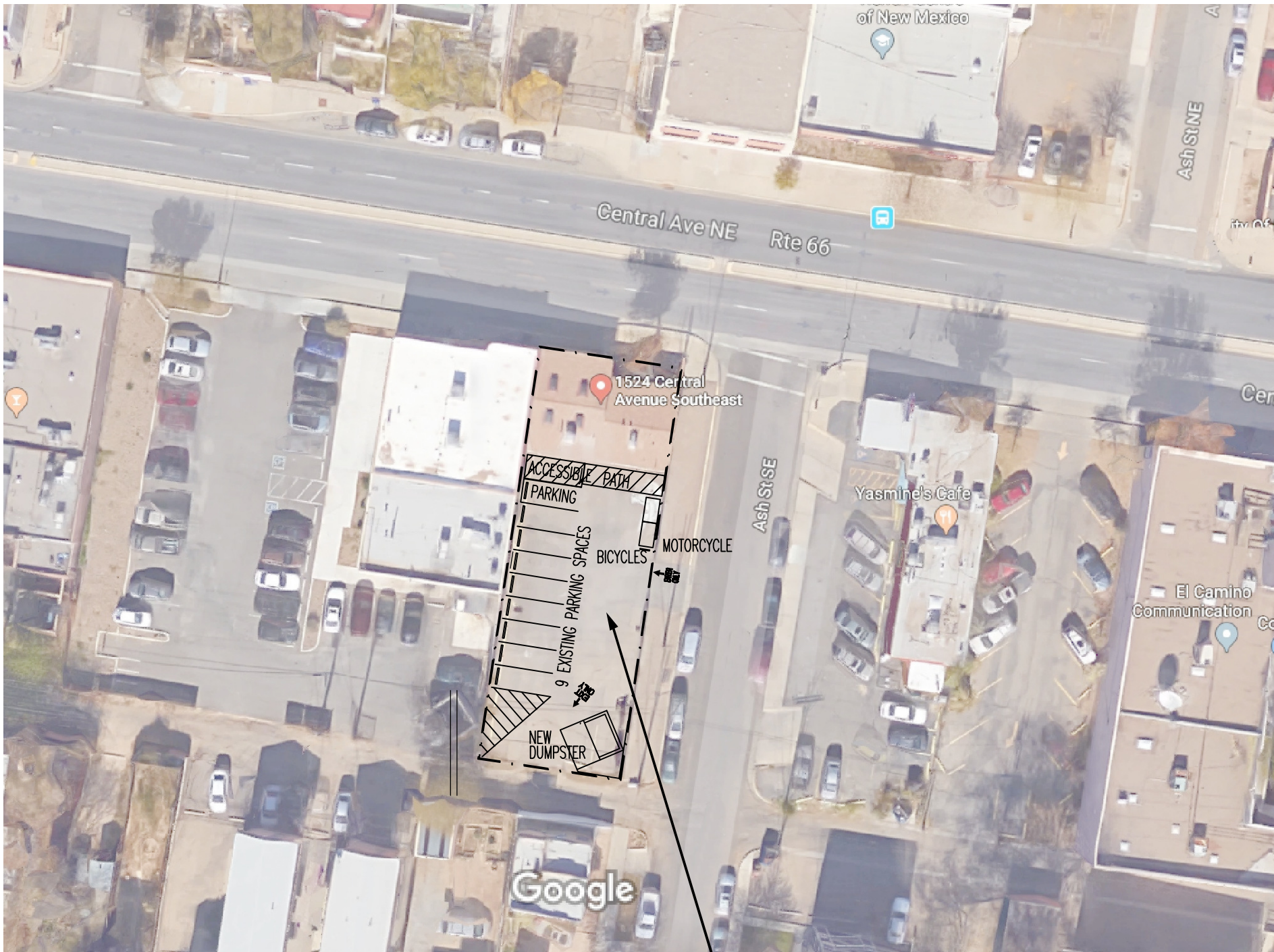
Respectfully submitted,



James B Clark, RA
Masterworks Architects Inc

Encl: Drainage & Transportation Information Sheet
TCL Plan Drawing dated 17 August 2022
Previously Approved TCL documents
Solid Waste Dept. approval of the dumpster location

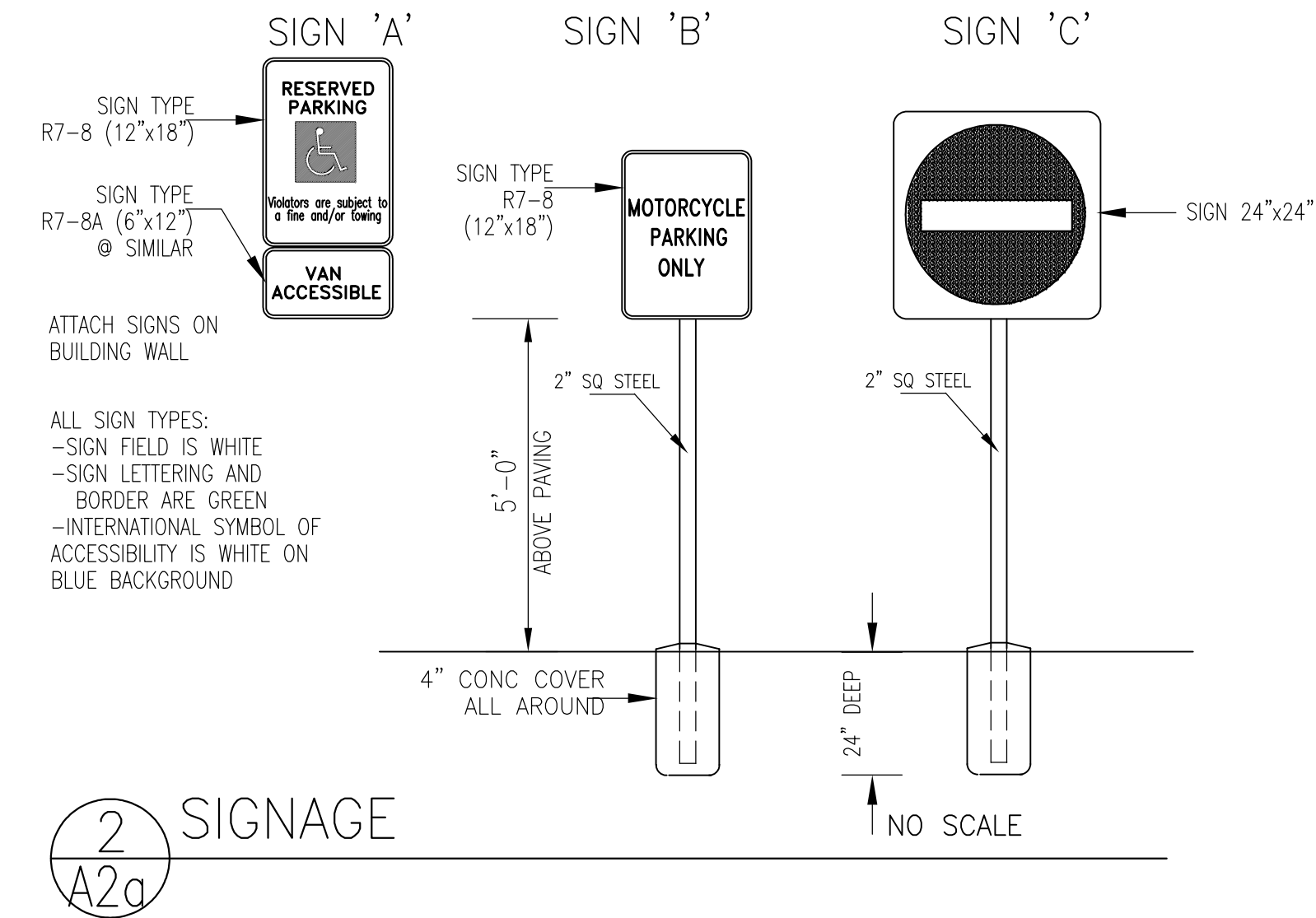




PROJECT LOCATION
1524 CENTRAL AVE SE

3 AERIAL SITE PLAN
A2a

SCALE: NO SCALE



2 SIGNAGE
A2a

LEGAL DESCRIPTION

1524 CENTRAL AVE SE
LOT 1 BLOCK 52 TERRACE ADDN
ZONING: MW-M
ZONE MAP: K15
UPC: 101505730630310207

LANDSCAPING

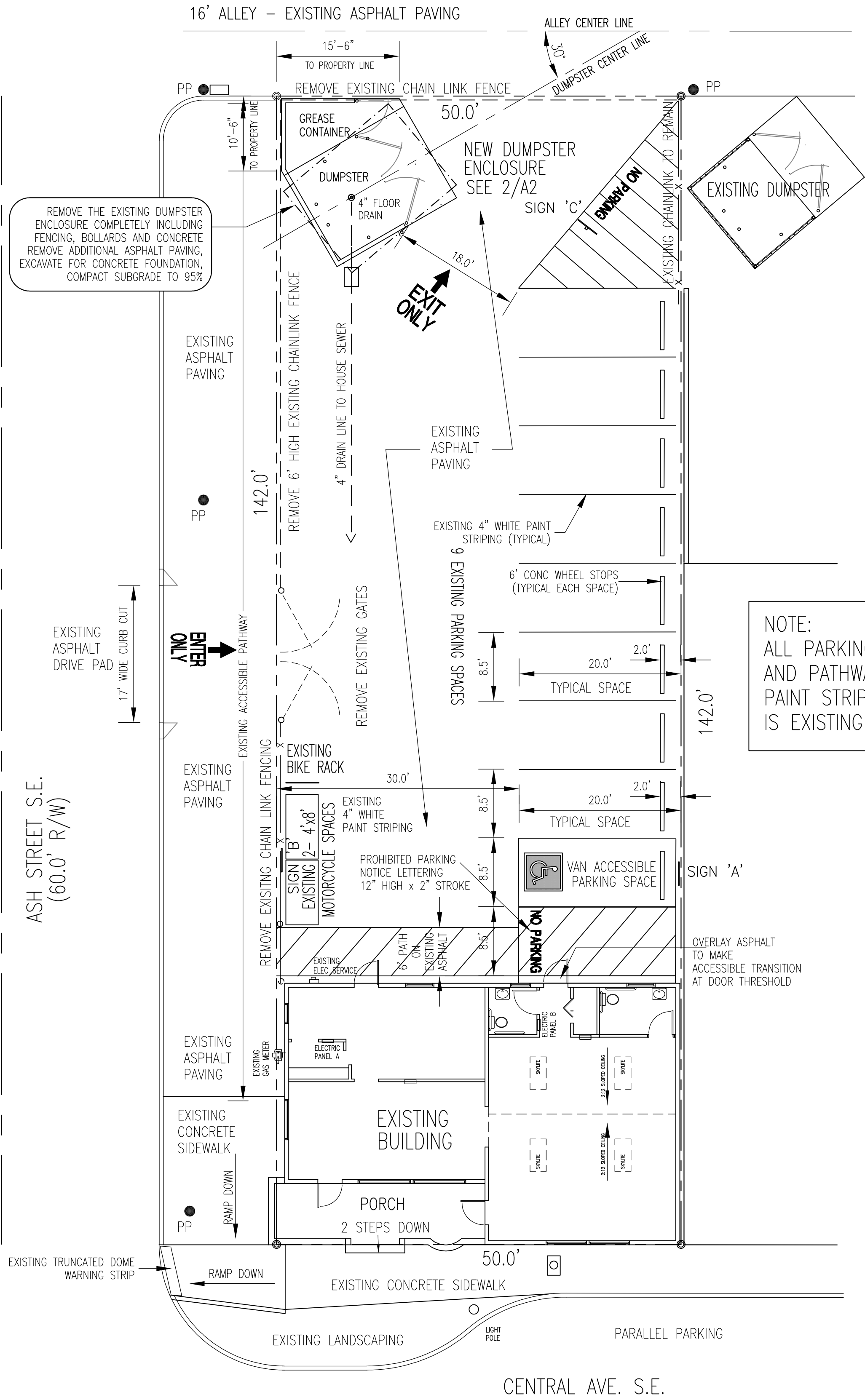
EXISTING

PARKING I.D.O. PARKING AND LOADING

RESTAURANT - 5 SPACES / 1,000 SF (Table 5-5-1)
(UC-MS-PT)
(1,294 / 1,000) x 5 = 6.4 SPACES
NUMBER REQUIRED 6 SPACES
BUS SERVICE REDUCTION 10% x 6 = -0.6
TOTAL SPACES REQUIRED 5 SPACES
EXISTING SPACES PROVIDED 9 SPACES
MOTORCYCLES 2 SPACES (Table 5-5-4)
BICYCLES 3 SPACES (Table 5-5-5)
ACCESSIBLE PARKING (NMAC 14.7.2.19-F, Table 1106.1)
1-25 SPACES REQUIRES 1 ACCESSIBLE DUAL USE SPACE

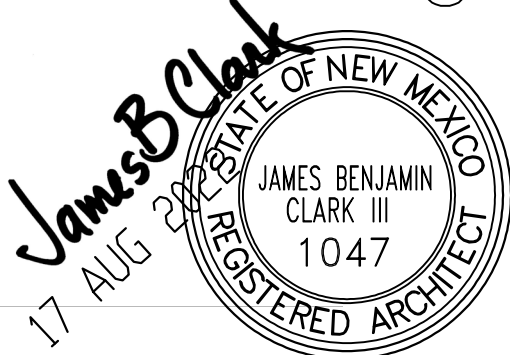
SCOPE OF WORK

LEVEL 3 ALTERATION - REMODEL OF EXISTING BUILDING
CHANGE IN USE FROM B OFFICE TO A-2 RESTAURANT
MINOR DEMOLITION OF INTERIOR SPACES
INSTALLATION OF KITCHEN EQUIPMENT AND APPLIANCES
INSTALLATION OF TYPE I HOOD AND VENTILATION EQUIPMENT
NEW PLUMBING FOR KITCHEN, DRINKING FOUNTAINS
AND NEW ACCESSIBLE TOILET ROOM
NEW AND RELOCATED ELECTRICAL CONNECTIONS FOR
KITCHEN EQUIPMENT AND HOOD VENTILATION
CONSTRUCTION OF NEW DUMPSTER ENCLOSURE



1 TRAFFIC CIRCULATION PLAN
A2a

SCALE: 1" = 10'-0"



CYCLE 1 REVIEW COMMENTS

MASTERWORKS ARCHITECTS, INC
516 ELEVENTH ST NW 242-1866
ALBUQUERQUE, NEW MEXICO 87102
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FILE # 1737CARCH
3 JUN 2022
James B. Clark
JAMES BENJAMIN CLARK III
1047
REGISTERED ARCHITECT
STATE OF NEW MEXICO
3 JUN 2022

REMODEL EXISTING BUILDING FOR
LUPE'S CAFE
1524 CENTRAL AVE. SE
ALBUQUERQUE, NM 87105

TRAFFIC CIRCULATION PLAN
CODE ANALYSIS
LOCATION MAP
SHEET
TCL